

July 12, 2019

INVITATION TO TENDER "ITT" No. PS20190838  
CONTRACTOR FOR THUNDERBIRD CC PRESCHOOL OUTDOOR PLAY AREA RENOVATION

**AMENDMENT No. 1**

**RE: SCHEDULE A - SCHEDULE OF QUANTITIES AND PRICES**

***CURRENTLY READS:***

The Tender Price to complete all of the Work is apportioned in accordance with the following table. The prices shown in each of the numbered rows of the table shall include (i) all labour, material and other costs, (ii) overhead and profit, (iii) PST, and (iv) all other taxes, duties, assessments, charges and fees, *except for GST*. GST shall be shown separately on the row provided therefor.

***NOTE: Prices must be PST-inclusive. Only GST is to be shown as a separate line item.***

The sum of the amounts shown in the table below **MUST** equal the Tender Price stipulated in the space provided in the Form of Tender which, for greater certainty, is the Tenderer's proposed Contract Price for a Contract to complete all of the Work.

***EVERY ROW OF THE BELOW TABLE MUST BE COMPLETED WITH A DOLLAR AMOUNT, EVEN IF THAT DOLLAR AMOUNT IS \$0.***

Item	Description	Amount (including PST)
1.0	<b>General Works</b>	
1.1	<b>Mobilization/Demobilization</b> Including but not limited to: construction fencing, BC One and Western locate calls, sediment and erosion controls	\$
2.0	<b>Demolition</b>	
2.1	Including but not limited to: tree protection, existing playground, fencing, wood retaining wall and surfacing demolition with offsite disposal	\$
3.0	<b>Earthwork and Drainage</b>	
3.1	<b>Excavation, Backfilling and Subgrade Preparation</b> Including but not limited to: bulk excavation works and filling, offsite disposal of unsuitable excess and native materials, subgrade reshaping, supply and placement of all required imported subgrade fill and related works.	\$

3.2	<b>Drainage</b> Including but not limited to: 100mm perf. and cleanouts as per details	\$
4.0	<b>Hardscape &amp; Surfacing</b>	
4.1	<b>CIP Concrete</b> Including but not limited to: retaining walls, seat-walls, paving (including coloured concrete bands) all required footings and curbs as per details	\$
4.2	<b>Cement soil wall</b> As per details	\$
4.4	<b>Play Sand</b> As per details	\$
4.5	<b>Poured in Place Rubberized Surfacing Including Rubber Spheres</b> As per details	\$
4.6	<b>Western Red Cedar Decking</b> As per details	\$
4.7	<b>Chalkboard Mural</b> As per details	\$
5.0	<b>Play Equipment and Site Furnishing</b>	
5.1	<b>Allowance for Supply and Install of Wall Activity Panels and Mud Kitchen by Paul Dirks. (or approved equal):</b> Wall mounted "mud kitchen" and wall mounted panel activities	Cash Allowance: \$8,500.00
5.2.	<b>Poured in Place Rubberized Surfacing</b> Including playground hill steps, and climbing bumps As per details	\$
5.3	<b>Custom Metal Storage Locker</b> As per details. Contractor to provide Engineered Shop Drawings	\$
5.4	<b>Guardrail, Custom Entry Gate and Steel Panel</b> As per details. Contractor to provide Engineered Shop Drawings. Daycare Logo Panel supplied and installed by Owner	\$
5.5	<b>4' ht. Stainless Steel Embankment Slide provided by Rectec Industries (or approved equal) (inclusive of footings)</b>	Cash Allowance: \$15,000.00
6.0	<b>Planting</b>	
6.1	<b>Free Standing Metal Pots</b> Inclusive of growing medium and plant materials. As per details	\$

6.2	<b>Sodded Lawn</b> Inclusive of growing medium and establishment. As per details and Specifications	\$
6.0	<b>Other</b>	
6.1	Other (contingency allowances and any other work or costs not reflected in the items above but required to complete the Work covered by the Tender Documents) List Work if applicable.	\$
7.0	<b>Pricing Totals</b>	
7.1	SUBTOTAL (including all PST)	\$
7.2	GST (5%)	\$
7.3	TENDER PRICE (including all costs, taxes and fees)	\$  (including PST and GST)

**REPLACE WITH:**

The Tender Price to complete all of the Work is apportioned in accordance with the following table. The prices shown in each of the numbered rows of the table shall include (i) all labour, material and other costs, (ii) overhead and profit, (iii) PST, and (iv) all other taxes, duties, assessments, charges and fees, *except for GST*. GST shall be shown separately on the row provided therefor.

**NOTE: Prices must be PST-inclusive. Only GST is to be shown as a separate line item.**

The sum of the amounts shown in the table below **MUST** equal the Tender Price stipulated in the space provided in the Form of Tender which, for greater certainty, is the Tenderer's proposed Contract Price for a Contract to complete all of the Work.

