

REQUEST FOR PROPOSAL "ITT" No. PS20190830  
CONTRACTOR FOR RENOVATION OF TROUT LAKE PRESCHOOL

AMENDMENT No. 2

RE: CLOSING DATE

*CURRENTLY READS: July 11<sup>th</sup>, 2019*

*REPLACE WITH: July 16<sup>th</sup>, 2019*

QUESTIONS AND ANSWERS NO. 2

Q1	Are you able to provide existing grades other than the perimeter walls?
A1	<b>Please see CAD file for detailed survey of the site.</b>
Q2	Are you able to provide a detailed layout for concrete curbs, walls, footings?
A2	<b>Please see LSK02 for location and types of wall and footings keyed to detail numbers. More detailed layout or a CAD file will be provided at IFC.</b>
Q3	RE: the Type 2 pavers spec'd on the landscape drawings for the Preschool. Abbotsford concrete no longer manufactures 18" x 9" or 9" x 9" pavers. Do you have an alternative?
A3	<b>Please replace Paving Stones Type 2 (P8) with CCI Century Pavers Patio 2"x8"x16". Layout as per LSK01</b>

ADDENDUM No. 1

Please find the following new attachments:

- Plan Review - Vancouver Coastal Health
- Plan Review City of Vancouver summary
- 001 20190708 Stepping Stones Layout and Clarification
- 002 20190708 Wall Diagram
- 183025.dwg



North Vancouver Office, 132 W Esplanade, North Vancouver, V7M 1A2 Tel 604-983-6700  
Powell River Office, 5000 Joyce Ave, 3<sup>rd</sup> Floor, Powell River, V8A 5R3 Tel 604-485-3310  
Richmond Office, 325-8100 Granville Ave, Richmond, V6Y 3T6 Tel 602-233-3147  
Sechelt Office, PO Box 1040 5571 Inlet Ave, Sechelt, V0N 3A0 Tel 604-885-5164  
Squamish Office, PO Box 220 1140 Hunter Pl, Squamish, V8B 0A2 Tel 1-604-892-2293  
Vancouver Office, 1200-601 W Broadway, Vancouver, V5Z 4C2 Tel 604-675-3800

June 30, 2019

Ms. Alison Cristall  
Trout Lake Community Centre Preschool  
3360 Victoria Drive  
Vancouver, BC V5N 4M4

Sent Via Email: [Alison.Cristall@vancouver.ca](mailto:Alison.Cristall@vancouver.ca)

Dear Ms. Cristall,

**Re: Plan Review for Trout Lake Community Centre Preschool, Outside Play Space**

Community Care Facilities Licensing (Licensing), Vancouver Coastal Health provides this correspondence after completing a plan review of the proposed renovation of the outside play space for Trout Lake Community Centre Preschool.

Licensing provides conditional plan review and approval of the outside play space drawings (attached) with the understanding that it will be constructed as per the following:

- All work must conform to BC Building Code, *Community Care and Assisted Living Act* and the *Child Care Licensing Regulation*, including the Director of Licensing Standard of Practice.
- Fencing and gate: both to be non-climbable; Fencing must provide a solid and safe barrier to prevent children from exiting the outside play space unattended. Minimum gate / fence height requirement is to measure 4 feet non-climbable.
- The gate is to have a self-closing hinge and to have a locking mechanism placed inaccessible to children i.e. located on the opposite side of the outside play space.
- All gaps are to measure less than 3.5 inches as per the Director of Licensing Standard of Practice – Safe Play Space including under fencing and the gate.
- A safety zone extending out from the end of the slide must meet the minimum requirement of 6 feet. Resilient surfacing is to be utilized in the safety zone to provide protection to children from injury.
- All sharp / crisp edgings are to be rounded over to prevent injury.
- Sand box should be enclosed. This enclosure should not cause a tripping hazard. The minimum depth for the sand is recommended to be at 10 inches and 18 inches is ideal. The sand box must have provisions for covering the sand when not in use to prevent access by

animals. The securing should be effective. Sand box is to also have good drainage. Use fine, washed sand. Fine sand rather than gritty sand is easier to dig and sculpt.