**EVERY ROW OF THE BELOW TABLE MUST BE COMPLETED WITH A DOLLAR AMOUNT, EVEN IF THAT DOLLAR AMOUNT IS \$0.**

Item	Description	Amount (including PST)
1.0	<b>General Works</b>	
1.1	<b>Mobilization/Demobilization</b> Including but not limited to: construction fencing, BC One and Western locate calls, sediment and erosion controls	\$
2.0	<b>Demolition</b>	
2.1	Including but not limited to: tree protection, existing playground, fencing, wood retaining wall and surfacing demolition with offsite disposal	\$
3.0	<b>Earthwork and Drainage</b>	
3.1	<b>Excavation, Backfilling and Subgrade Preparation</b> Including but not limited to: bulk excavation works and filling, offsite disposal of unsuitable excess and native materials, subgrade reshaping, supply and placement of all required imported subgrade fill and related works.	\$
3.2	<b>Drainage</b> Including but not limited to: 100mm perf. and cleanouts as per details	\$
4.0	<b>Hardscape &amp; Surfacing</b>	
4.1	<b>CIP Concrete</b> Including but not limited to: retaining walls, seat-walls, paving (including coloured concrete bands and paving at top of stair) all required footings and curbs as per details	\$
4.2	<b>Cement soil wall</b> As per details	\$
4.4	<b>Play Sand</b> As per details	\$
4.5	<b>Poured in Place Rubberized Surfacing Including Rubber Spheres</b>	\$



	As per details	
4.6	Western Red Cedar Decking As per details	\$
4.7	Chalkboard Mural As per details	\$
5.0	<b>Play Equipment and Site Furnishing</b>	
5.1	Allowance for Supply and Install of Wall Activity Panels and Mud Kitchen by Paul Dirks. (or approved equal): Wall mounted "mud kitchen" and wall mounted panel activities	Cash Allowance: \$8,500.00
5.2.	<del>Poured in Place Rubberized Surfacing including playground hill steps, and climbing bumps As per details</del>	N/A (Item 5.2 deleted)
5.3	Custom Metal Storage Locker As per details. Contractor to provide Engineered Shop Drawings	\$
5.4	Guardrail, Custom Entry Gate and Steel Panel As per details. Contractor to provide Engineered Shop Drawings. Daycare Logo Panel supplied and installed by Owner	\$
5.5	<del>4' ht. Stainless Steel Embankment Slide provided by Rectec Industries (or approved equal) (inclusive of footings)</del> OWNER TO SUPPLY & INSTALL 4' ht Stainless steel embankment slide provided by Rectec industries (inclusive of footings)	Cash Allowance: \$15,000.00  N/A (Item 5.5 deleted)
6.0	<b>Planting</b>	
6.1	Free Standing Metal Pots Inclusive of growing medium and plant materials. As per details	\$
6.2	Sodded Lawn Inclusive of growing medium and establishment. As per details and Specifications	\$
6.0	<b>Other</b>	
6.1	Other (contingency allowances and any other work or costs not reflected in the items above but required to complete the Work covered by the Tender Documents) List Work if applicable.	\$

7.0	Pricing Totals	
7.1	SUBTOTAL (including all PST)	\$
7.2	GST (5%)	\$
7.3	TENDER PRICE (including all costs, taxes and fees)	\$
		(including PST and GST)

**RE: SCHEDULE A - ALTERNATE PRICES**

***CURRENTLY READS:***

**Alternate Prices**

These alternate prices will be used to change the scope of the Work upon written instruction from the City. The alternate prices will be applied in accordance with PART 6 CHANGES IN THE WORK of the General Conditions of the Stipulated Price Contract (CCDC 2 - 2008), as modified by the Supplementary General Conditions (Schedule 1 to Part D - Form of Agreement). The prices should include (i) all labour, material and other costs, (ii) overhead and profit, (iii) PST, and (iv) all other taxes, duties, assessments, charges and fees, *except for GST*.

Description	Price Change to Tender Price	
	Value to Add to Tender Price (inc. PST)	Value to Deduct from Tender Price (incl. PST)
1. Replace all 1.8" diameter powder coated steel handrail as detailed in landscape drawings and specifications and replace with 11 ga Perforated Steel Panel Round supplied by The Western Group - architecturalwire.com (or approved equivalent) Powdercoat colour: RAL 1023 - Traffic Yellow as detailed on L3.6 and as per specifications.	\$	\$

**REPLACE WITH:**

**Alternate Prices**

These alternate prices will be used to change the scope of the Work upon written instruction from the City. The alternate prices will be applied in accordance with PART 6 CHANGES IN THE WORK of the General Conditions of the Stipulated Price Contract (CCDC 2 - 2008), as modified by the Supplementary General Conditions (Schedule 1 to Part D - Form of Agreement). The prices should include (i) all labour, material and other costs, (ii) overhead and profit, (iii) PST, and (iv) all other taxes, duties, assessments, charges and fees, *except for GST*.

Description	Price Change to Tender Price	
	Value to Add to Tender Price (inc. PST)	Value to Deduct from Tender Price (incl. PST)
1. Replace all 1.8" diameter powder coated steel handrail as detailed in landscape drawings and specifications and replace with 11 ga Perforated Steel Panel Round supplied by The Western Group - architecturalwire.com (or approved equivalent) Powdercoat colour: RAL 1023 - Traffic Yellow as detailed on L3.6 and as per specifications.	\$	\$
2. Concrete wall at stairway Refer to "Durante Kreuk - Addendum 01" and Revised Drawings, dated 2019 07 11: L1.0 - Existing Conditions and Demolition Plan L1.1 - Materials and Layout Plan L2.1 - Landscape Sections		

**RE: APPENDIX 3 - SPECIFICATIONS AND DRAWINGS**

**L1.0 - Existing Conditions and Demolition Plan**

**L1.1 - Materials and Layout Plan**

**L2.1 - Landscape Sections**

- **REPLACE Drawings L1.0, L1.1 and L2.1 with attached Drawings L1.0 - REVISED 2019 07 11, L1.1 - REVISED 2019 07 11 and L2.1 - REVISED 2019 07 11**

**All other conditions and specifications remain unchanged.**

**This amendment must be completed, and attached to your Tender form.**

If you have already submitted your Tender, this amendment shall be submitted to the City of Vancouver, Purchasing Services Office, 4<sup>th</sup> Floor, 453 West 12<sup>th</sup> Avenue, Vancouver, British Columbia, Canada, V5Y 1V4. Envelopes submitted by courier or otherwise in-person should be delivered to: Supply Chain Management, 453 West 12<sup>th</sup> Avenue, 4<sup>th</sup> Floor (Bid submission box) Vancouver City Hall, Vancouver, BC, prior to the Closing Time: 3:00:00 pm Local Vancouver, BC Time, July 19, 2019 in an envelope clearly marked "AMENDMENT No. 1 to ITT No. PS20190838 "CONTRACTOR FOR THUNDERBIRD CC PRESCHOOL OUTDOOR PLAY AREA RENOVATION" before the closing time of 3:00:00 P.M. Vancouver Time on July 19, 2019

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NAME OF VENDOR

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SIGNATURE OF AUTHORIZED SIGNATORY

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DATE

Jessica Li, Buyer

## Addendum 01

**Project:** Thunderbird Preschool Playground  
Vancouver, BC

**Amendment No:**  
01

**Issued To:** Lehran Hache, Vancouver Park Board

**Date Issued:**  
07/11/19

**Project No:**  
18056

The following revisions supersede the information contained in the original drawings and specifications issued for the above named project, to the extent referenced and shall become a part thereof. No consideration will be allowed for extras due to the Contractor or any Subcontractor not being familiar with the Addendum.

- 1.1 Remove and replace concrete walkway at top of existing stairs refer to L1.0, L1.1
- 1.2 Retain existing concrete wall at bottom of existing stairs refer to L1.0
- 1.3 Re/Re existing concrete walkway at bottom of existing stairs refer to L1.1
- 1.4 Re/Re sodded boulevard refer to L1.1
- 1.5 Revise depth of poured in Place rubber surfacing to be 50mm refer to Materials Legend on L1.1
- 1.6 Delete (1) Phyllostachys Nigra from Planting Plan refer to L1.1
- 1.7 Alternate Price 02 – Remove existing concrete cheek wall and concrete wall at bottom of existing stairs per L1.0, add new segment of 8" thick reinforced CIP concrete wall to extent shown on L1.1, L1.2

Accompanying additional and/or revised dwg.

No.	Title	Date Issued	Date Revised
L1.0	Existing Conditions and Demolition Plan	06/18/2019	07/11/19
L1.1	Materials and Layout Plan	06/18/2019	07/11/19
L2.1	Landscape Sections	06/18/2019	07/11/19

Per : Kimberly Simpson

Date : 07/11/19

**END OF ADDENDUM 01**



LEGEND

LIMIT OF WORK

WATER LINE

TREE PROTECTION FENCING

NOTES

General Notes:

1. Existing utilities shown for general reference based on information available. consultant does not take any responsibility for accuracy of existing utilities.

2. Contractor shall be responsible to identify and locate all utilities within Limit of Work PRIOR to any work beginning and notify Owner's Representative immediately of any discrepancies not identified in these drawings.

3. Pedestrian walkway on east side shall remain open to the public at all times. Construction fencing to be installed maximum 600mm from edge.