Because the construction work is projected to be completed while children would be attending the preschool, it is important to provide a safe passage way via the second mode of egress from the preschool classroom. The gate located in the outside play space which leads to the parking lot is identified as part of the second mode of egress and during construction it must be safely accessible. Please provide a plan to Licensing for this.

An inspection of the renovated outside play space is required prior to children having access to it.

Should you have any questions, you are welcome to contact me directly.

Respectfully,



Shelley Esau  
Licensing Officer  
Community Care Facilities Licensing – Health Protection  
Vancouver Coastal Health

132 West Esplanade, 5<sup>th</sup> Floor  
North Vancouver, BC V7M 1A2

Telephone: 604-983-6713  
Fax: 604-983-6702  
Email: [shelley.esau@vch.ca](mailto:shelley.esau@vch.ca)

Cc Amy Gore, Landscape Architect / Park Development, Vancouver Park Board  
Sunny Abebe, Manager, Trout Lake Community Centre Preschool

## Trout Lake Preschool Licensing Requirements Contractor Responsibilities

Licensing provides conditional plan review and approval of the outside play space drawings with the understanding that it will be constructed as per the following:

- All work must conform to BC Building Code, *Community Care and Assisted Living Act* and the *Child Care Licensing Regulation*, including the Director of Licensing Standard of Practice.
- All gaps are to measure less than 3.5 inches as per the Director of Licensing Standard of Practice – Safe Play Space including under fencing and the gate.
- All sharp / crisp edgings are to be rounded over to prevent injury.
- Ensure sand box has sufficient drainage. Sand is to be fine & washed.

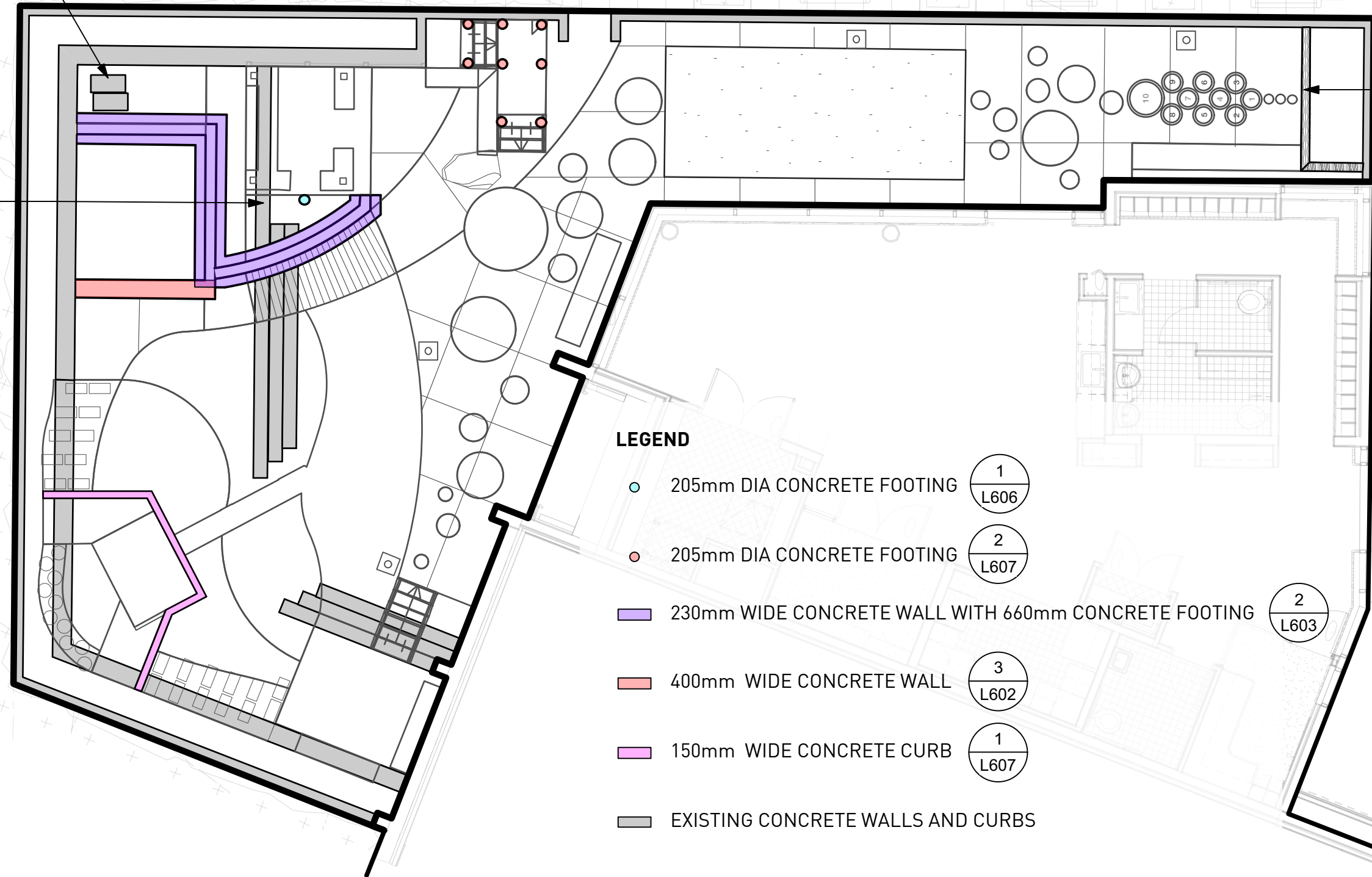
As construction work is projected to be completed when preschool is back in session (September 9, 2019), it is important to provide a safe passage way via the second mode of egress from the preschool classroom. The gate located in the outside play space which leads to the parking lot is identified as part of the second mode of egress and during construction it must be safely accessible while preschool is in session only. Please provide a plan to Licensing for this.

An inspection of the renovated outside play space is required prior to children having access to it. Vancouver Park Board will coordinate with licensing for an inspection at Substantial Completion.

EXISTING IRRIGATION VALVE BOXES

TIMBER DECK TO BE ATTACHED TO EXISTING CONCRETE WALL AT THIS LOCATION

NEW TIMBER PLANTER WALL



**LEGEND**


- 205mm DIA CONCRETE FOOTING 1  
L606
- 205mm DIA CONCRETE FOOTING 2  
L607
- 230mm WIDE CONCRETE WALL WITH 660mm CONCRETE FOOTING 2  
L603
- 400mm WIDE CONCRETE WALL 3  
L602
- 150mm WIDE CONCRETE CURB 1  
L607
- EXISTING CONCRETE WALLS AND CURBS

Revised: N/A

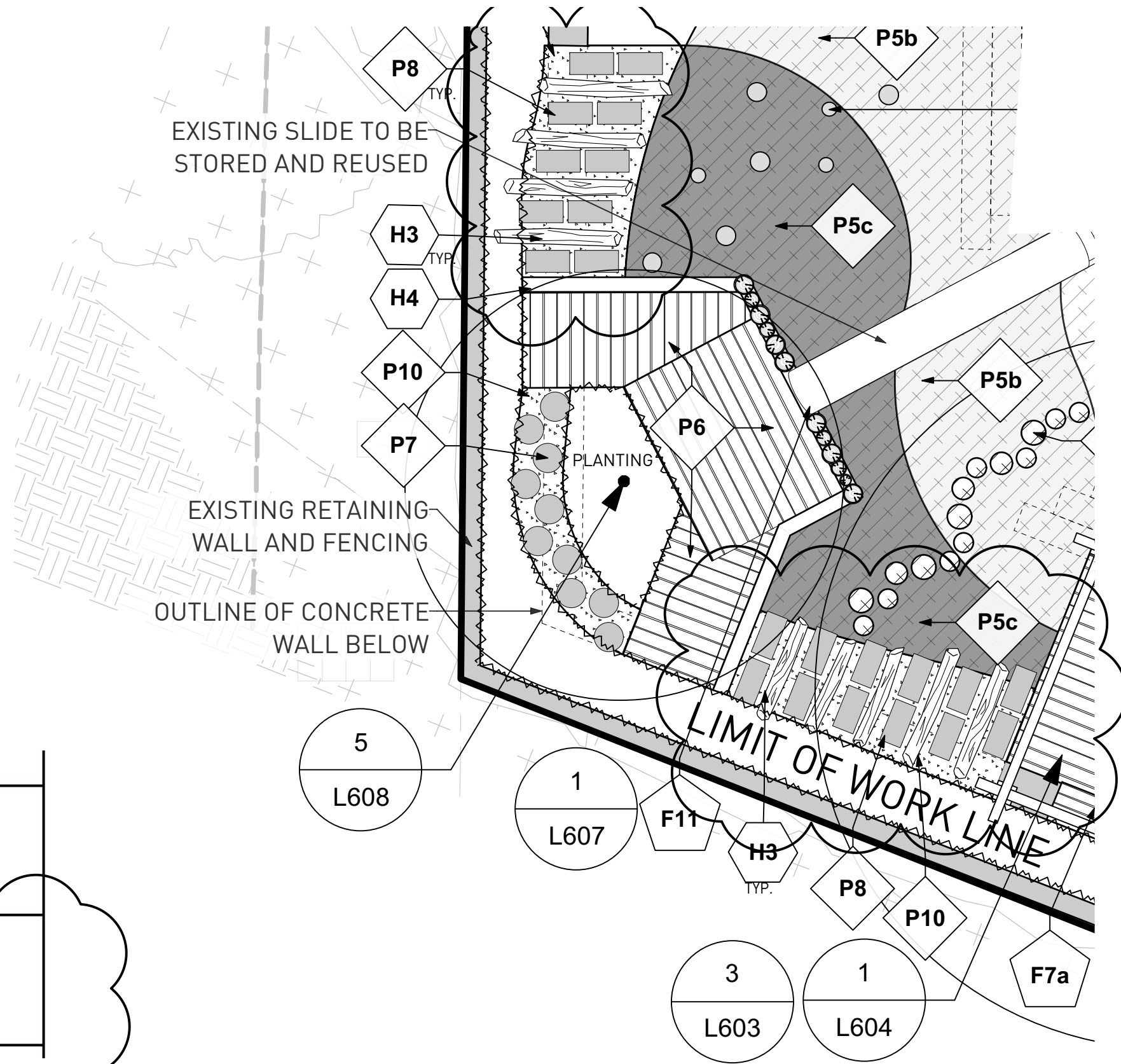


This LSK to be read in conjunction with the following drawings:  
 N/A

Project: 18066  
**Trout Lake Community Centre Childcare**  
 Drawing Title:  
**Wall Diagram**

Scale:  
**1:100**  
 North:  


Date: 2019-07-08  
 File: 18066 Plan.vwx  
 Drawn: Drawn By Reviewed: KY  
 Drawing:  
**LSK 002**



		FINISH: Colour: Natural, Finish: Natural COMMENT: N/A
		PAVING TYPE: Stepping Stones Type 1 MANUFACTURER: Home Depot (604-608-1423) PRODUCT: CCI Century Paver 12-inch Round Patio Stone SIZE: 300mm diameter FINISH: Colour: Grey, Finish: N/A COMMENT: N/A
		PAVING TYPE: Stepping Stones Type 2 MANUFACTURER: Home Depot (604-608-1423) PRODUCT: Cci Century Pavers Patio 2x8x16" FINISH: Colour: Grey, Finish: N/A COMMENT: N/A

Revised: N/A

This LSK to be read in conjunction with the following drawings:  
N/A

Project: 18066  
Trout Lake Community Centre Childcare  
Drawing Title: Stepping Stones Layout and Clarification

Scale: 1:50  
North:

Date: 2019-07-08  
File: 18066 Plan.vwx  
Drawn: Drawn By Reviewed: KY

Drawing: **LSK 001**