4. Building entrance directly adjacent to Limit of Work (SW corner of Play Area) to remain clear and open at all times. Signage to deter people to an alternate entrance/exit.

Demolition Notes:

1. Remove existing fiber and associated build up.

2. VPB to salvage existing chainlink prior to removal. Remove existing chain link fence posts, footings and miscellaneous parts thereof. Cut posts as necessary and grind down flush to concrete curb as not to have any sharp edges. Galvicon exposed steel.

3. Remove and recycle existing metal guardrail. Cut posts as necessary and grind down flush to concrete curb as not to have any sharp edges. Galvicon exposed steel.

4. Remove all concrete paving to nearest control joint to extents marked on this plan.

5. Remove concrete seatwall and wood retaining walls in a way that no damage will be done to the building, existing concrete retaining wall and concrete stairs.

Re/Re of Area:

1. Sodded lawn per typical detail and specifications.

2. Transition new graded area to meet existing grades.

3. Grade area to ensure positive surface drainage to nearest catch basin.

Looking North West from Top Corner

Looking North

Looking South East from Doorway

02	2019 07 11	Addendum 01
01	2019 06 18	Issued for Tender
-	2019 05 24	100% Working Drawings
-	2019 05 07	90% Working Drawings
-	2019 02 28	50% Working Drawings
-	2018 11 08	Concept Plan Revised
-	2018 09 27	Concept Plan
no.:	date:	item:

Revisions:

Project:

Thunderbird  
Preschool

2311 Cassiar Street

Drawn by:

KS

Checked by:

SJV

Date:

2019 06 18

Scale:

1:50

Drawing Title:

Existing Conditions and  
Demolition Plan

Project No.:

18056

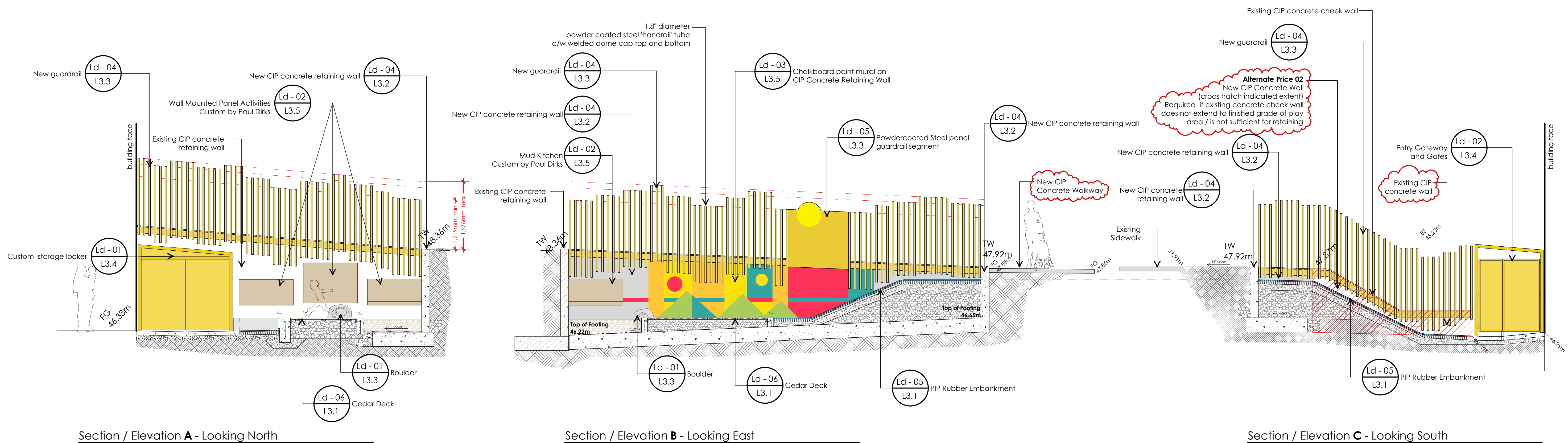
Sheet No.:

L1.0









**02** 2019 07 11 Addendum 01  
 01 2019 06 18 Issued for Tender  
 - 2019 05 24 100% Working Drawings  
 - 2019 05 07 90% Working Drawings  
 - 2019 02 28 50% Working Drawings  
 - 2018 11 08 Concept Plan Revised  
 - 2018 09 27 Concept Plan

no.: | date: | item:

Revisions:

**Durante Kreuk Ltd.**  
 102 - 1637 West 5th Avenue  
 Vancouver BC V6J 1N5  
 t: 604 684 4611  
 f: 604 684 0577  
 www.dkl.bc.ca



Project:  
**Thunderbird Preschool**  
**2311 Cassiar Street**

Drawn by: KS  
 Checked by: SJV  
 Date: 2019 06 18  
 Scale: 1:50

Drawing Title:  
**Landscape Sections**

Project No.:  
**18056**  
 Sheet No.:

