

AREA = 16,134.74 SQ.FT.

- GENERAL NOTE:**
- STEEL FRAME AND GEORGIAN WIRE GLASS WINDOWS ARE TO BE PROTECTED WITH SPRINKLERS TO VESTIBULE AREAS, CORRIDORS FROM VESTIBULE TO EXIT STAIRS, AND AT STAIR #1 ENTRANCES, IN ACCORDANCE WITH VANCOUVER BUILDING BY-LAW SECTION 3.3.8.11
 - ALL FIRE STANDPIPES IN STAIR SHAFTS ARE TO BE ENCLOSED IN 2 HR. SHAFT WALL ON EXPOSED STAIRWELL SIDE, IN ACCORDANCE WITH TYPICAL (A-21)
 - ALL PARKING LEVELS: VANCOUVER BUILDING BY-LAW REQUIRES 2 METERS MINIMUM CLEARANCE HEIGHT TO STRUCTURE OR PIPING.
 - SEE WALL SCHEDULE ON DWG. A-43 FOR ALL U.L.C. FIRE RATINGS AND WALL TYPE SPECIFICATIONS.
 - ALL MECHANICAL DUCTS TO BE ENCLOSED WITH 2 HR. FIRE RATED SHAFT WALL (TYPICAL)
 - DESIGN, DETAILS, FABRICATION AND INSTALLATION OF ALL:
 - GUARDRAILS
 - METAL STUDS, SPANDREL WALLS
 - WINDOW GLAZING WALL
 - GLAZED CURTAIN WALL
 TO BE PREPARED, REVIEWED AND INSPECTED BY A REGISTERED B.C. STRUCTURAL ENGINEER AND TO BE REVIEWED BY REID JONES CHRISTOFFERSEN FOR WIND, SEISMIC AND DEAD LOADS AS WELL AS FOR ADEQUATE ANCHORING IN ACCORDANCE WITH PART 4 OF THE VANCOUVER BUILDING CODE.
 - SPANDREL WALL DESIGN, FABRICATION AND INSTALLATION TO BE UNDER THE DIRECTION OF MARKOCK JERSEY AND REVIEWED BY REID JONES CHRISTOFFERSEN.
 - ALL RIGID INSULATION TO BE NON-COMBUSTIBLE TYPE. ALL EXTERIOR SHEATHING TO BE EXTERIOR GRADE GYPSUM BOARD.
 - ALL GUARDRAILS MIN. 3'-6" HT. ABOVE FINISH FLOOR OR DECK.
 - WALL SCHEDULES AND COLUMN FIREPROOFING SEE DWG. 1-43.

NUMBER	REVISION DESCRIPTION	DATE
△	CORRIDOR WALL DELETED	JUNE 11 '90
△	GENERAL	DEC 10 '91
△	WATER CURTAIN SYSTEM	NOV 21 '91
△	6' PERIMETRE INCREASE	NOV '91
△	GENERAL	25 OCT '91
△	ELEVATOR CORE WALL REDUCED, FIRE RATINGS	05 SEPT '91
△	FOR BUILDING PERMIT	29 APR '91
△	DETAIL (A-43) ADDED	15 APR '91
△	GENERAL	13 FEB '91

JONES DESIGN CORPORATION
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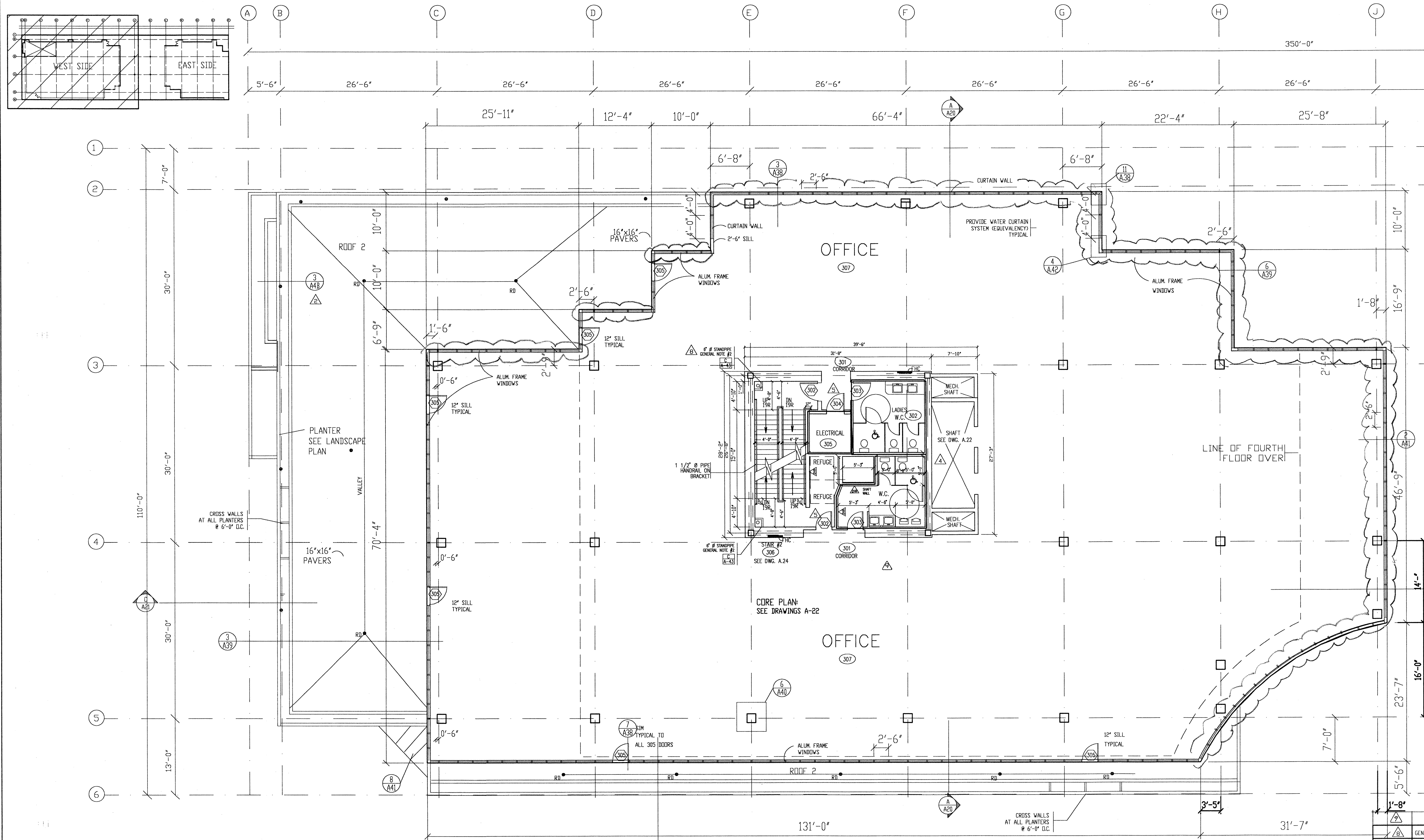
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SECOND FLOOR PLAN
 WEST SIDE

SCALE	DATE	REVISIONS	DATE	DRAWN	JOB NUMBER
1/8"=1'-0"	DEC.07.1990			VESNA	9005 3WEST12

A 7



AREA = 13,313.42 SQ.FT.

- GENERAL NOTE:**
- STEEL FRAME AND GEORGIAN WIRE GLASS WINDOWS ARE TO BE PROTECTED WITH SPRINKLERS TO VESTIBULE AREAS, CORRIDORS FROM VESTIBULE TO EXIT STAIRS, AND AT STAIR #1 ENTRANCES, IN ACCORDANCE WITH VANCOUVER BUILDING BY-LAW SECTION 3.3.6.11
 - ALL FIRE STANDPIPES IN STAIR SHAFTS ARE TO BE ENCLOSED IN 2 HR. FIRE RATED SHFT. WALL ON EXPOSED STAIRWELL SIDE, IN ACCORDANCE WITH TYPICAL A-43
 - ALL PARKING LEVELS: VANCOUVER BUILDING BY-LAW REQUIRES 2 METERS MINIMUM CLEARANCE HEIGHT TO STRUCTURE OR PIPING.
 - SEE WALL SCHEDULE ON DWG. A-43 FOR ALL U.L.C. FIRE RATINGS AND WALL TYPE SPECIFICATIONS.
 - ALL MECHANICAL DUCTS TO BE ENCLOSED WITH 2 HR. FIRE RATED SHFT. WALL (TYPICAL)
 - DESIGN, DETAILS, FABRICATION AND INSTALLATION OF ALL:
 - GUARDRAILS
 - METAL STUDS, SPANDREL WALLS
 - WINDOW GLAZING WALL
 - GLAZED CURTAIN WALL
 TO BE PREPARED, REVIEWED AND INSPECTED BY A REGISTERED B.C. STRUCTURAL ENGINEER AND TO BE REVIEWED BY REID JONES CHRISTOPHERSON FOR WIND, SEISMIC AND DEAD LOADS AS WELL AS FOR ADEQUATE ANCHORING IN ACCORDANCE WITH PART 4 OF THE VANCOUVER BUILDING CODE.
 - SPANDREL WALL DESIGN, FABRICATION AND INSTALLATION TO BE UNDER THE DIRECTION OF WARDOCK HERSEY AND REVIEWED BY REID JONES CHRISTOPHERSON.
 - ALL RIGID INSULATION TO BE NON-COMBUSTIBLE TYPE. ALL EXTERIOR SHEATHING TO BE EXTERIOR GRADE OPSISUM BOARD.
 - ALL GUARDRAILS MIN. 3'-6" HIG. ABOVE FINISH FLOOR OR DECK
 - WALL SCHEDULES AND COLUMN FIREPROOFING SEE DWG. A-43.
 - CROSS WALLS TO ALL PLANTERS @ 6'-0" o.c. TYPICAL.

NUMBER	REVISION DESCRIPTION	DATE
	CORRIDOR WALL ADDED	11 JUN '92
	GENERAL	10 DEC '91
	WATER CURTAIN SYSTEM	18 NOV '91
	6' PERIMETER INCREASE	NDV '91
	GENERAL	25 OCT '91
	ELEVATOR CORE WALL REDUCED, STAIRS, FIRE RATINGS	05 SEPT '91
	FOR BUILDING PERMIT	29 APR '91
	DETAIL ADDED	15 APR '91
	GENERAL	13 FEB '91

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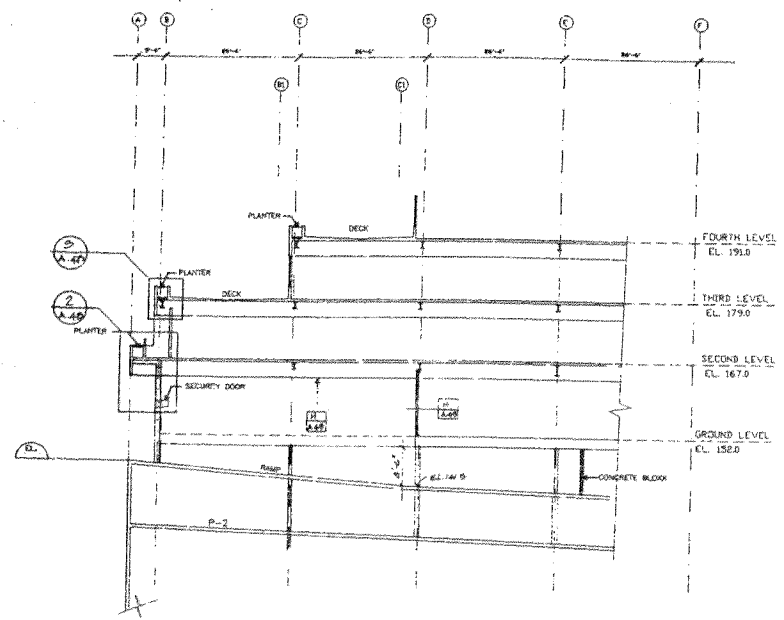
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THIRD LEVEL WEST SIDE

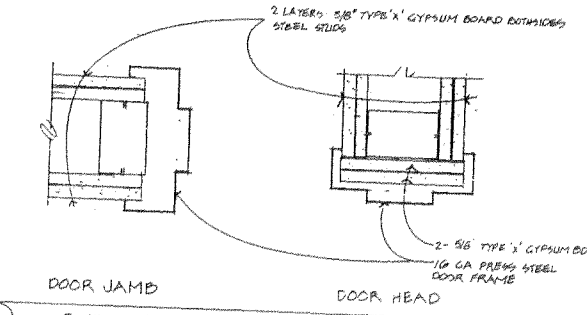
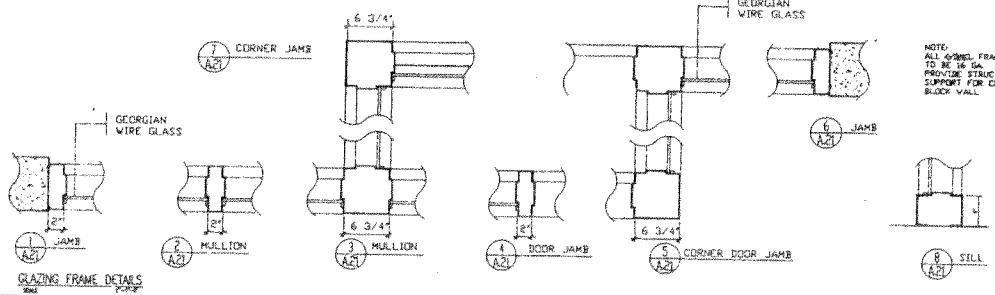
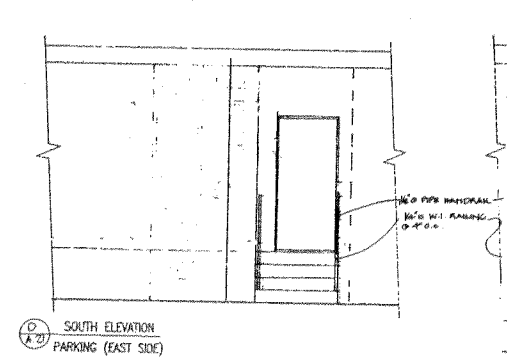
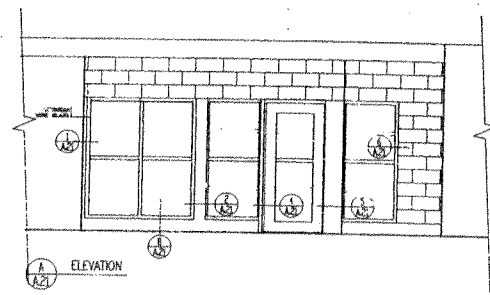
SCALE 1/8" = 1'-0"	DATE DEC.07,1990	REVISIONS	DATE	DRAWN VESNA	JOB NUMBER 9005 9005
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REVISIONS: A

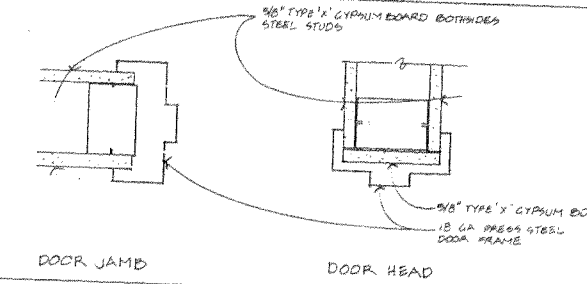
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RAMP SECTION THRU D

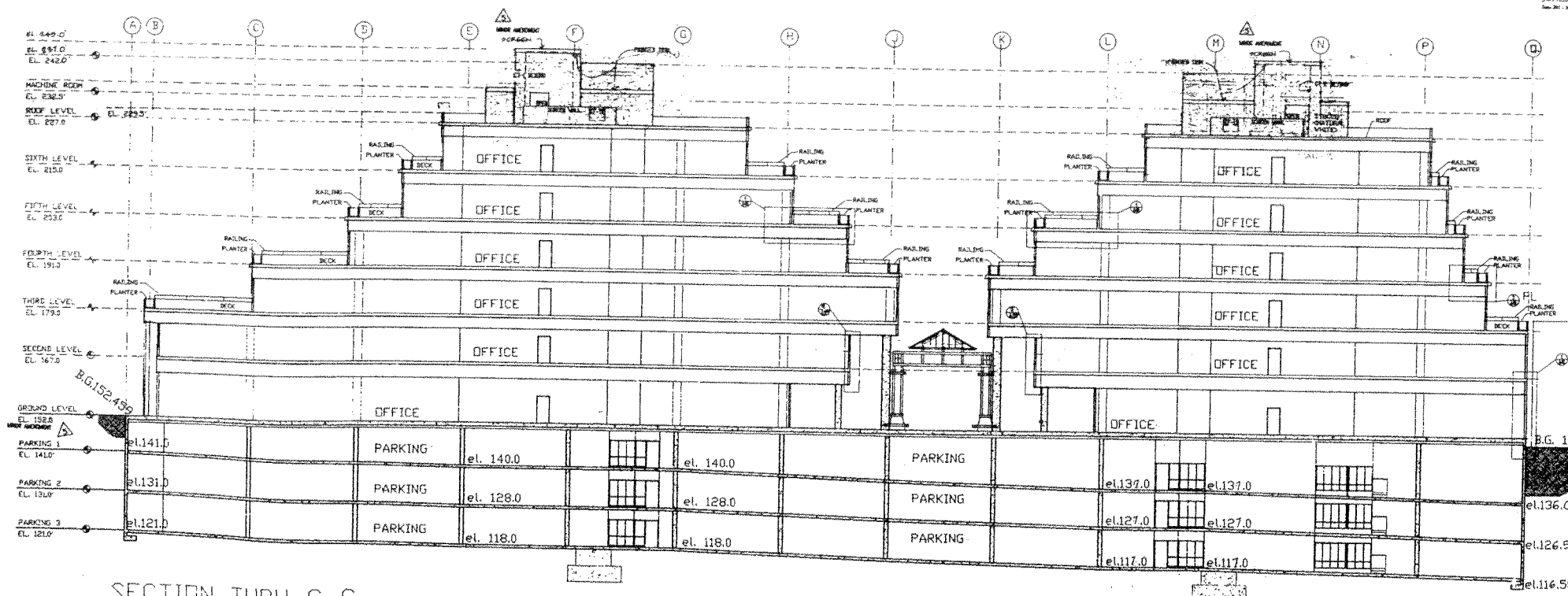


① 2 HR - WALL AT DOOR



② 1 HR - WALL AT DOOR

DETAIL OF FIRE RATED WALLS AT DOORS
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VANCOUVER, B.C.



SECTION THRU C-C

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SK - 5

- REVISIONS
- ALL FINISH LEVELS, UNLESS OTHERWISE NOTED, TO BE IN ACCORDANCE WITH THE 1997 NATIONAL BUILDING CODE.
 - SEE WALL SECTION ON SHEET 143 FOR ALL U.L.C. FIRE RATED WALL AND FLOOR PENETRATIONS.
 - ALL METALLIC BRACKETS TO BE ENCLOSED WITH 2 IN. FIRE RATED SHEET WALL (TYPICAL).
 - CHECK, FORCES, DIMENSIONS AND SCHEDULES OF ALL:
 - CONCRETE
 - STEEL STUDS, SPANNER WALLS
 - WOOD GLAZING WALL
 - GLAZED CURTAIN WALL
 TO BE PROVIDED, REVIEWED AND APPROVED BY A REGISTERED B.C. STRUCTURAL ENGINEER AND TO BE MARKED BY RED JAMES OVERLAP/STAMP FOR WALL, STUDS AND DOOR LEGS AS WELL AS FOR BRACING INCLUDING IN ACCORDANCE WITH PART 4 OF THE VANCOUVER BUILDING CODE.
 - SPANNER WALL:
 - SEE WALL SECTION AND SCHEDULES TO BE UNDER THE DIRECTION OF STRUCTURAL ENGINEER AND REVIEWED.
 - ALL BRUSH INSULATION TO BE NON-COMBUSTIBLE TYPE, ALL EXTERIOR FINISHES TO BE EXTERIOR GRADE GYPSON BOARD.
 - ALL CONCRETE WALL 3'-0" THICK, FINISH FLOOR OR DECK.
 - WALL SCHEDULES AND COLUMN PENETRATIONS SEE SHEET 144.
 - BRASS WALLS TO ALL PLANTERS @ 2'-0" ON-TYPICAL.
 - ALL CONCRETE WALL 3'-0" FROM FINISH FLOOR.

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DATE: *1/10/94* BY: *ALP* S.S. JONES, M.A.I.B.C.

REVISION	DESCRIPTION	DATE
1	REVISION	
2	REVISION	
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5	REVISION	
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30	REVISION	

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SECTION THRU C-C
AND RAMP SECTION

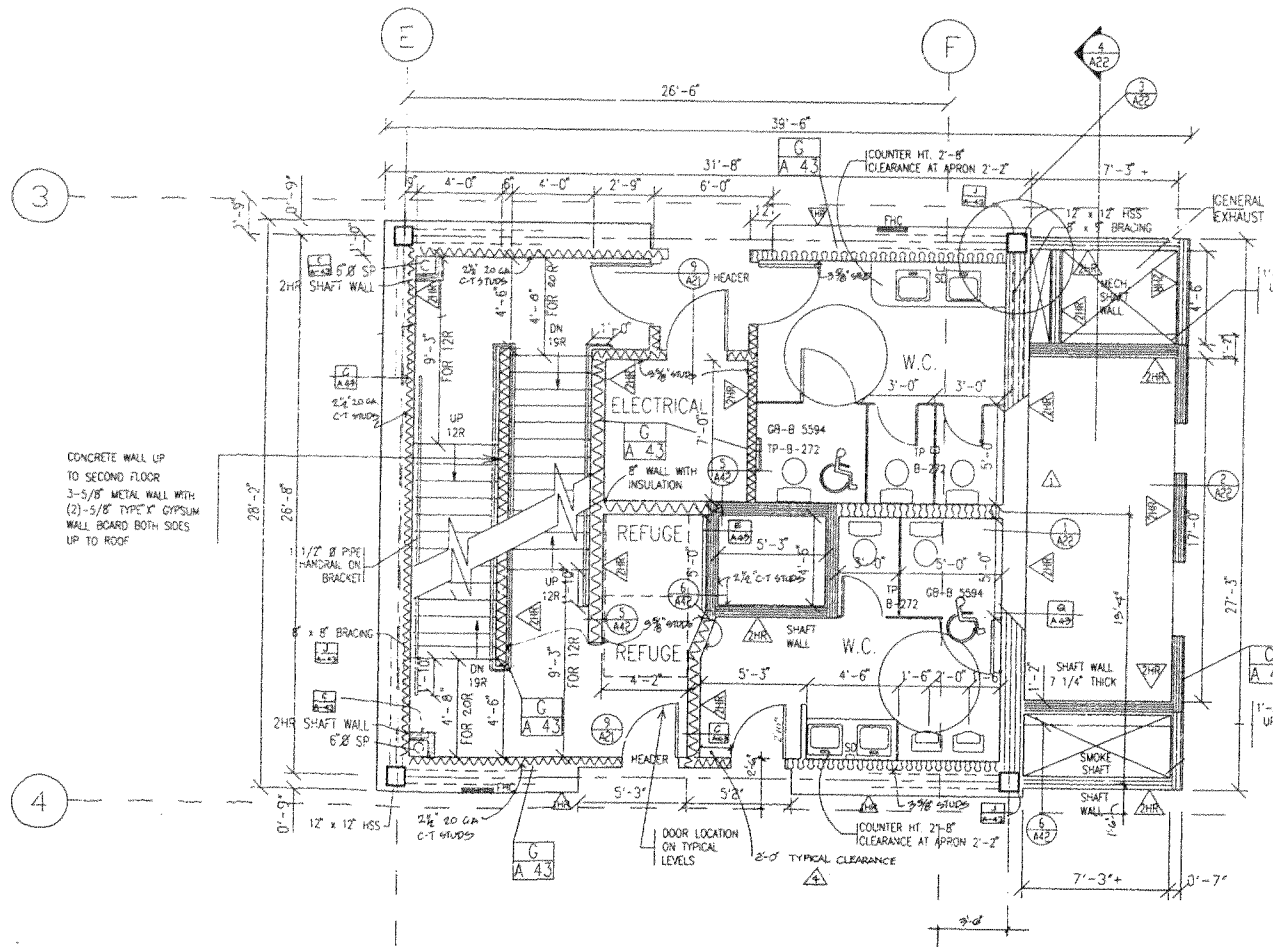
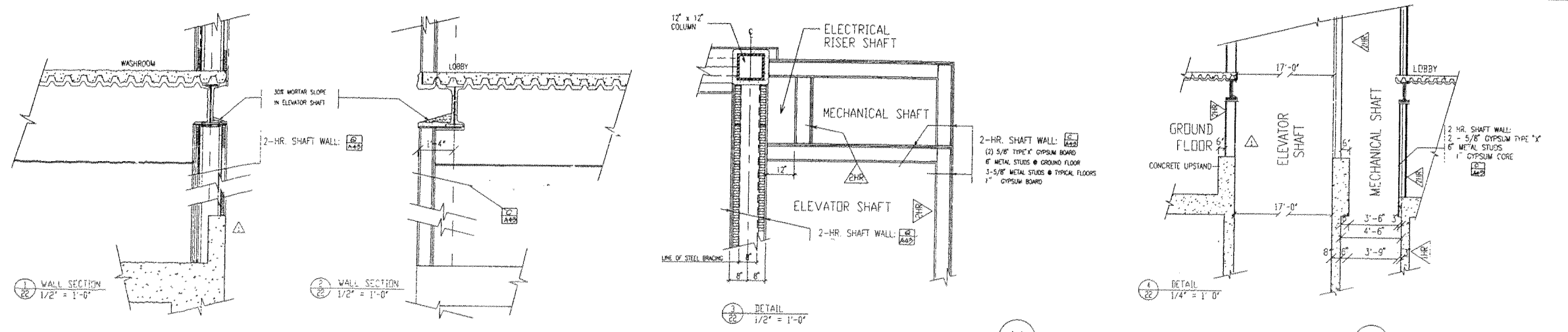
A 21

SCALE	DATE	REVISIONS	DATE	DRAWN	CHECKED
1/16"=1'-0"	DEC.07.1990		20 JAN 1992	YESNA	JONES

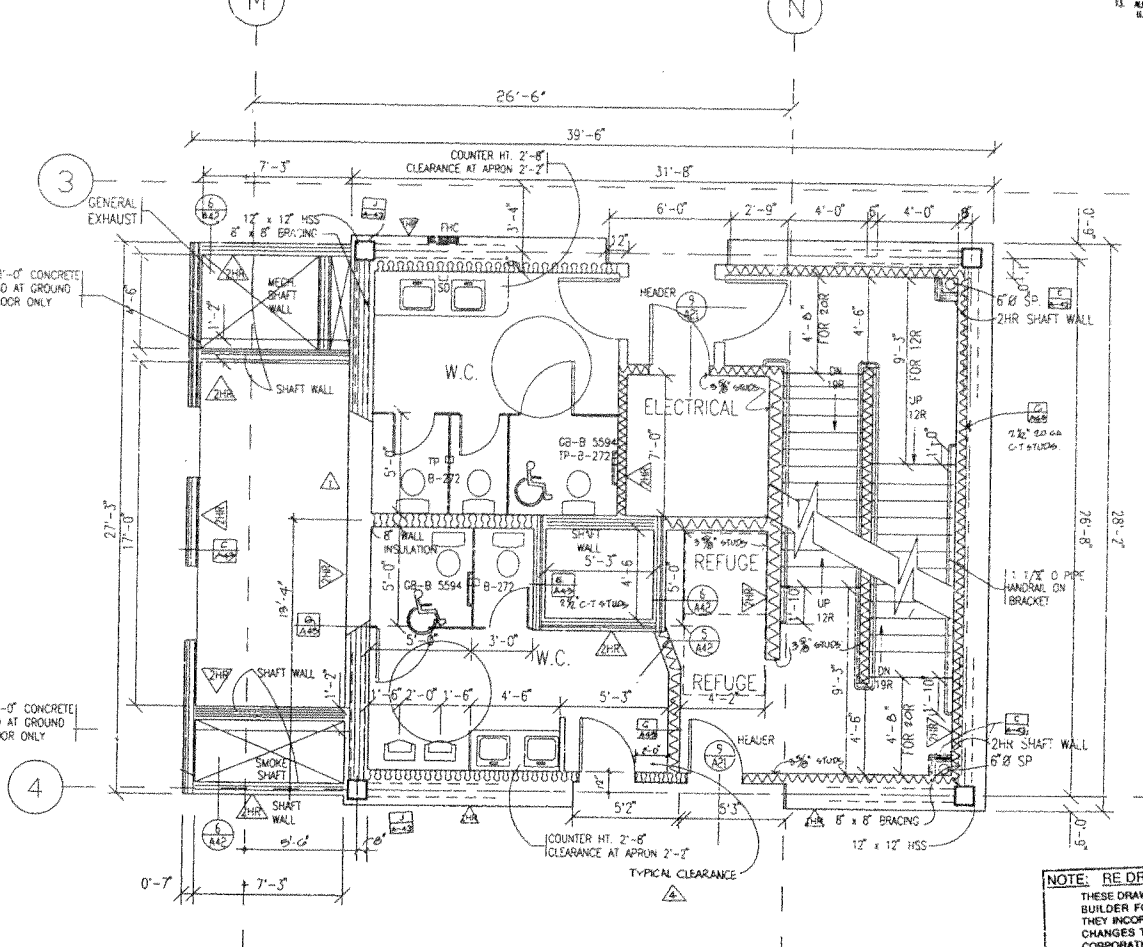
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- GENERAL NOTE**
1. STEEL FRAME AND COMMON WOOD CLAS BRACKETS ARE TO BE PROTECTED WITH SPARKLESS ROOF RESTRAINTS AND WOOD BRACKETS FROM WEATHER BY EXP. STAIRS AND AT SOME FL. ENTRANCES IN ACCORDANCE WITH WOODWORK BUILDING BY-LAW SECTION 3.3.1.1.
 2. ALL FIRE RESISTANT IN SEAM SHAFTS ARE TO BE ENCLOSED IN THE SHAFT ON EXPOSED SURFACES SEE IN ACCORDANCE WITH TYPICAL [A-22].
 3. ALL FINING LEVELS UNLESS OTHERWISE SPECIFIED ARE TO BE 2" MIN. CLEARANCE FROM TOP OF FINING.
 4. SEE WALL SECTION ON ENG. A-43 FOR ALL WALL FIRE BRACKETS AND WALL TYPE SPECIFICATIONS.
 5. ALL MECHANICAL DECKS TO BE ENCLOSED WITH 2 HR. FIRE RATED SHAFT WALL (TYPICAL):
 - 1) GIBBSIES
 - 2) METAL STUDS, SPARKLESS WALLS
 - 3) WINDOW CLADDING WALL
 - 4) GIBBSIES
 6. TO BE PROVIDED, REHEARD AND INSPECTED BY A REGISTERED P.E.C. STRUCTURE ENGINEER AND TO BE REACHED BY DEAD LOADS AS WELL AS FOR RESISTANCE TO WIND AND ACCORDANCE WITH PART 4 OF THE BUILDING CODE.
 7. SPARKLESS WALL DESIGN, FABRICATION AND INSTALLATION TO BE UNDER THE DIRECTION OF WOODWORKER AND REHEARD BY RES. JONES CORPORATION.
 8. ALL WOOD WORKING TO BE EXTERIOR EDGE GYPSON BOARD, EXTERIOR SEALING TO BE NON-COMBUSTIBLE TYPE. ALL WALL GIBBSIES AND COLUMN PROTECTORS SEE ENG. A-43.
 9. ALL GIBBSIES MIN. 3'-0" FROM FINING DECK.
 10. ALL GIBBSIES MIN. 3'-0" FROM FINING DECK.
 11. ALL STRUCTURAL STEEL ENDS BRACKETS TO HAVE 2 # B.L.C. W/2" FIRE PROTECTION AS FOR COLUMN.



WEST SIDE
TYPICAL CORE
STRUCTURAL STEEL
AREA = 1124.2 sq.ft.



EAST SIDE
TYPICAL CORE
STRUCTURAL STEEL
AREA = 1124.2 sq.ft.

NOTE: RE DRAWINGS OF RECORD
 THESE DRAWINGS ARE AS PRESENTED TO THE BUILDER FOR CONSTRUCTION PURPOSES. THEY INCORPORATE KNOWN AND APPROVED CHANGES TO THE BEST OF JONES DESIGN CORPORATION'S INFORMATION, KNOWLEDGE AND REVIEW. THEY DO NOT REPRESENT 'AS BUILT'.

DATE: 10/12/92
 DESIGNED BY: [Signature]
 CHECKED BY: [Signature]

NUMBER	REVISION	DESCRIPTION	DATE
1	NOTES ADDED		20 JAN 92
2	GENERAL		10 DEC 91
3	GENERAL		30 OCT 91
4	ELEVATOR SHAFT WALL REDUCED, DETAILS		05 SEPT 91

JONES DESIGN CORPORATION
 ARCHITECTS AND INTERIOR DESIGNERS
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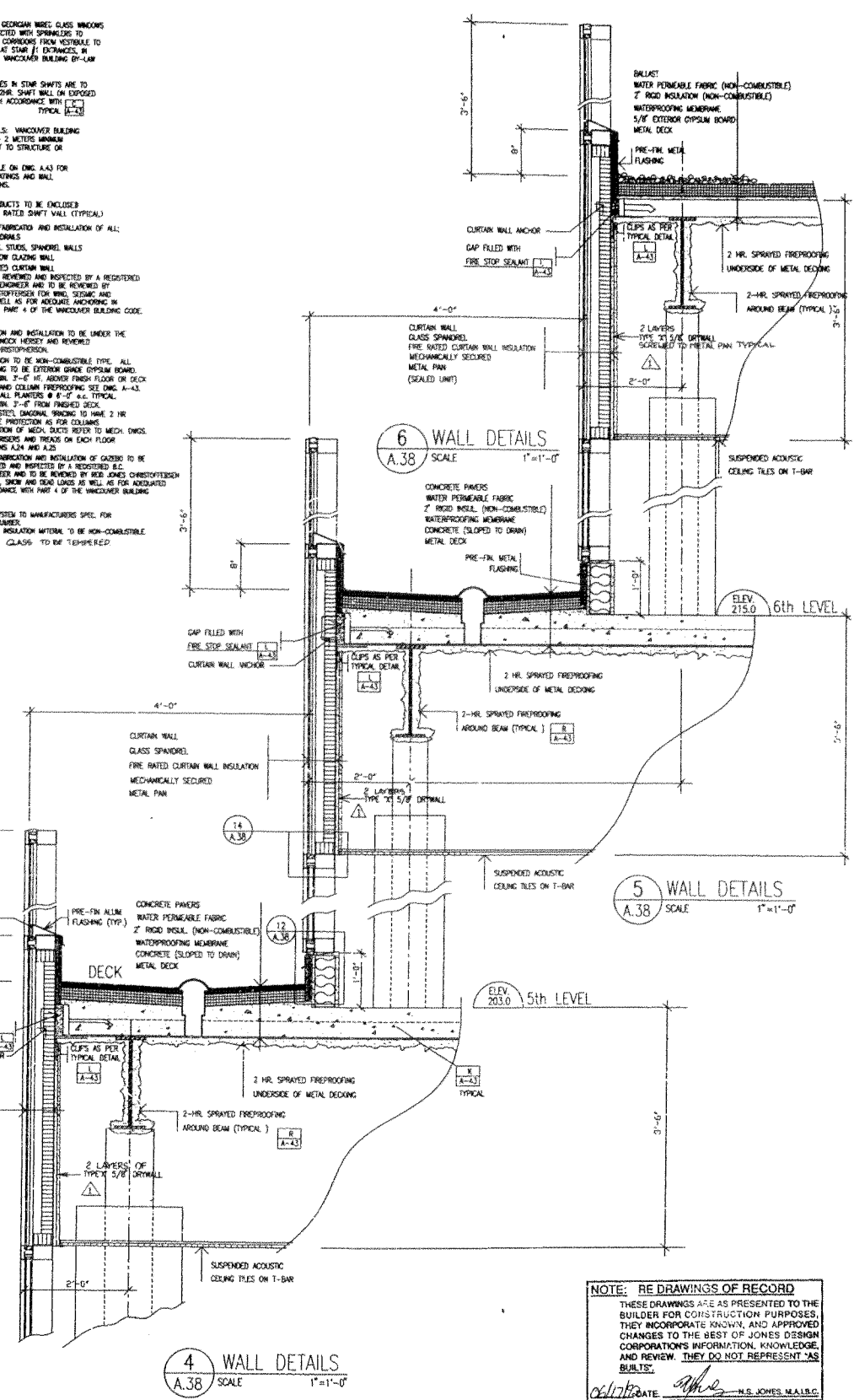
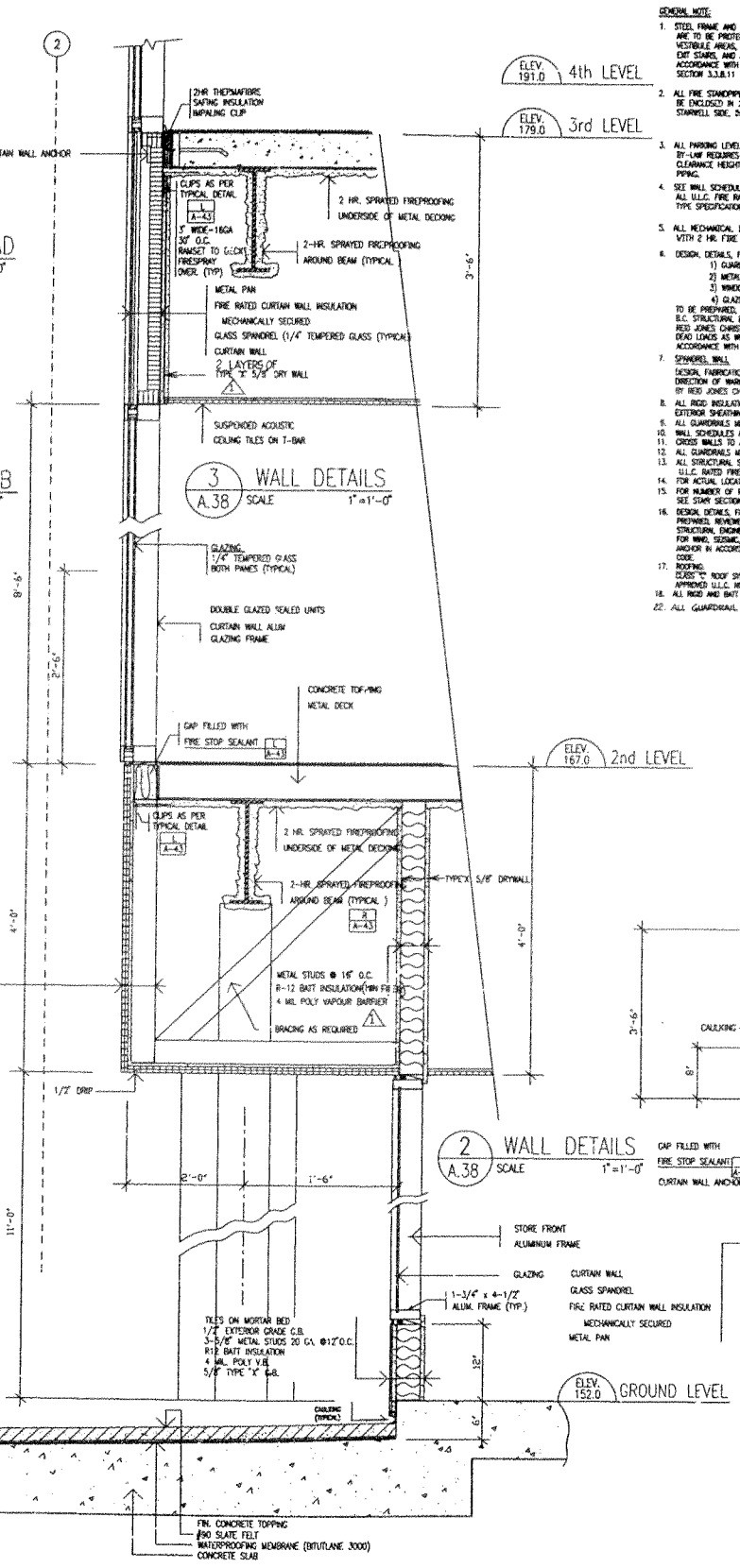
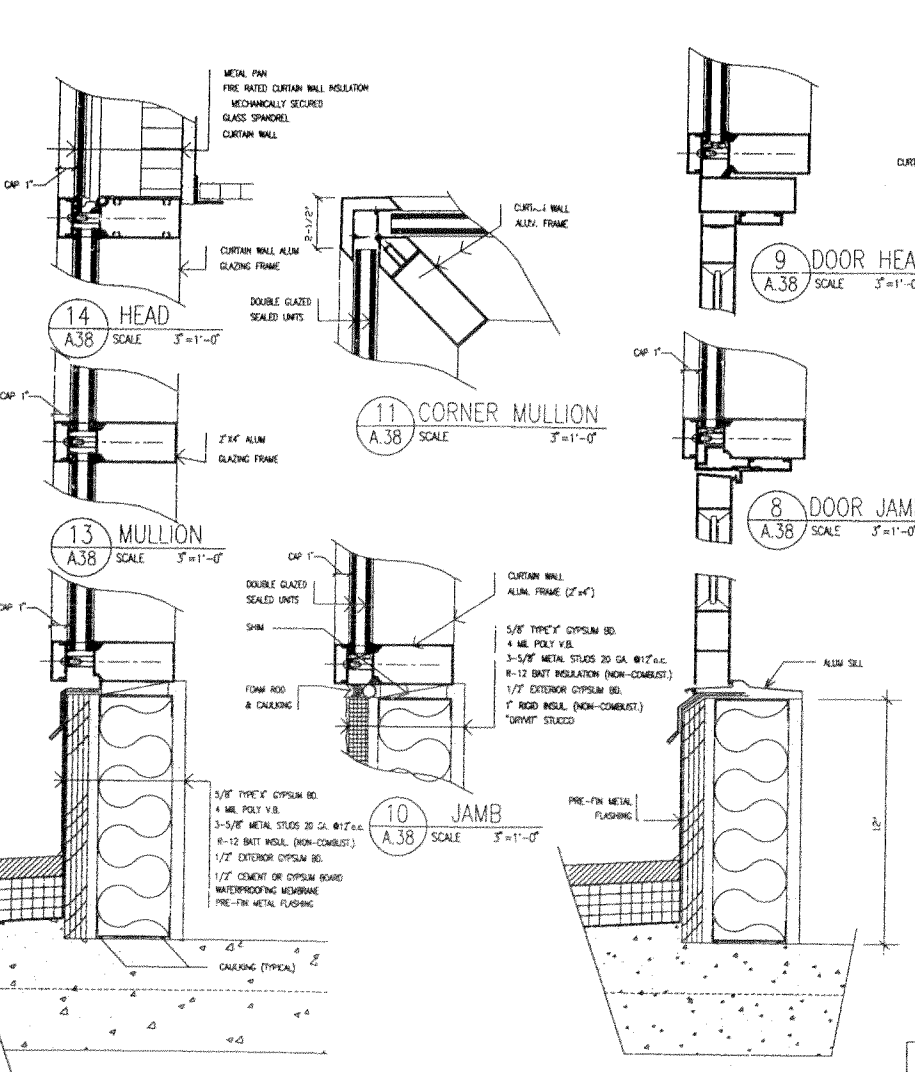
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TYPICAL CORE PLANS

SCALE: 1/4" = 1'-0"
 DATE: DEC. 07, 1990
 REVISION: 20 JAN 1992
 DRAWN: VESNA
 JOB NUMBER: 9005

NOT ACCEPTABLE
for New Building Application.

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- GENERAL NOTE:**
- STEEL FRAME AND GERMAN WIRE GLASS WINDOWS ARE TO BE PROTECTED WITH SPRINKLER TO VESTIBULE AREA, CORROSION FROM VESTIBULE TO DWP STAIRS AND AT STAIR 1' EXTENDED, IN ACCORDANCE WITH VACUUMER BUILDING BY-LAW SECTION 3.3.8.11.
 - ALL FIRE STOPPERS IN STAIR SHWTS ARE TO BE ENCLOSED IN 2HR SHWTS WALL ON EXPOSED SHWTS SIDE, IN ACCORDANCE WITH TYPICAL A-4.3.
 - ALL FINISH LEVELS: VACUUMER BUILDING BY-LAW REQUIRES 2 METERS MINIMUM CLEARANCE HEIGHT TO STRUCTURE OR PIPING.
 - SEE WALL SCHEDULE ON DWG A-4.3 FOR ALL U.L.C. FIRE RATINGS AND WALL TYPE SPECIFICATIONS.
 - ALL MECHANICAL DUCTS TO BE ENCLOSED WITH 2 HR. FIRE RATED SHWTS WALL (TYPICAL).
 - DESIGN DETAILS, FABRICATION AND INSTALLATION OF ALL:
 - GUARDRAILS
 - METAL STUDS, SPANDREL WALLS
 - WINDOW GLAZING WALL
 - GLAZED CURTAIN WALL
 TO BE PREPARED, REVIEWED AND INSPECTED BY A REGISTERED B.C. STRUCTURAL ENGINEER AND TO BE REVIEWED BY RED JONES CHRISTOPHERSON FOR WIND, SEISMIC AND DEAD LOADS AS WELL AS FOR ANCHORAGE IN ACCORDANCE WITH PART 4 OF THE VACUUMER BUILDING CODE.
 - SPANDREL WALL FABRICATION AND INSTALLATION TO BE UNDER THE DIRECTION OF WINDWOOD (SEE PART 4 OF THE VACUUMER BUILDING CODE) REVIEWED BY RED JONES CHRISTOPHERSON.
 - ALL ROOF INSULATION TO BE NON-COMBUSTIBLE TYPE. ALL EXTERIOR SHEATHING TO BE EXTERIOR GRADE OPSUM BOARD.
 - ALL GUARDRAILS MIN. 2'-0" HS. ABOVE FINISH FLOOR OR DECK.
 - WALL SCHEDULES AND CURTAIN FLOORING SEE DWG. A-4.3.
 - CORNER WALLS TO ALL PLANNERS @ 8'-0" O.C. TYPICAL.
 - ALL GUARDRAILS MIN. 2'-0" FROM FINISHED DECK.
 - ALL STRUCTURAL STEEL DIAGONAL BRACING TO HAVE 2 HR. U.L.C. RATED FIRE PROTECTION AS FOR COLLUMS.
 - FOR ACTUAL LOCATION OF MECH. DUCTS REFER TO MECH. DWGS. FOR NUMBER OF RISERS AND RISERS ON EACH FLOOR. SEE STAIR SECTIONS A-2.4 AND A-2.5.
 - DESIGN DETAILS, FABRICATION AND INSTALLATION OF CASING TO BE PREPARED, REVIEWED AND INSPECTED BY A REGISTERED B.C. STRUCTURAL ENGINEER AND TO BE REVIEWED BY RED JONES CHRISTOPHERSON FOR WIND, SEISMIC, SHWTS AND DEAD LOADS AS WELL AS FOR ANCHORAGE IN ACCORDANCE WITH PART 4 OF THE VACUUMER BUILDING CODE.
 - ROOFING: CEILING TO ROOF SYSTEM TO MANUFACTURERS SPEC. FOR APPROVED U.L.C. RATED.
 - ALL ROOF AND BATT INSULATION MATERIAL TO BE NON-COMBUSTIBLE.
 - ALL GUARDRAIL GLASS TO BE TEMPERED.

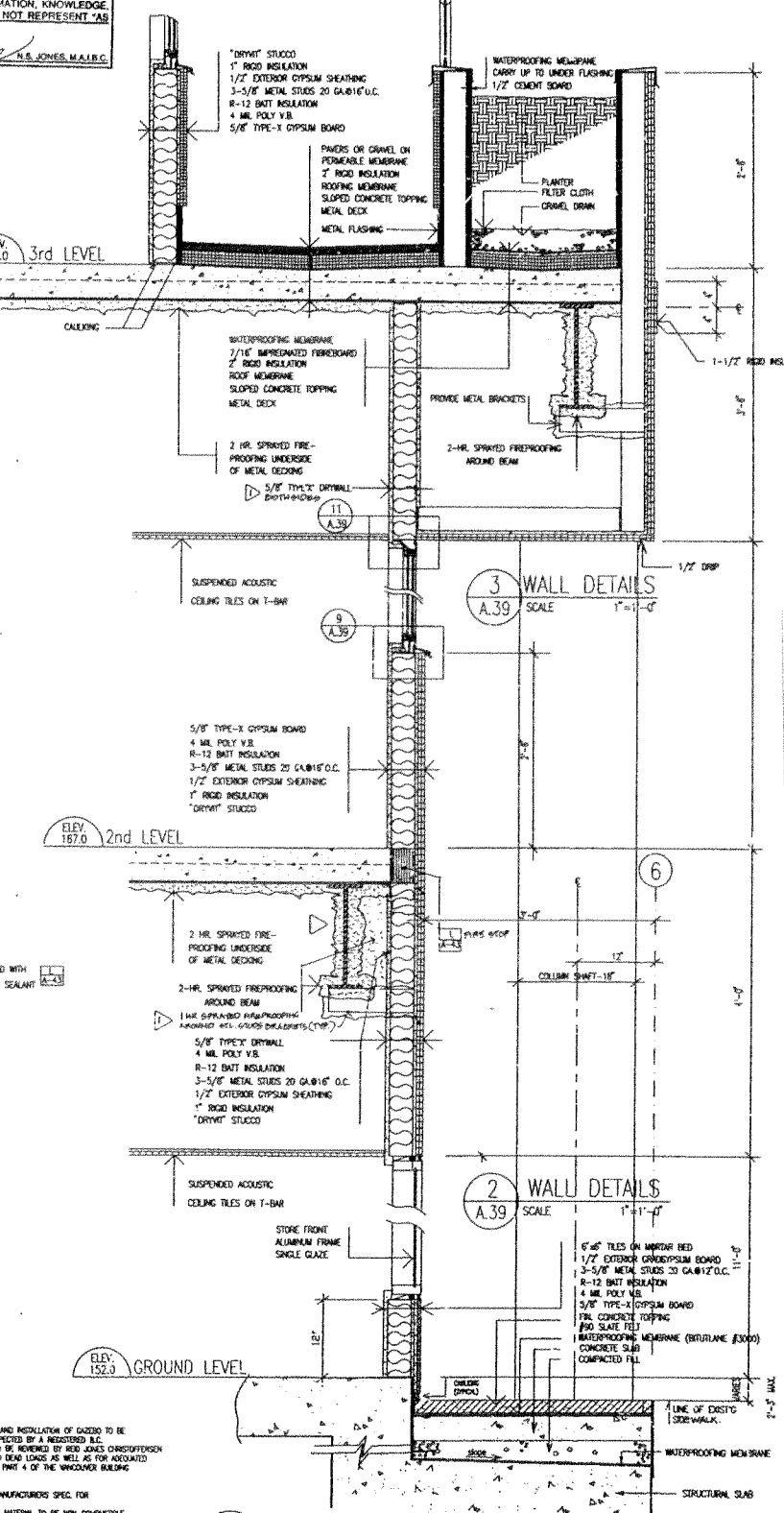
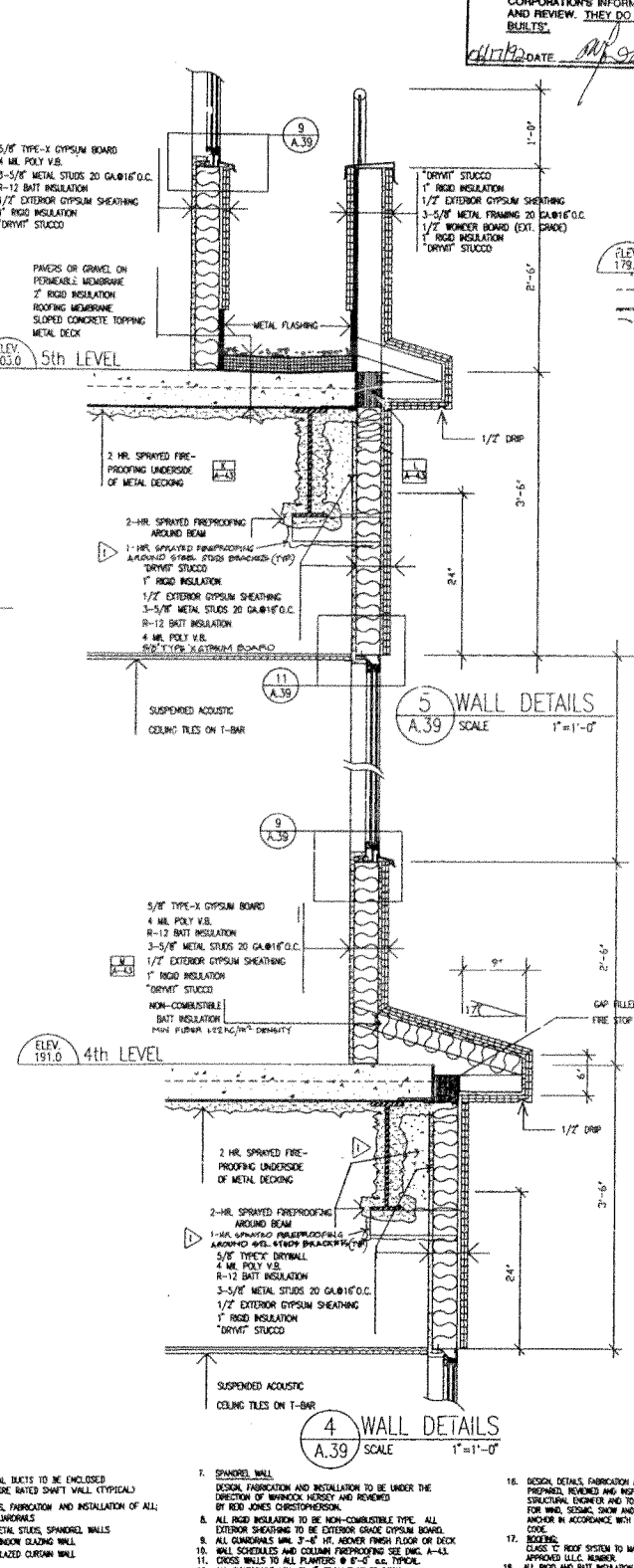
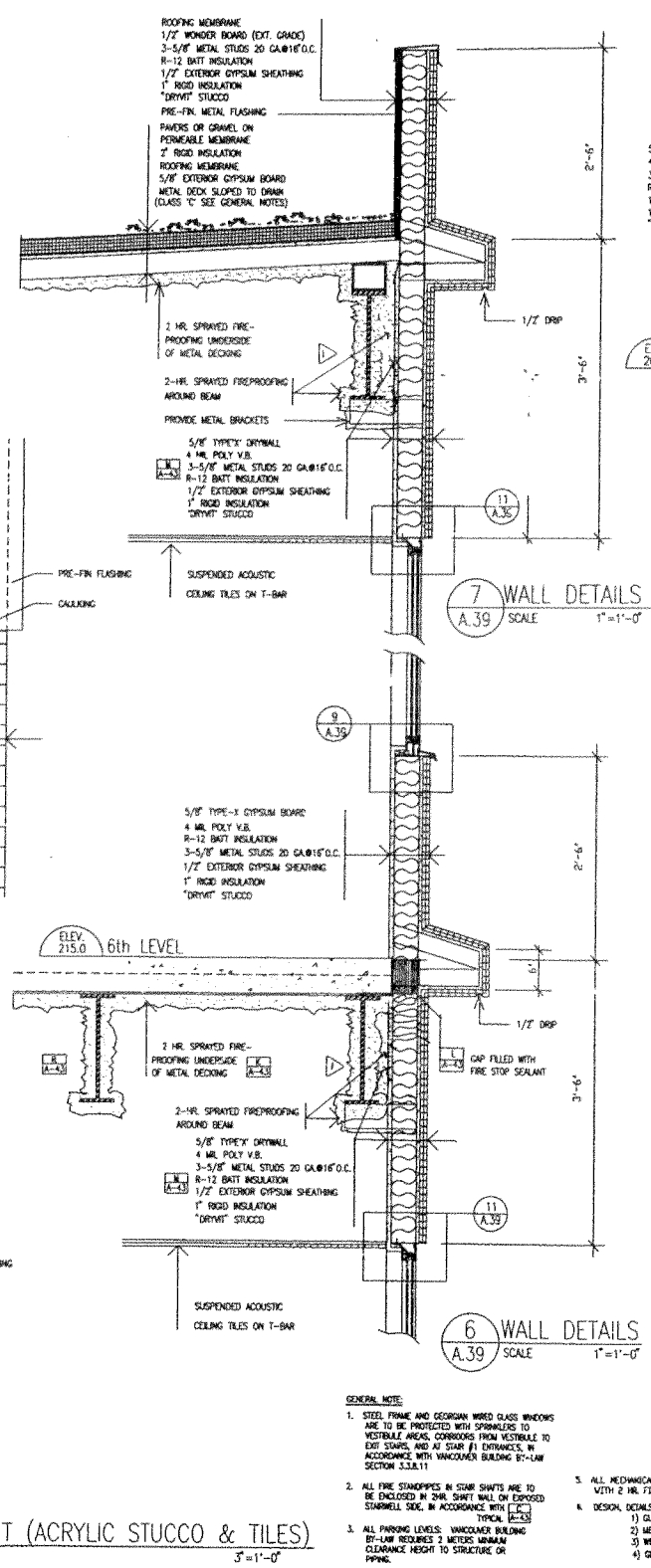
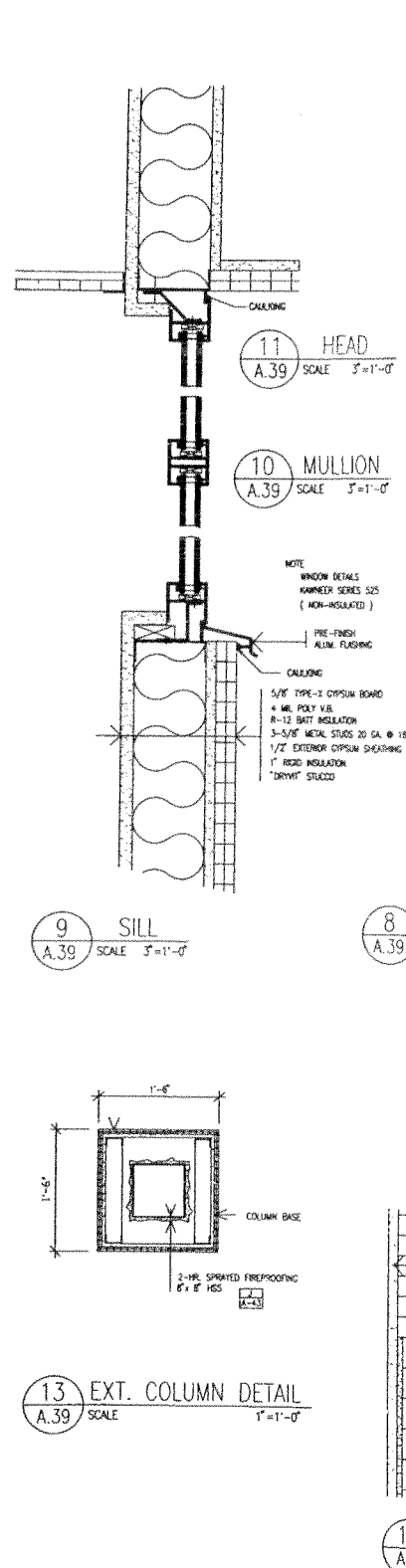
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DATE: 20 JAN 1992
DRAWN: JUN
JOB NUMBER: 8405
DETAILS

JONES DESIGN CORPORATION ARCHITECTS AND INTERIOR DESIGNERS #201-567 Hornby St. Vancouver, B.C. V6C 2E8 (604) 689-5888 FAX 689-4032		OFFICE BUILDING 539 WEST EIGHTH AVENUE, VANCOUVER, B.C.		COPYRIGHT MATERIAL Not to be reproduced without the written consent of the architect	DETAILS	A	38
SCALE: AS SHOWN	DATE: DEC 07, 1990	REVISIONS:	DATE: 20 JAN 1992	DRAWN: JUN	JOB NUMBER: 8405	DETAILS	

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- GENERAL NOTE:**
- STEEL FRAME AND GEORGIN WOOD GLASS WINDOWS ARE TO BE PROTECTED WITH SPRINKLES TO VESTIBULE AREAS, CONDUITS FROM VESTIBULE TO EXT. STAIRS, AND AT STAIR #1 ENTRANCES, IN ACCORDANCE WITH VANCOUVER BUILDING BY-LAW SECTION 13.28.11.
 - ALL FIRE STOPPERS IN SHaft SHIFTS ARE TO BE ENCLOSED IN 2HR. SHFT WALL ON EXPOSED STAIRWELL SIDE, IN ACCORDANCE WITH [REDACTED] TYPICAL DETAIL.
 - ALL FINISH LEVELS: VANCOUVER BUILDING BY-LAW REQUIRES 2 METERS UNIFORM CLEARANCE HEIGHT TO STRUCTURE OR FINISH.
 - SEE WALL SCHEDULE ON DWG. A.43 FOR ALL U.L.C. FIRE RATINGS AND WALL TYPE SPECIFICATIONS.
 - ALL MEDICAL WELLS TO BE ENCLOSED WITH 2 HR. FIRE RATED SHFT WALL (TYPICAL).
 - DESIGN, DETAILS, FABRICATION AND INSTALLATION OF ALL:
 - COURTAINS
 - METAL STUDS, SPANDREL WALLS
 - WINDOW GLAZING WALL
 - GLAZED CURTAIN WALL
 TO BE PREPARED, REVIEWED AND INSPECTED BY A REGISTERED B.C. STRUCTURAL ENGINEER AND TO BE REVIEWED BY RED JONES CHRISTOFFERSON FOR WIND, SEISMIC AND DEAD LOADS AS WELL AS FOR ADEQUATE ANCHORING IN ACCORDANCE WITH PART 4 OF THE VANCOUVER BUILDING CODE.
 - SPANDREL WALL DESIGN, FABRICATION AND INSTALLATION TO BE UNDER THE DIRECTION OF WINDWOOD HERRICK AND REVIEWED BY RED JONES CHRISTOFFERSON.
 - ALL ROOF INSULATION TO BE NON-COMBUSTIBLE TYPE. ALL EXTERIOR SHEATHING TO BE EXTERIOR GRADE GYPSUM BOARD.
 - ALL GYPSUMS MIN. 3/4" THK. AVOIDER FINISH FLOOR OR DECK.
 - WALL SCHEDULES AND COLUMN PRESCRIPTIONS SEE DWG. A.43.
 - CROSS WALLS TO ALL PLUMBERS @ 2" O.C. THICK.
 - ALL GYPSUMS MIN. 3/4" THK. FROM FINISHED DECK.
 - ALL STRUCTURAL STEEL BRACING TO HAVE 2 HR. U.L.C. WATER FIRE PROTECTION AS FOR COLUMNS.
 - FOR ACTUAL LOCATION OF METAL STUDS REFER TO MESH DWG. FOR NUMBER OF STUDS AND TRACKS ON EACH FLOOR. SEE SECT. SECTIONS A.24 AND A.25.
 - DESIGN, DETAILS, FABRICATION AND INSTALLATION OF GLAZING TO BE PREPARED, REVIEWED AND INSPECTED BY A REGISTERED B.C. STRUCTURAL ENGINEER AND TO BE REVIEWED BY RED JONES CHRISTOFFERSON FOR WIND, SEISMIC, SNOW AND DEAD LOADS AS WELL AS FOR ANCHORED ANCHOR IN ACCORDANCE WITH PART 4 OF THE VANCOUVER BUILDING CODE.
 - ROOFING: CLASS 'C' ROOF SYSTEM TO MANUFACTURER'S SPEC. FOR APPROVED U.L.C. MEMBER.
 - ALL ROOF AND BATT INSULATION MUSTING TO BE NON-COMBUSTIBLE.
 - ALL WALL HEADS, STUDS ON GROUND FLOOR TO BE 20 GA. STUDS @ 16" O.C. AND ELSEWHERE 3-5/8" O.C. STUDS @ 16" O.C.

NO.	REVISIONS	DATE

JONES DESIGN CORPORATION
 ARCHITECTS AND INTERIOR DESIGNERS
 #201-567 Hornby St. Vancouver, B.C. V6C 2E8 (604) 689-5888 FAX 689-4032

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DETAILS

A 39

SCALE	DATE	REVISIONS	DATE	DRAWN	JOB NUMBER
AS SHOWN	DEC 07, 1990		20 JAN 1992	AJM	8005 DETAIL 52

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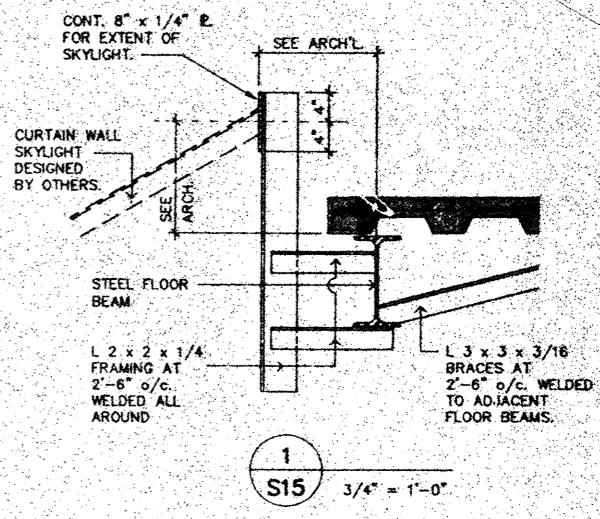
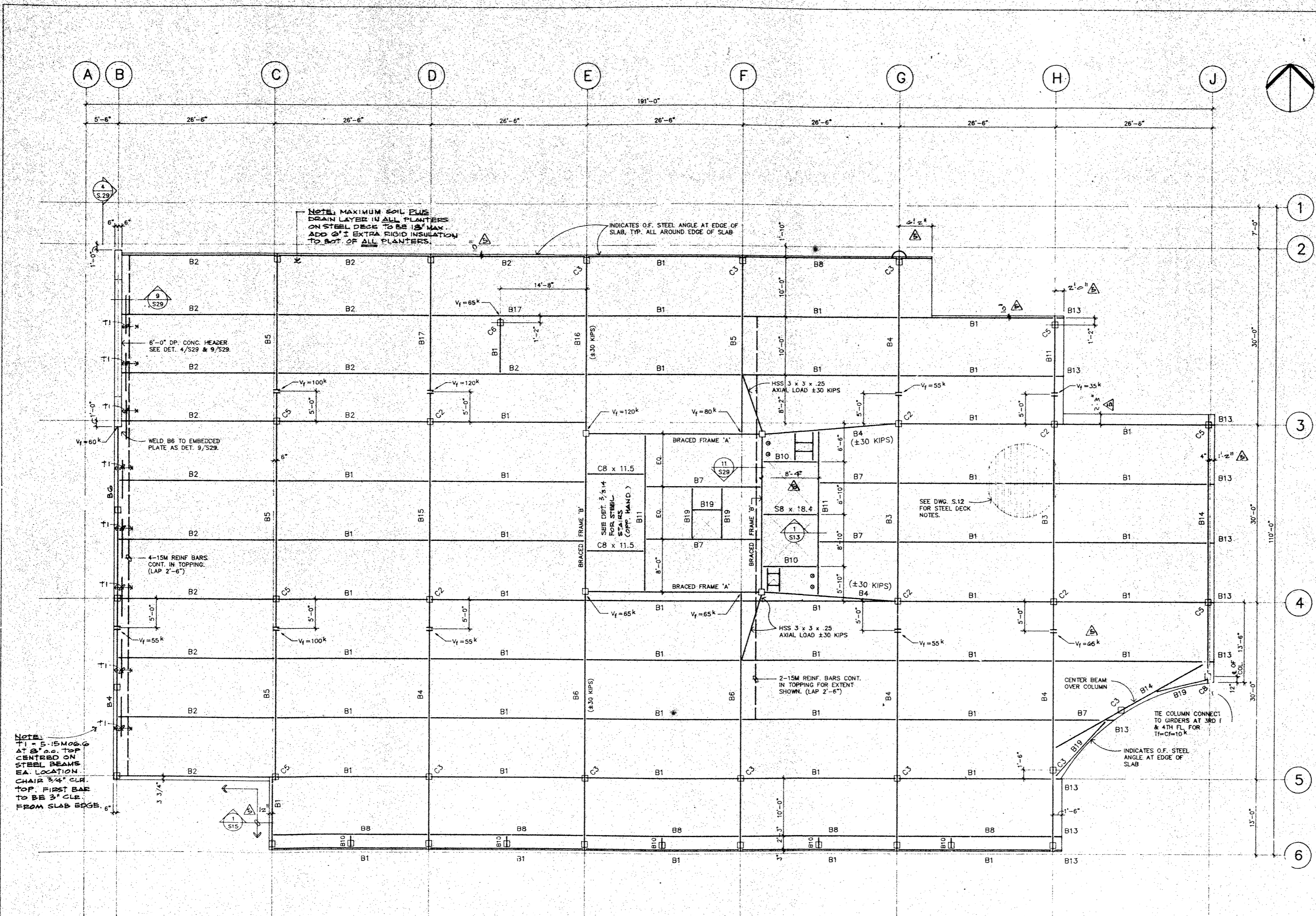
CITY OF VANCOUVER MICROFILM					
SITE CONTROL CODE	Z	MAP	ON	AT	PROP.
SHT. NO. OF	DWG. NO.	B 818 480	DATE FILMED	94.01	
TITLE:					

REDUCTION RATIO 3

24:1

CM 0 1 2 3 4 5

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THIRD FLOOR PLAN

NOTE: TOP OF STEEL ELEVATION = 178.54'
 SEE BEAM AND COLUMN SCHEDULES ON DWG. S.12 FOR STRUCTURAL STEEL.

7 MAY 25/92	CRACK SET
4. PERTZ/SH	REVISIONS CHANGED
4. AUG 13/91	ISSUED FOR CONSTRUCTION
2. MAR. 19/91	ISSUED FOR PRICING
1. NOV. 22/1990	ISSUED FOR BUILDING PERMIT

JONES DESIGN CORPORATION
 ARCHITECTS AND INTERIOR DESIGNERS
 #201-567 Hornby St. Vancouver, B.C. V6C 2E8 (604) 689-5888 FAX 689-4032

OFFICE BUILDING
 539 WEST EIGHTH AVE., VANCOUVER, B.C.

STRUCTURAL ENGINEERS
 VANCOUVER TORONTO PHOENIX
 EDMONTON CALGARY VICTORIA

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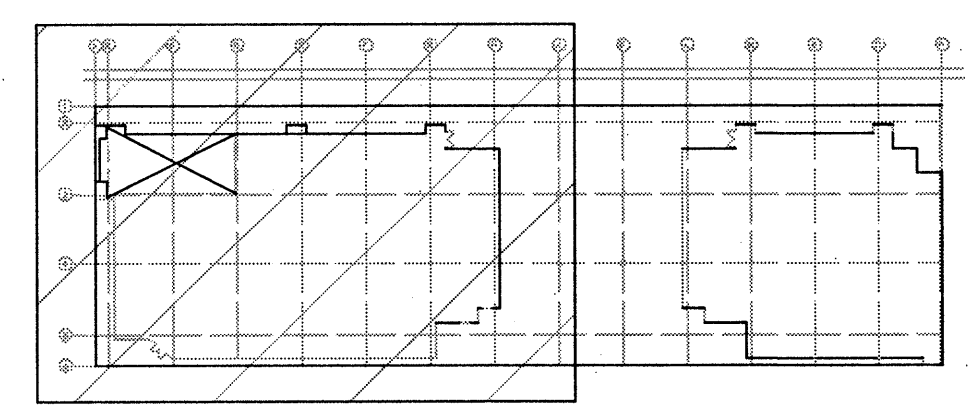
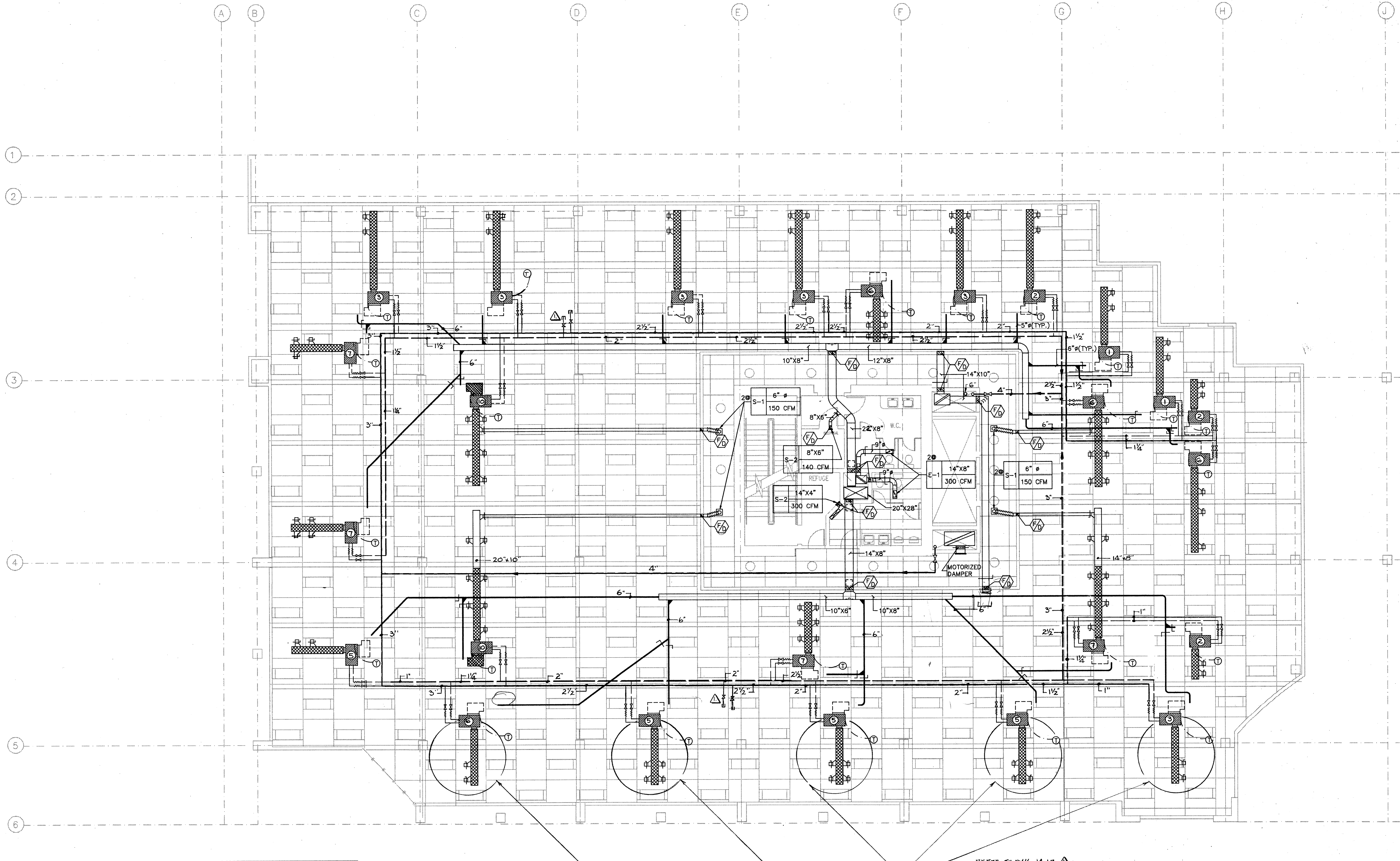
THIRD FLOOR PLAN (WEST SIDE)

SCALE: 1/8"=1'-0"

DATE: _____ REVISIONS: _____ DATE: _____ DRAWN: _____

S.15

JOB NUMBER: 5682-01



REFER TO DWG M-12

-	-	-
△	RECORD DRAWINGS	JULY 23, 1997
-	-	-
-	ISSUED FOR TENDER	91-8-7
NUMBER	REVISION	DATE

CADD FILE

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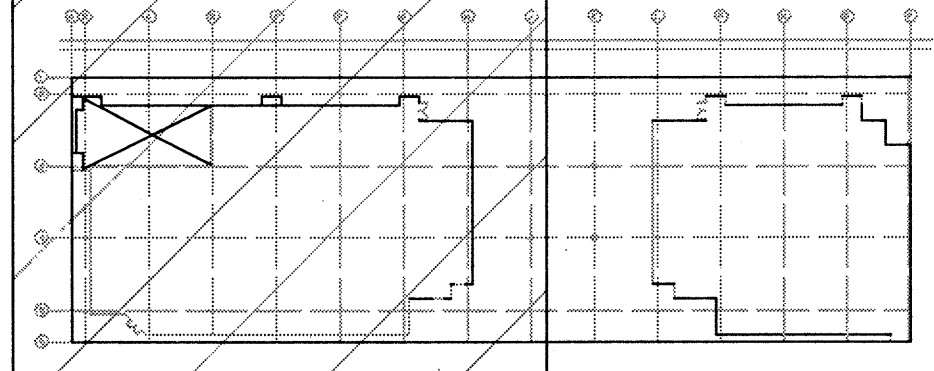
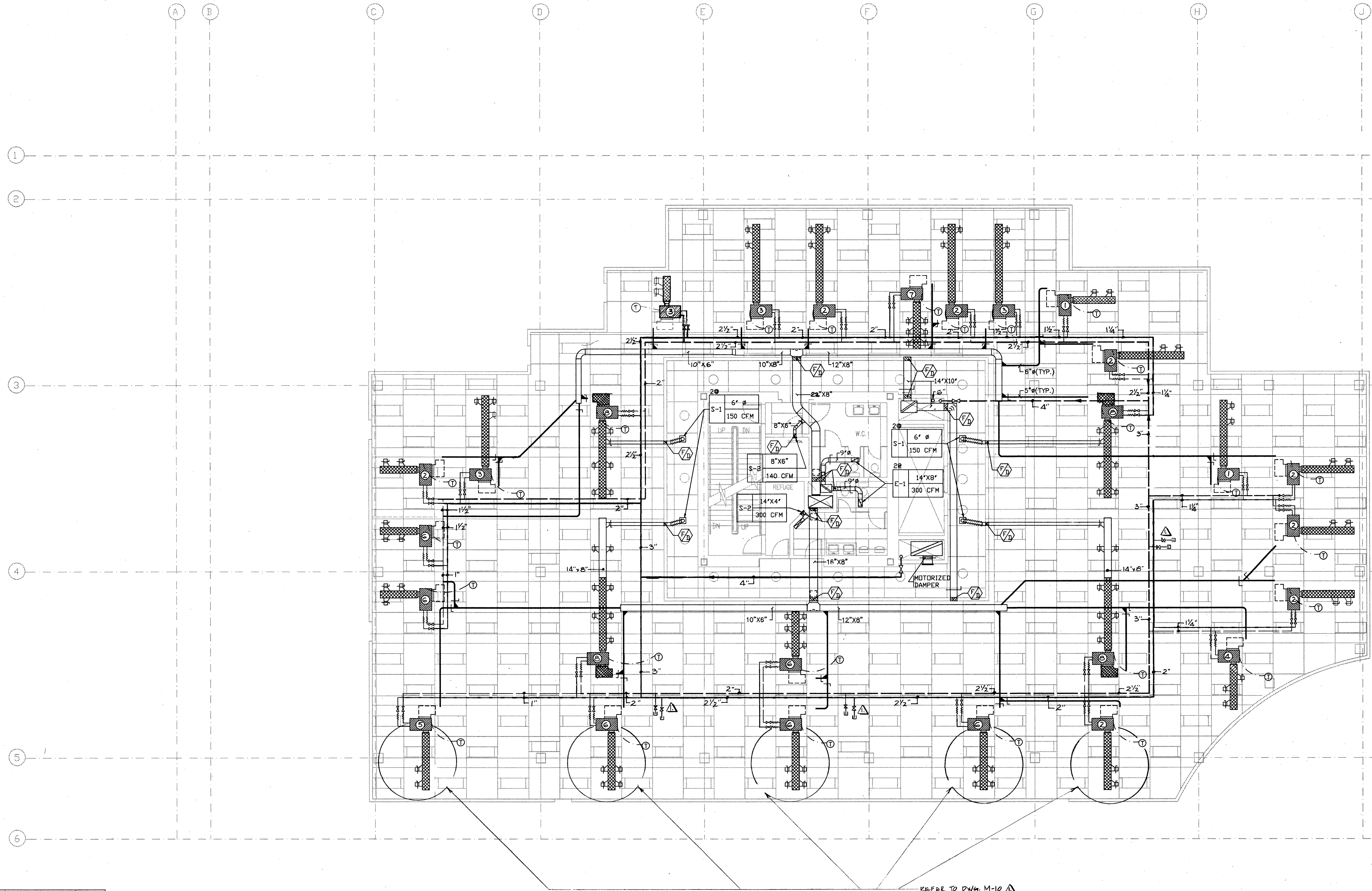
SMB
 ARCHITECTS

116 - 255 WEST 1ST STREET
 NORTH VANCOUVER, BC
 V7M 3G8

PH: (604) 985-1112
 FAX: (604) 985-4878

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2ND FL. WEST SIDE HVAC		M-8	
SCALE	DATE	REVISIONS	DATE
1/8"=1'-0"	July 1997	-	-
DRAWN	DATE	DATE	DATE
SCC	-	-	-
JOB NUMBER	DATE	DATE	DATE
91-552	-	-	-



-	-	-
-	-	-
▲	RECORD DRAWINGS	JULY 26, 1991
-	ISSUED FOR TENDER	91.8.7
NUMBER	REVISION	DATE

CADD FILE

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SMP
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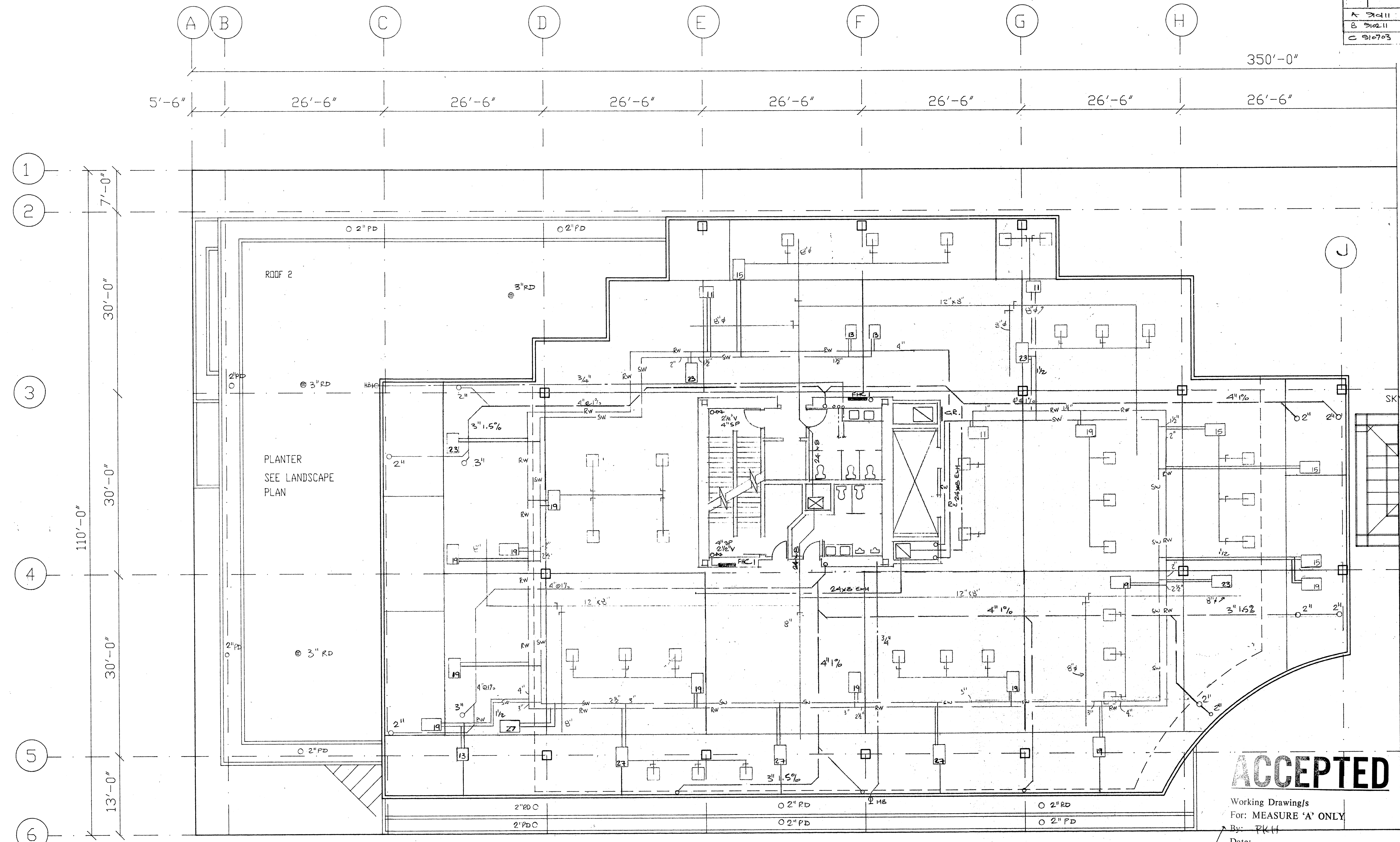
**3RD FL. WEST SIDE
 HVAC**

SCALE 1/8"=1'-0"	DATE July 1991	REVISIONS -	DATE -	DRAWN SCC	JOB NUMBER 91-552
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M-9
28 13

REVISIONS		
No.	Date	Details
A	9/11/11	CORE REVISED
B	9/12/11	GENERAL
C	9/17/13	GENERAL

RECEIVED
SEP 13 1991
PERMITS & LICENSES DEPT.



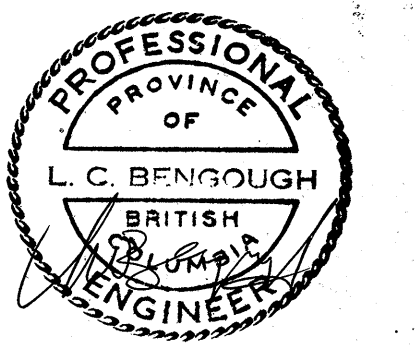
3RD FLE. WROOM WATER PIPING
1/4" HIC DIKT. 1/2" HIC TO EACH
FIXTURE AS REQ'D. PROVIDE
SHUT OFF VALVES EACH FIXTURE

ACCEPTED

Working Drawing/s
For: MEASURE 'A' ONLY
By: RLH
Date: SEP 18 1991
Subject to Inspection

BA214906

THIRD LEVEL



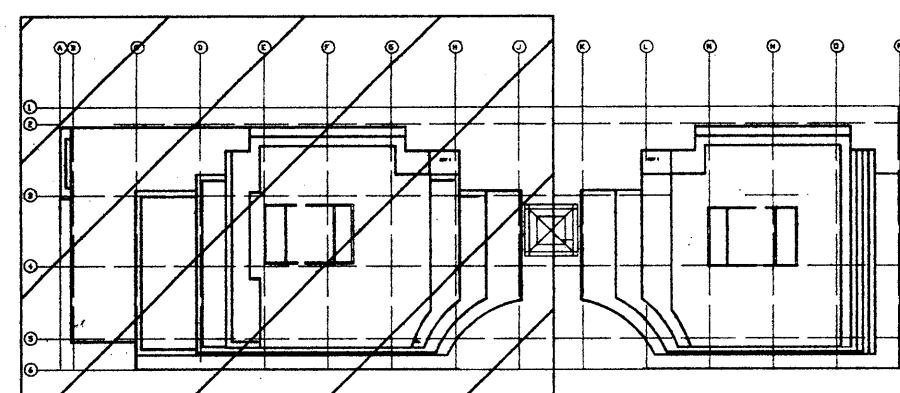
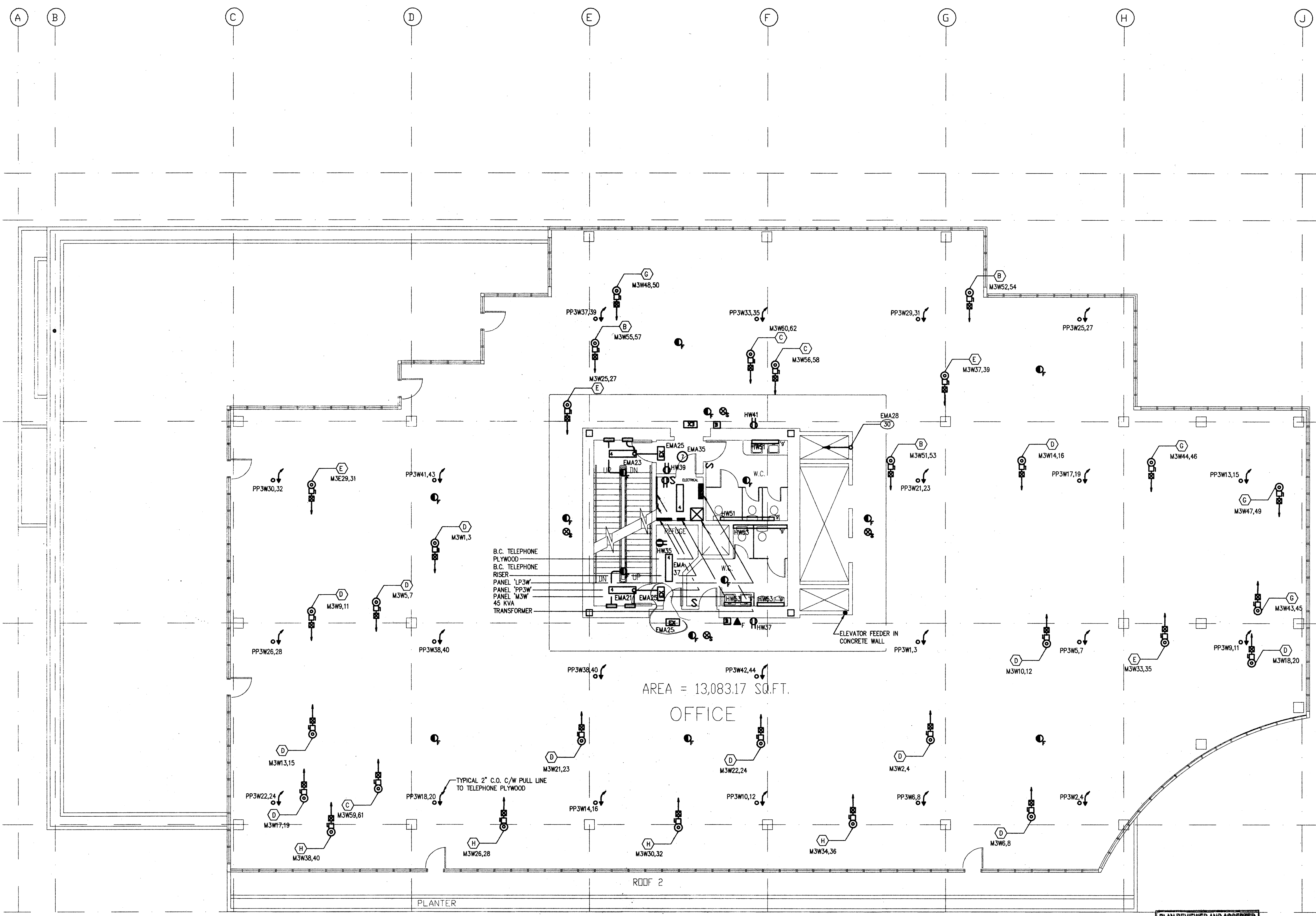
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FOR CRESSEY DEVELOPMENT CORPORATION

BENGOUGH ENGINEERING LTD
consulting mechanical engineers
#101 - 443 6TH STREET NEW WESTMINSTER, B.C. V3L 3B1 (604) 522-6613 fax(604)522-8088

THIRD LEVEL WEST
MECHANICAL

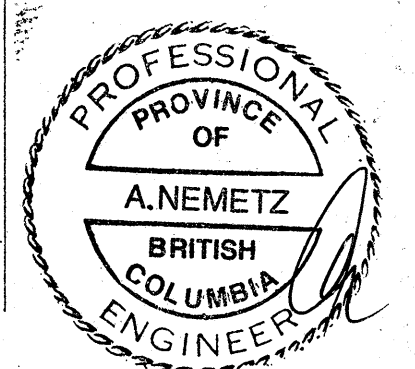
DATE: 9/11/92	DWG. NO.
SCALE: 1/8" = 1'-0"	M-10
DRAWN: AL/LCB	
PROJECT NO. 653	



PLAN REVIEWED AND ACCEPTED
PURSUANT TO CANA-5884
STANDARD FOR THE INSTALLATION
OF FIRE ALARM SYSTEMS

SEP 12 1991

PER: [Signature]
CHIEF FIRE PREVENTION OFFICER
THIS IS NOT A PERMIT



APR. 29 '91	ISSUED FOR BLDG. PERMIT	
MAR. 28 '91	RE-ISSUED FOR PRICING	
FEB. 21 '91	ISSUED FOR PRICING	
NOV. 22 '90	ISSUED FOR BLDG. PERMIT	
No.	DATE	DESCRIPTION

THIRD LEVEL

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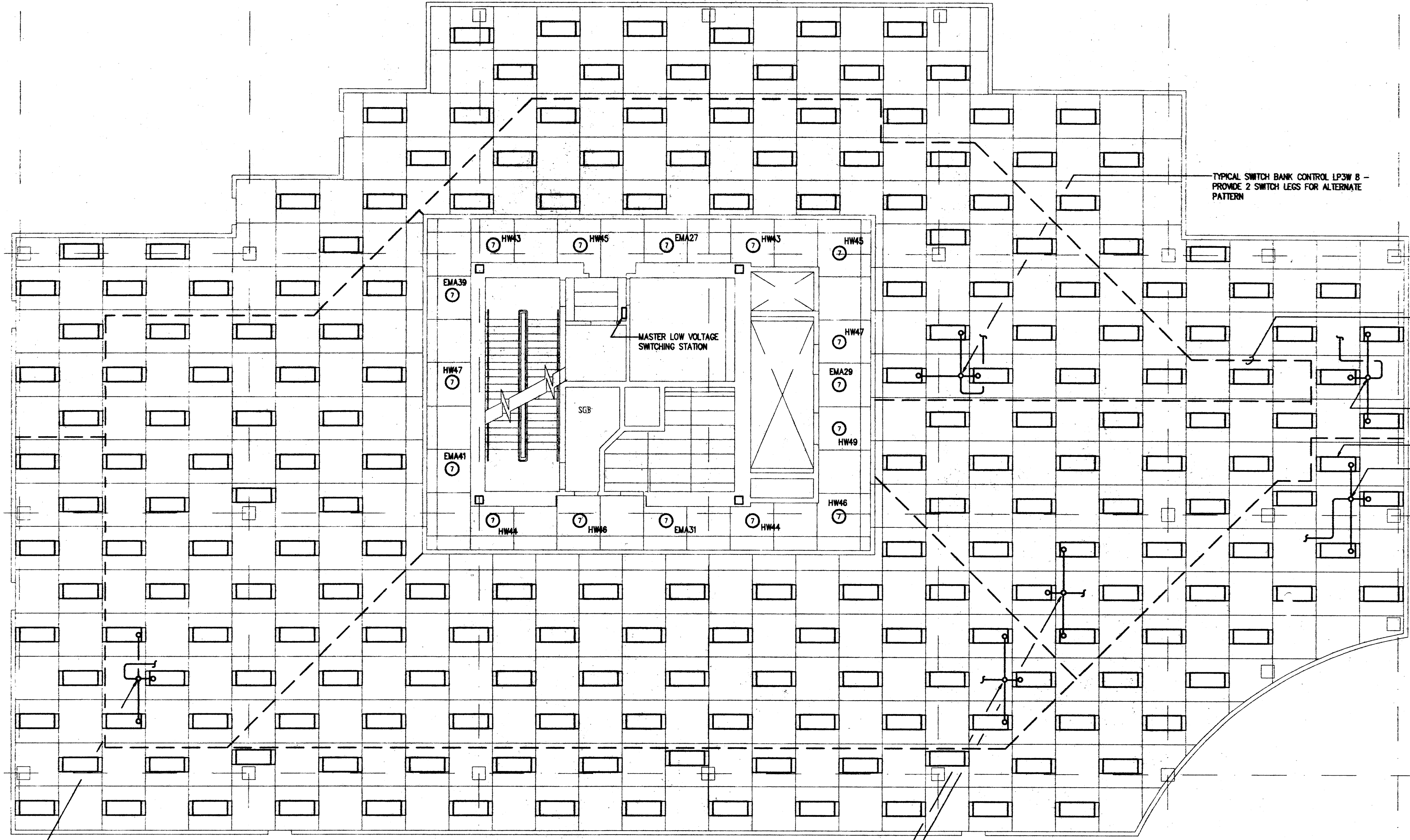
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128/12
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THIRD FLOOR PLAN WEST SIDE-POWER		E16 OF 36	
SCALE 1/8" = 1'-0"	DATE FEB. 21, 1991	REVISIONS	DATE
	DRAWN ANDY	JOB NUMBER 5525 WSP	

A B C D E F G H J

1
2
3
4
5
6



TYPICAL SWITCH BANK CONTROL LP3W 8 - PROVIDE 2 SWITCH LEGS FOR ALTERNATE PATTERN

TYPICAL DENOTES AREA OF LOW VOLTAGE SWITCHING CONTROL

TYPICAL WINDOW PERIMETER LIGHTING CONTROL - LP3W 2.4 - PROVIDE 2 SWITCH LEGS TO EACH FIXTURE

TYPICAL TYPE 'B' FIXTURE

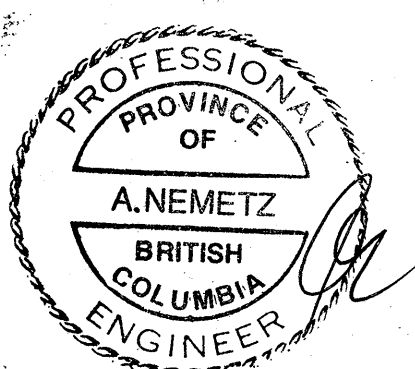
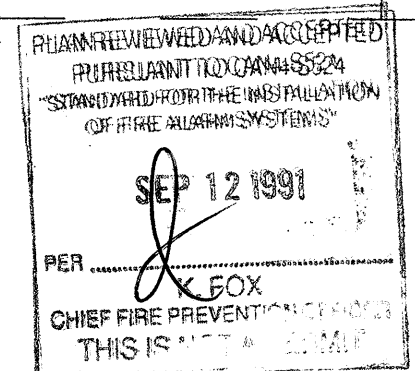
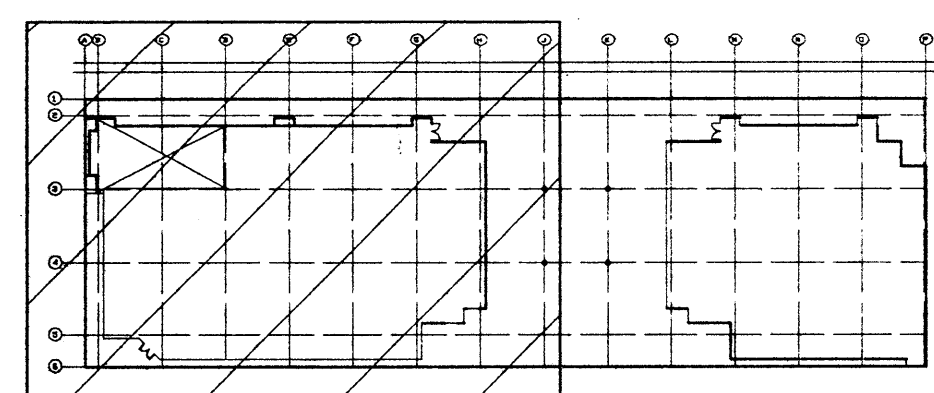
TYPICAL WINDOW PERIMETER LIGHTING CONTROL - LP3W 1.3 - PROVIDE 2 SWITCH LEGS TO EACH FIXTURE

TYPICAL SWITCH BANK CONTROL LP3W 7 - PROVIDE 2 SWITCH LEGS FOR ALTERNATE PATTERN

TYPICAL SWITCH BANK CONTROL LP3W 5 - PROVIDE 2 SWITCH LEGS FOR ALTERNATE PATTERN

TYPICAL SWITCH BANK CONTROL LP3W 6 - PROVIDE 2 SWITCH LEGS FOR ALTERNATE PATTERN

213.3R0
275.2R0



APR. 29 '91	ISSUED FOR BLDG. PERMIT	
MAR. 28 '91	RE-ISSUED FOR PRICING	
FEB. 21 '91	ISSUED FOR PRICING	
NOV. 22 '90	ISSUED FOR BLDG. PERMIT	
No.	DATE	DESCRIPTION

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THIRD FLOOR WEST SIDE REFLECTIVE CEILING PLAN		E17 OF 36	
SCALE	WEST SIDE	REVISIONS	DATE
1/8" = 1'-0"	FEB. 21, 1991		
DRAWN	JOB NUMBER		
ANDY	5525		

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NOTES A: RE FIRE ALARM

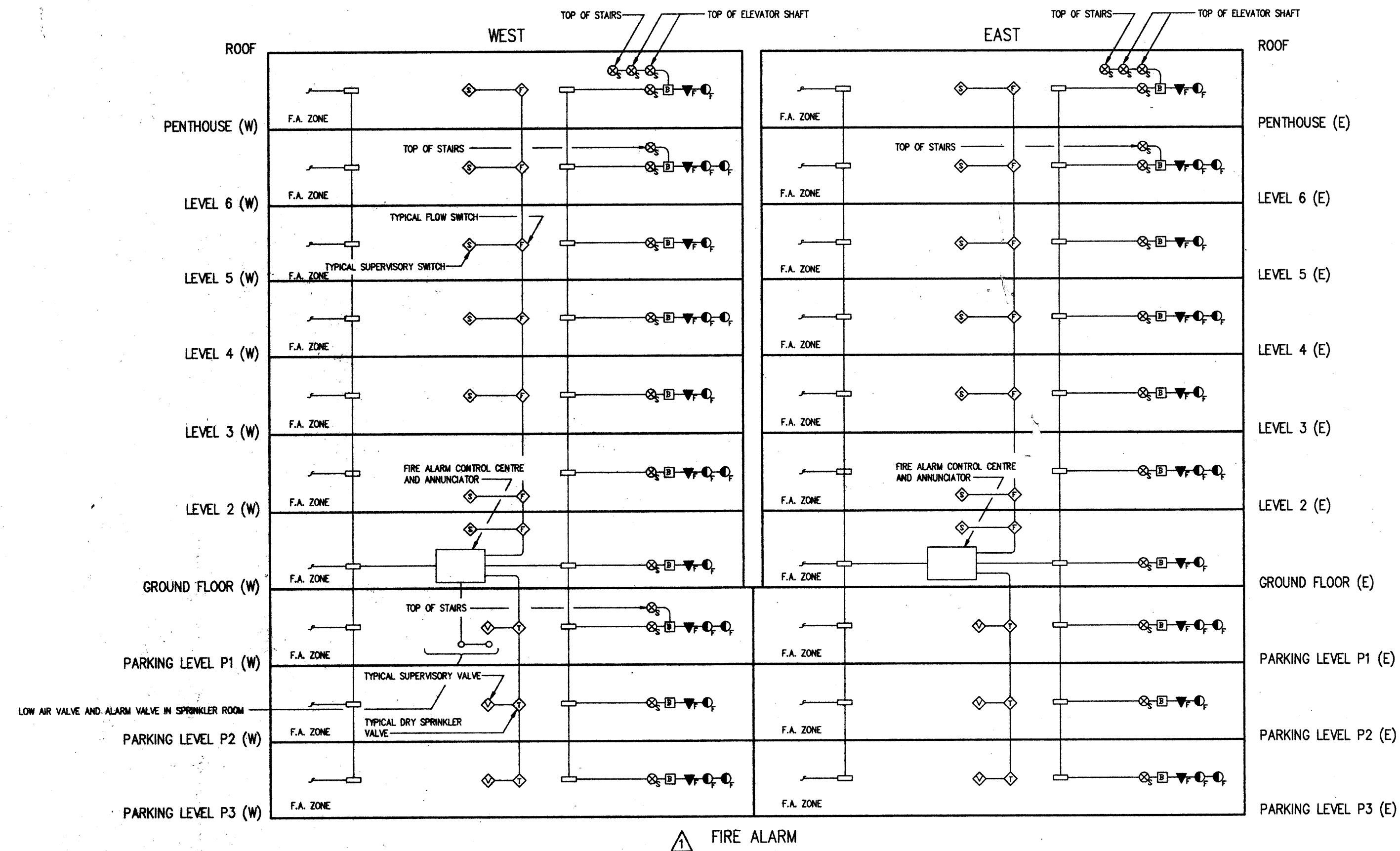
- WITHIN EACH ZONE PROVIDE SEPARATE ANNUNCIATION FOR SMOKE DETECTORS, HEAT DETECTORS, MANUAL PULL STATIONS, SMOKE DAMPERS AND SPRINKLER RISERS.
- WIRE TO ALARM SUPPLIERS SPECIFICATIONS.
- FIRE ALARM INSTALLATION TO COMPLY WITH CAN 4 - S 524, NATIONAL BUILDING TABLE 3.2.4A AND 3.2.6. ADDITIONAL REQUIREMENTS FOR HIGH BUILDINGS.
- FIRE ALARM SYSTEM TO BE ZONED AND SUPERVISED, STAIRS AND ELEVATOR TO HAVE SEPARATE ZONES AS REQUIRED.
- FIRE ALARM TO HAVE MINIMUM OF 2 BELL CIRCUITS PER FLOOR IN SEPARATE CONDUIT.
- FOR EXACT NUMBER OF DEVICES, SEE FLOOR PLANS.
- FIRE ALARM CABINET TO HAVE PROVISION FOR CONNECTING TO "OFF PREMISE" MONITORING AUTHORITY. SYSTEM SHALL BE CONNECTED TO MONITORING AUTHORITY.
- ELECTRICAL CONTRACTOR TO PROVIDE CONNECTION TO MECHANICAL EQUIPMENT AND CONTROL. ELECTRICAL CONTRACTOR TO CONFIRM MEASURE OF HIGH RISE SAFETY WITH MECHANICAL.
- ON GROUND FLOOR RECALL LEVEL.
 - THE SMOKE DETECTOR(S) OUTSIDE THE ELEVATOR TO BE ON A SEPARATE ZONE TO ACTIVATE "ELEVATOR ALTERNATE LEVEL".
 - THE BREAKGLASSES ARE NOT TO BE CONNECTED TO THE "ELEVATOR RECALL".
 - ELEVATOR ALTERNATE LEVEL - NOT REQUIRED IF ENTIRE BUILDING IS SPRINKLERED.
- SEE ELECTRICAL SPECIFICATIONS.
- ELECTRICAL CONTRACTOR TO WIRE AND CONNECT MOTORIZED DAMPER AS REQUIRED BY MECHANICAL SPECIFICATIONS. ANNUNCIATE AND CONNECT TO C.C.F. AS REQUIRED C/W OVERRIDE AND INDICATOR PILOT LIGHT.

NOTES E: RE MECHANICAL

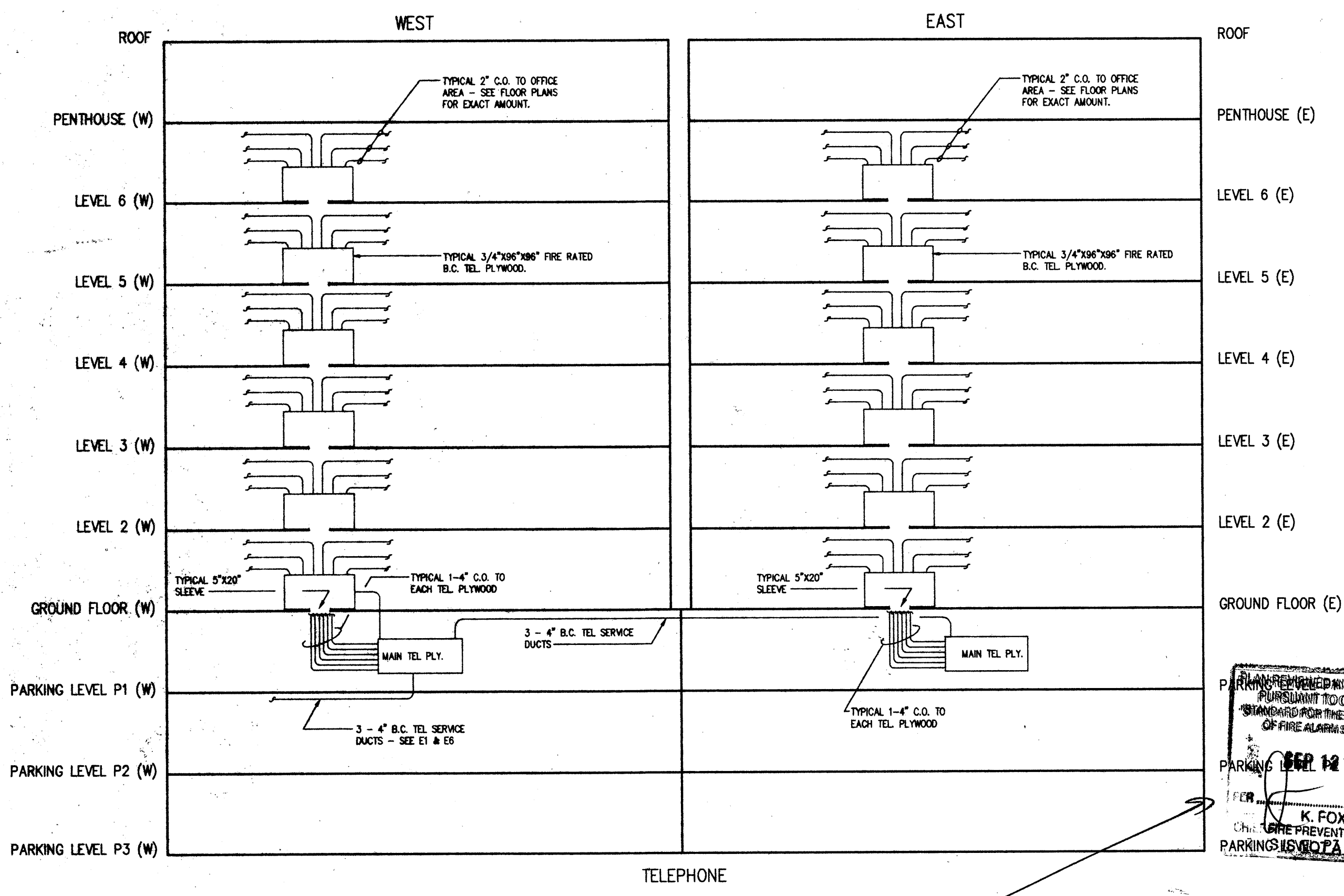
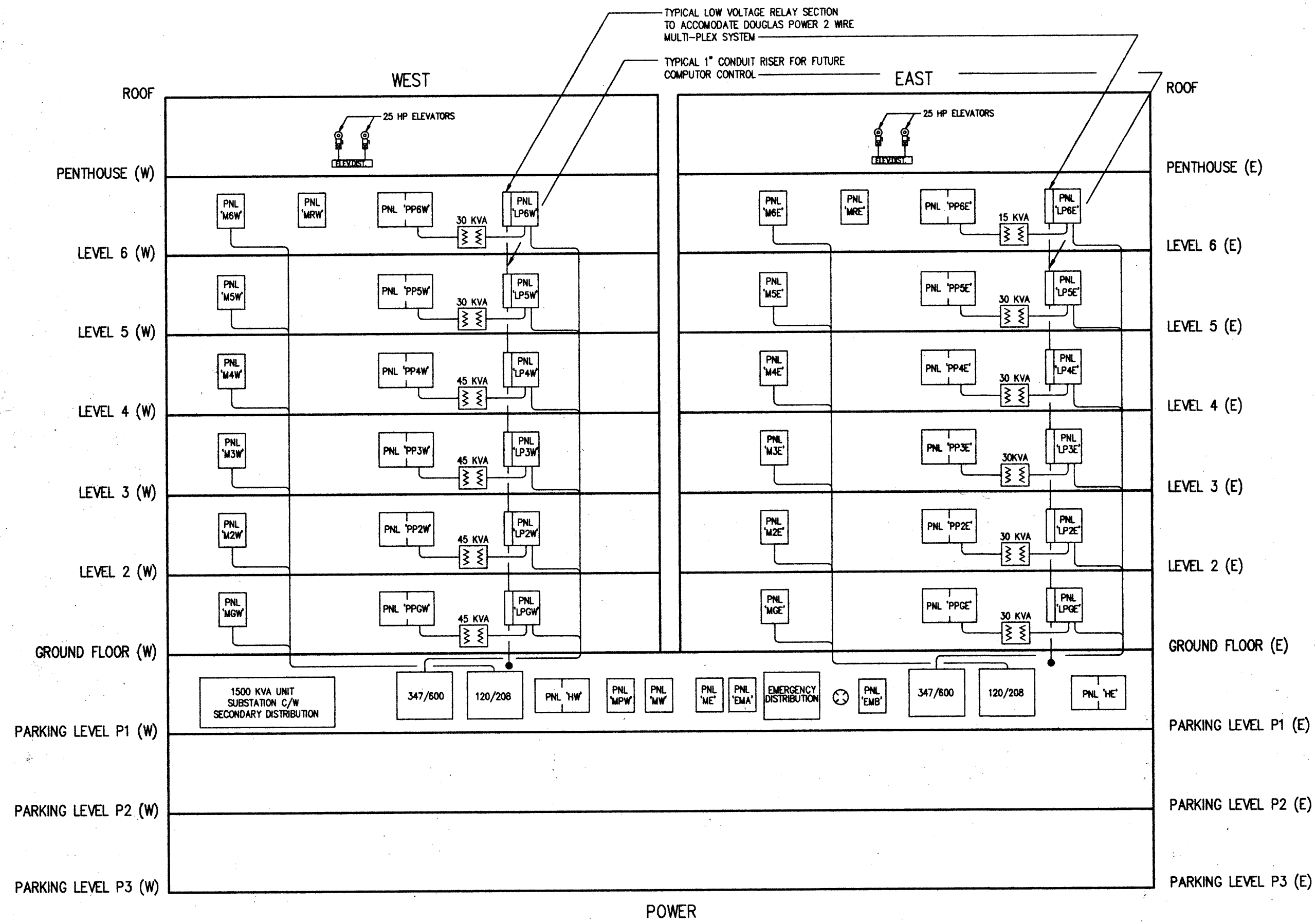
- GENERALLY THE ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE ELECTRICAL CONNECTIONS FROM STARTERS TO EQUIPMENT MOTORS, AND:
 - ALL DISCONNECT SWITCHES OR LOCK-OUT STATION AT MOTOR LOCATIONS WHERE REQUIRED BY CODE.
 - WIRING TO LINE VOLTAGE THERMOSTAT AND PRESSURE SWITCHES FOR FORCED FLOW UNIT AND UNIT HEATERS, WIRING TO PRESSURE SENSING ON FLOAT DEVICES FOR SUMP PUMPS, ETC., WIRING OF ELECTRIC HEATING ELEMENTS AND ASSOCIATED THERMOSTATS.
 - WIRING TO ALTERNATORS FOR PUMPS WHERE SPECIFIED.
 - PROVIDE 15 AMP. CIRCUIT WHERE REQUIRED FOR CONTROLS.
 - SUPPLY AND INSTALLATION OF THE PROPER SIZE OVERLOAD HEATERS IN THE MAGNETIC STARTERS AND THERMAL OVERLOAD SWITCHES.
 - WIRING AS REQUIRED FOR OPERATION OF MOTORIZED DAMPERS ON FIRE EMERGENCY CONDITIONS.

NOTE F: RE FIRE ALARM, EXIT & EMERGENCY LIGHTING SYSTEMS VERIFICATION

1. CONTRACTOR SHALL RETAIN A PROFESSIONAL ELECTRICAL ENGINEER REGISTERED IN THE PROVINCE OF BRITISH COLUMBIA, CANADA TO PROVIDE VERIFICATIONS OF THE FIRE ALARM SYSTEM AND THE INSTALLATION OF EXIT AND EMERGENCY LIGHTING SYSTEM IN ACCORDANCE WITH THE BRITISH COLUMBIA BUILDING CODE 1985. ALL COSTS ASSOCIATED WITH PERFORMANCE OF THIS ITEM SHALL BE INCLUDED.



PLAN REVIEWED AND ACCEPTED
PURSUANT TO CAN-BSM
STANDARD FOR THE INSTALLATION
OF FIRE ALARM SYSTEMS
JUN 11 1991
PER K. FOX
CHIEF FIRE PREVENTION OFFICER
THIS IS NOT A PERMIT



PROFESSIONAL
PROVINCE OF
A. NEMETZ
BRITISH
COLUMBIA
ENGINEER

PLAN REVIEWED AND ACCEPTED
PURSUANT TO CAN-BSM
STANDARD FOR THE INSTALLATION
OF FIRE ALARM SYSTEMS
JUN 12 1991
PER K. FOX
CHIEF FIRE PREVENTION OFFICER
PARKINGS IS NOT A PERMIT

APR. 29 '91	FIRE ALARM REVISED
MAR. 28 '91	ISSUED FOR BLDG. PERMIT
FEB. 21 '91	RE-ISSUED FOR PRICING
NOV. 22 '90	ISSUED FOR PRICING
NOV. 22 '90	ISSUED FOR BLDG. PERMIT
No.	DATE
	DESCRIPTION

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V6J 1N3 TEL (604) 736-6562 FAX (604) 736-9805

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RISER DIAGRAM

SCALE	DATE	REVISIONS	DATE	DRAWN	JOB NUMBER
	FEB. 21, 1991			ANDY	5525 RISER

E34
OF 36

TENANT FIT-OUT AT ECHELON CENTRE

3/F-575 8TH AVE WEST VANCOUVER, BC

PROJECT TEAM

LANDLORD	MECHANICAL	WILLIAMS ENGINEERING LTD
CRESSEY DEVELOPMENT GROUP SUITE 200, 555 WEST 8TH AVENUE VANCOUVER, BRITISH COLUMBIA V5Z 1G6 CONTACT: TOM JOHNSTON PH: 604 995 0145 E-MAIL: TJOHNSTON@CRESSEY.COM		100 MELVILLE STREET VANCOUVER, BC V6E 4A6 CONTACT: ALEX GONZALES PH: 780 409 5300 E-MAIL: AGONZALES@WILLIAMSENGINEERING.COM
TENANT / PROJECT	ELECTRICAL	WILLIAMS ENGINEERING LTD
REAL ESTATE AND FACILITIES MANAGEMENT CITY OF VANCOUVER 507 WEST BROADWAY, SUITE 320 VANCOUVER, BC V5Z 0B4 CONTACT: CHERRY DEARING PH: 604 873 7575 E-MAIL: CHERRY.DEARING@VANCOUVER.CA		100 MELVILLE STREET VANCOUVER, BC V6E 4A6 CONTACT: VINCE RAFER PH: 780 409 5300 E-MAIL: VRAFER@WILLIAMSENGINEERING.COM
MANAGER		
CHERNOFF THOMPSON ARCHITECTS 840-1075 WEST GEORGIA STREET, VANCOUVER, BC V6E 3C9 CONTACT: TONY YIP PH: 604 669 9460 E-MAIL: TONY.YIP@CTABC.CA		
ARCHITECT		

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- THESE DRAWINGS ARE NOT TO BE SCALED.
- ALL DIMENSIONS, UNLESS OTHERWISE NOTED, ARE METRIC.
- ALL MATERIALS TO MEET FLAME SPREAD RATINGS REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.
- ALL WORK TO BE COMPLETED TO MEET THE APPLICABLE LOCAL BUILDING CODES, AND LOCAL HEALTH AND FIRE REGULATIONS.
- ALL WALL DIMENSIONS ARE TO THE CENTRE LINE OF STUD UNLESS OTHERWISE NOTED.
- TOUCH UP AND MAKE GOOD ALL EXISTING WALLS TO REMAIN SUITABLE TO RECEIVE NEW PAINT FINISH.
- PROVIDE DEFLECTION TRACKS AT ALL WALL ATTACHMENTS TO UNDERSIDE OF STRUCTURE.
- RATED WALL ASSEMBLIES ARE INDICATED IN AN ABBREVIATED FORMAT, SEE REFERENCED DESIGN NUMBER LISTING (IE ULO) FOR FULL ASSEMBLY.
- PROVIDE CONTINUOUS PLYWOOD BACKING IN WALLS FOR ALL ITEMS SECURED TO WALLS, INCLUDING ELECTRICAL PANEL, MILLWORK AND CASEWORK, DOOR STOPS, TACK AND WHITE BOARDS, SCREENS, ALL WASHROOM ACCESSORIES AND MISC. WALL FIXTURES, WHETHER THEY ARE INSTALLED BY OWNER OR BY CONTRACTOR.
- ALL NEW WALLS ARE CONSTRUCTED TO THE UNDERSIDE OF EXISTING T-BAR CEILING, UNLESS NOTED OTHERWISE.
- FIRESTOP ALL EXISTING AND NEW SERVICE PENETRATIONS THROUGH FLOOR SLAB AND VERTICAL FIRE SEPARATION.
- PROVIDE X-RAY TO EXISTING FLOOR SLAB AND ROOF SLAB PRIOR TO CORING FOR NEW SERVICE PENETRATION.
- UNLESS NOTED ON DRAWINGS, TYPICAL NEW INTERIOR WALLS TO BE WALL TYPE W1.
- ALL GWB FOR NEW WASHROOM TO BE MOISTURE RESISTANT GWB, PROVIDE WATER PROOFING MEMBRANE UNDER THE WHOLE NEW WASHROOM/SHOWER (RM 610) AND WATERPROOFING MEMBRANE ON ALL SIDES OF THE SHOWER FULL HEIGHT OF WALL.
- ALL FIRE SEPARATION TO BE CONSTRUCTED TO THE U/S OF STRUCTURAL SLAB, OR EXTERIOR WALL.
- WALL TYPES ARE TO BE CONTINUOUS ABOVE & BELOW WINDOWS AND DOORS UNO.
- ALL DOOR FRAMES TO BE 50mm AWAY FROM FINISHED FACE OF WALL UNO.
- FLOORING IN HALLWAY EXTENDS TO THE ROOM SIDE OF DOOR FRAME.
- GWB FOR ALL GWB CEILING TO BE 16THK.
- FOR ALL EXISTING AND NEW ITEMS WITHIN THE PROJECT AREA, PROVIDE SEISMIC RESTRAINT TO ALL CEILING SUPPORTING FRAMES, T-BARS ASSEMBLIES, CEILING GYPSUM WALL BOARDS ALL OVERHEAD MECHANICAL DUCTS, AND EQUIPMENT, OVERHEAD ELECTRICAL CONDUITS AND LIGHTS.
- MAKE GOOD ALL DISRUPTED FIRE RESISTIVE SPRAY RESULTING FROM NEW CONSTRUCTION IN THE CEILING OF 5/F & 6/F

GENERAL DEMOLITION NOTES

- DEMOLITION DRAWING ONLY SHOWS THE GENERAL SCOPE OF DEMOLITION ALSO REFER TO OTHER ARCHITECTURAL DETAIL DRAWINGS, MECHANICAL & ELECTRICAL DRAWINGS FOR FULL SCOPE OF DEMOLITION WORKS REQUIRED TO PRODUCE NEW LAYOUT. CONTRACTOR WILL BE RESPONSIBLE FOR COORDINATING AND CARRYING OUT ALL NECESSARY DEMOLITION NOT SHOWN IN THE DEMOLITION PACKAGE IN ORDER TO PRODUCE NEW LAYOUT.
- ALL DEMOLISHED MATERIAL AND DEBRIS TO BE REMOVED PROMPTLY FROM SITE AND DISPOSED OF IN A LEGAL MANNER.
- SELLING OF ANY MATERIALS ON SITE IS NOT PERMITTED.
- MAKE GOOD DAMAGED AREA AND FIXTURES OR REPLACED WITH NEW WHICH ARE TO BE RETAINED AS SHOWN IN DRAWING.
- COMPLY WITH ALL BYLAWS AND ACQUIRE ALL NECESSARY PERMIT.
- COMPLY WITH ALL WORKER'S COMPENSATION BOARD OF BC, ACCIDENT PREVENTION REGULATIONS.
- DEMOLISH ALL EXPOSED & HIDDEN ELECTRICAL, MECHANICAL & PLUMBING FIXTURES, ENCLOSED CONDUITS AND PIPINGS, & OTHER FIXTURES AND FINISHES THAT ARE NOT TO BE REUSED ASSOCIATED WITH DEMOLITION OF WALLS.

DRAWING LIST

ARCHITECTURAL
A-00 3RD FLOOR COVER SHEET
A-01 3RD FLOOR PLAN EXISTING (BASE)
A-02 3RD FLOOR PLAN DEMOLITION (BASE)
A-03 3RD FLOOR REFLECTED CEILING EXISTING (BASE)
A-04 3RD FLOOR PLAN NEW (BASE)
A-05 3RD FLOOR REFLECTED CEILING NEW (BASE)
A-06 3RD FLOOR INTERIOR ELEVATIONS (BASE)
A-07 3RD FLOOR INTERIOR ELEVATIONS (BASE)
A-08 3RD FLOOR INTERIOR ELEVATIONS (BASE)
A-09 3RD FLOOR INTERIOR ELEVATIONS (BASE)
A-10 3RD FLOOR INTERIOR ELEVATIONS (BASE)
A-11 3RD FLOOR INTERIOR ELEVATIONS (BASE)
A-12 3RD FLOOR TYPICAL DETAILS (BASE)
A-13 3RD FLOOR FINISHES PLAN (BASE)
AA-01 3RD FLOOR PLAN EXISTING (ALTERNATE PRICE)
AA-02 3RD FLOOR PLAN DEMOLITION (ALTERNATE PRICE)
AA-03 3RD FLOOR REFLECTED CEILING EXISTING (ALTERNATE PRICE)
AA-04 3RD FLOOR PLAN NEW (ALTERNATE PRICE)
AA-05 3RD FLOOR REFLECTED CEILING NEW (ALTERNATE PRICE)
AA-06 3RD FLOOR INTERIOR ELEVATIONS (ALTERNATE PRICE)
AA-07 3RD FLOOR FINISHES PLAN (ALTERNATE PRICE)

MECHANICAL

M-1.0 SITE PLAN, DETAILS, & GENERAL NOTES
M-1.1 MECHANICAL SCHEDULES
M-2.0 SANITARY & PLUMBING DEMOLITION PLANS
M-2.1A BASE MECHANICAL DEMOLITION PLAN
M-2.1B ALTERNATE PRICE MECHANICAL DEMOLITION PLAN
M-3.0 NEW SANITARY & PLUMBING PLANS
M-3.1A BASE NEW MECHANICAL PLAN
M-3.1B ALTERNATE PRICE NEW MECHANICAL PLAN
M-3.2A BASE NEW FIRE SUPPRESSION PLAN
M-3.2B ALTERNATE PRICE NEW FIRE SUPPRESSION PLAN
M-4.0 MECHANICAL SPECIFICATIONS

ELECTRICAL

E600 3RD FLOOR DRAWING LIST, GENERAL NOTES & SYMBOLS
E601 3RD FLOOR ELECTRICAL SPECIFICATIONS
E602 3RD FLOOR SINGLE LINE, CALCULATIONS & SCHEDULES
E603 3RD FLOOR ELECTRICAL DETAILS & PANEL SCHEDULES
E700 3RD FLOOR BASE PLAN NEW POWER & LOW TENSION PLAN
E701 3RD FLOOR BASE PLAN NEW LIGHTING & FIRE ALARM PLAN
E702 3RD FLOOR BASE PLAN DEMOLITION POWER & LOW TENSION PLAN
E703 3RD FLOOR BASE PLAN DEMOLITION LIGHTING PLAN & FIRE ALARM PLAN
E800 3RD FLOOR ALTERNATE PRICE NEW POWER & LOW TENSION PLAN
E801 3RD FLOOR ALTERNATE PRICE NEW LIGHTING & FIRE ALARM PLAN
E802 3RD FLOOR ALTERNATE PRICE DEMOLITION POWER & LOW TENSION PLAN
E803 3RD FLOOR ALTERNATE PRICE DEMOLITION LIGHTING & FIRE ALARM PLAN

PROJECT DATA

-CIVIC ADDRESS: 3/F 575 W 8TH AVE, VANCOUVER
-FLOOR AREA (EXISTING): 1160 SQ. APPROX

BUILDING CODE ANALYSIS

-APPLICABLE CODE: VANCOUVER BUILDING BYLAW 2014 PART 3
-MAJOR OCCUPANCY: OFFICE - D (BUSINESS & PERSONAL SERVICES)

-NO. OF STREET FACING: 1
-BUILDING AREA: 1217 SQ. APPROX
-BUILDING HEIGHT: 6 STOREY
-FIRST STOREY: MAIN FLOOR
-BUILDING CODE CLASSIFICATION: 3.2.2.56 GROUP D

-PRINCIPAL ENTRANCE: ENTRANCE FACING 8TH AVE.
-CONSTRUCTION TYPE: FLOOR ASSEMBLY AND SUPPORTING STRUCTURE - IFR FRR, NON-COMBUSTIBLE CONSTRUCTION

-SPRINKLER: EXISTING, AUTOMATIC SPRINKLER SYSTEM ACCORDING TO NFPA-13
-FIRE ALARM: EXISTING, SINGLE STAGE, MONITORED
-FIRE SEPARATION: THE TENANT WILL OCCUPY THE ENTIRE FLOOR AREA THERE WILL NOT BE ANY FIRE SEPARATION REQUIRED WITHIN THE WHOLE PROJECT AREA.

-EXIT SIGNS: PROVIDED ACCORDING TO 3.4.5
-EMERGENCY LIGHT: PROVIDED ACCORDING TO 3.2.7.3
-ACCESSIBILITY: - EXISTING BY BASE BUILDING
-DOOR & DOOR HARDWARE: ALL DOORS & HARDWARE TO COMPLY WITH 3.3.113
-OCCUPANT LOAD CALCULATIONS: 31 BASED ON THE NUMBER OF WORKSTATIONS, ALL MEETING ROOMS ARE OF INTERNAL USE SO THERE IS NO EXTRA OCCUPANT LOAD

-PLUMBING FIXTURE CALCULATION FROM EACH FLOOR (ACCORDING TO 3.7.2.2.B):

	NO. OF PERSONS EACH SEX	NO. OF WC REQUIRED	NO. OF WC PROVIDED	NO. OF UNIVERSAL WR
MALE	27	2	2	1
FEMALE	28	2	3	

-EXISTING BUILDING UPGRADE MECHANISM MODEL ACCORDING TO A-II.2.1.2, FLOW CHART No 1 (REHABILITATION, NO CHANGE IN MAJOR OCCUPANCY) MINOR RENOVATION.
-UPGRADE LEVEL - F1, S2, N1, A2, E2.

ARCHITECTURAL SYMBOLS

1 **A-00** **DRAWING TITLE** DRAWING IDENTIFICATION
1:100

1 **A** **GRID LINES**

1 **A-00** **SECTION MARKERS**

1 **A-00** **BUILDING SECTION**

1 **A-00** **INTERIOR ELEVATION MARKERS**

1 **A-00** **DETAIL REFERENCE**

D **WALL TYPE IDENTIFICATION**

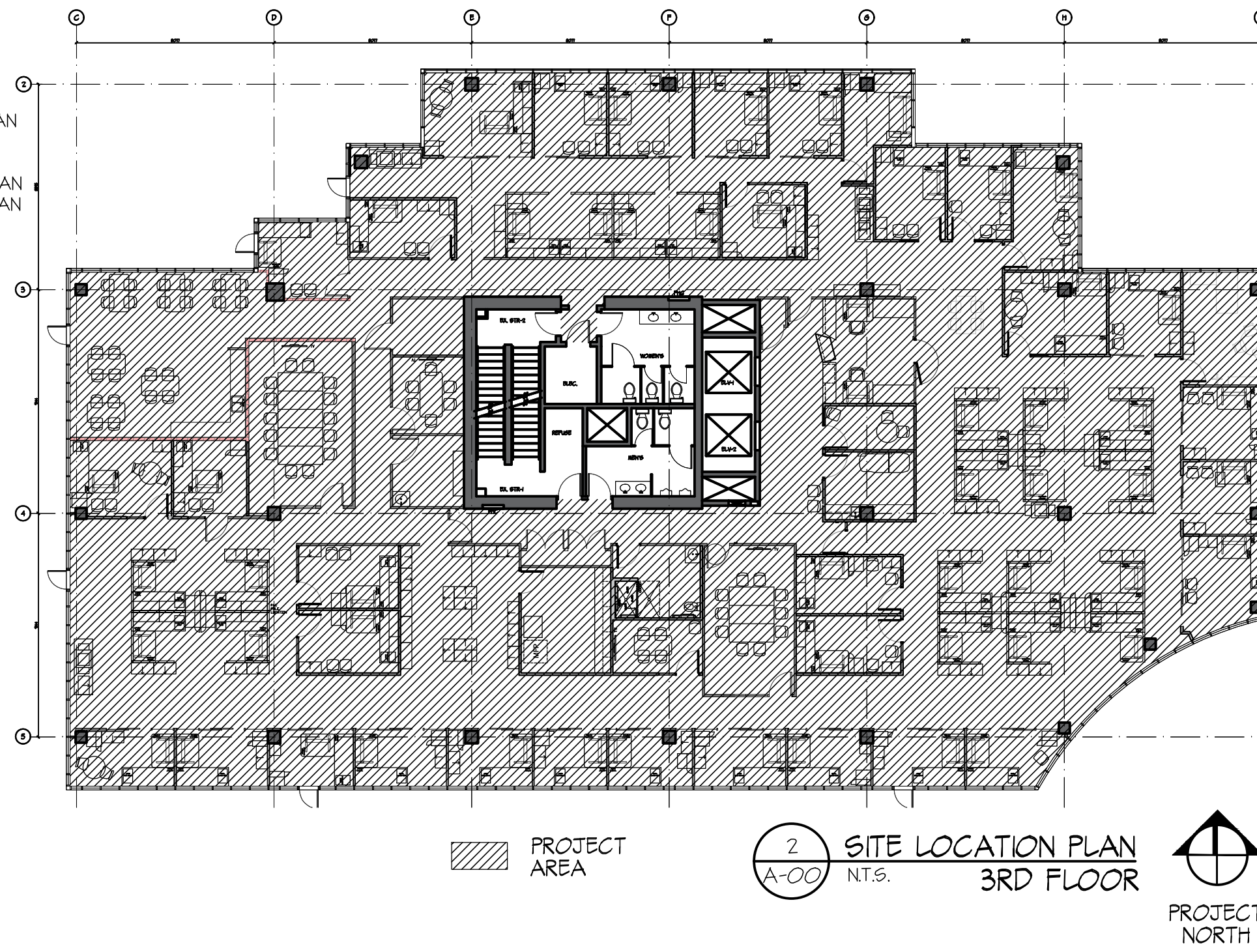
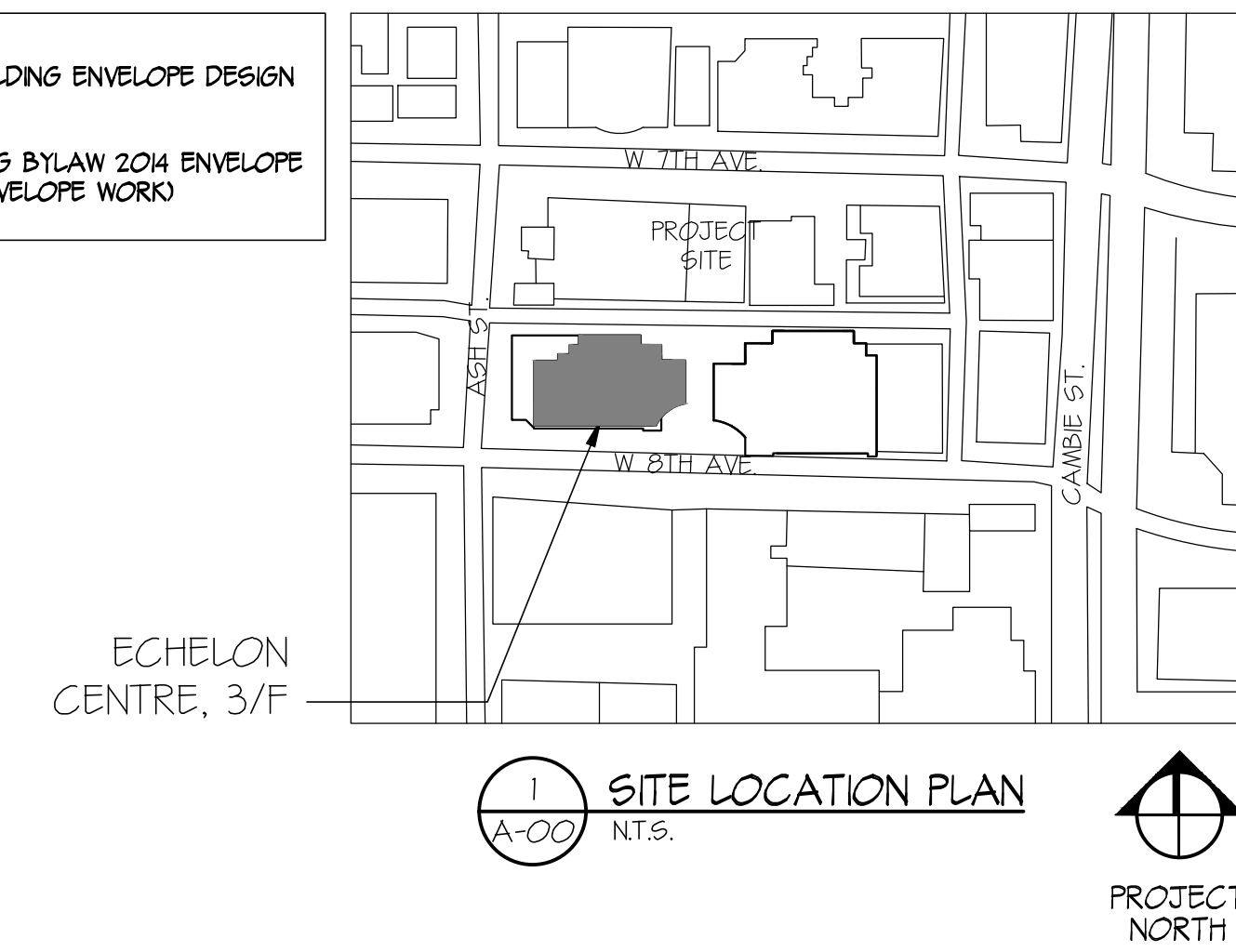
0000 **DOOR NUMBER IDENTIFICATION**

ROOM NAME
107 **ROOM NAME & NUMBER IDENTIFICATION**

2440 **CEILING HEIGHT IDENTIFICATION**

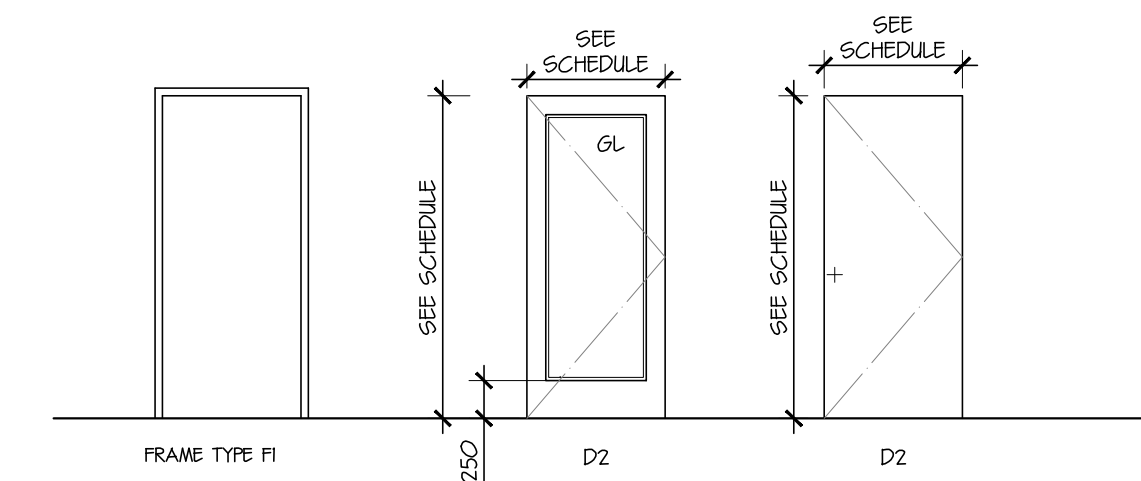
1 **CONSTRUCTION NOTE REFERENCE**

ARCHITECTURAL BUILDING ENVELOPE DESIGN (ENERGY)
VANCOUVER BUILDING BYLAW 2014 ENVELOPE DESIGN N/A (NO ENVELOPE WORK)



WALL TYPES LEGEND

W1		TYPICAL INTERIOR WALL (STC 47) - 16 GYPSUM WALL BOARD - 92 STEEL STUDS AT 410mm O.C. C/W ACOUSTIC BATT INSULATION - 16 GYPSUM WALL BOARD
W2		TYPICAL INTERIOR PLUMBING WALL (STC 51) - 16mm GYPSUM WALL BOARD - 152 STEEL STUDS AT 410mm O.C. C/W ACOUSTIC BATT INSULATION - 16mm GYPSUM WALL BOARD
W3		TYPICAL INTERIOR PARTITION TO MATCH EXISTING - 12mm GYPSUM WALL BOARD - 64mm STEEL STUD AT 410mm O.C. C/W ACOUSTIC BATT INSULATION - 12mm GYPSUM WALL BOARD
W4		TYPICAL FURRING WALL - EXISTING WALL - GAP TO SUIT - 64 STEEL STUDS AT 400mm O.C. - 16mm GYPSUM WALL BOARD



3 **A-00** **DOOR TYPES**
150

No.	DATE	REVISION
3	01/05/19	ISSUED FOR BUILDING PERMIT & TENDER
2	18/04/19	ISSUED FOR CLIENTS REVIEW
1	01/03/19	ISSUED FOR CLIENTS REVIEW

PROJECT TITLE
TENANT FIT-OUT FOR ECHELON CENTRE
3F-575 8TH AVE WEST VANCOUVER

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SHEET TITLE
3RD FLOOR COVER SHEET

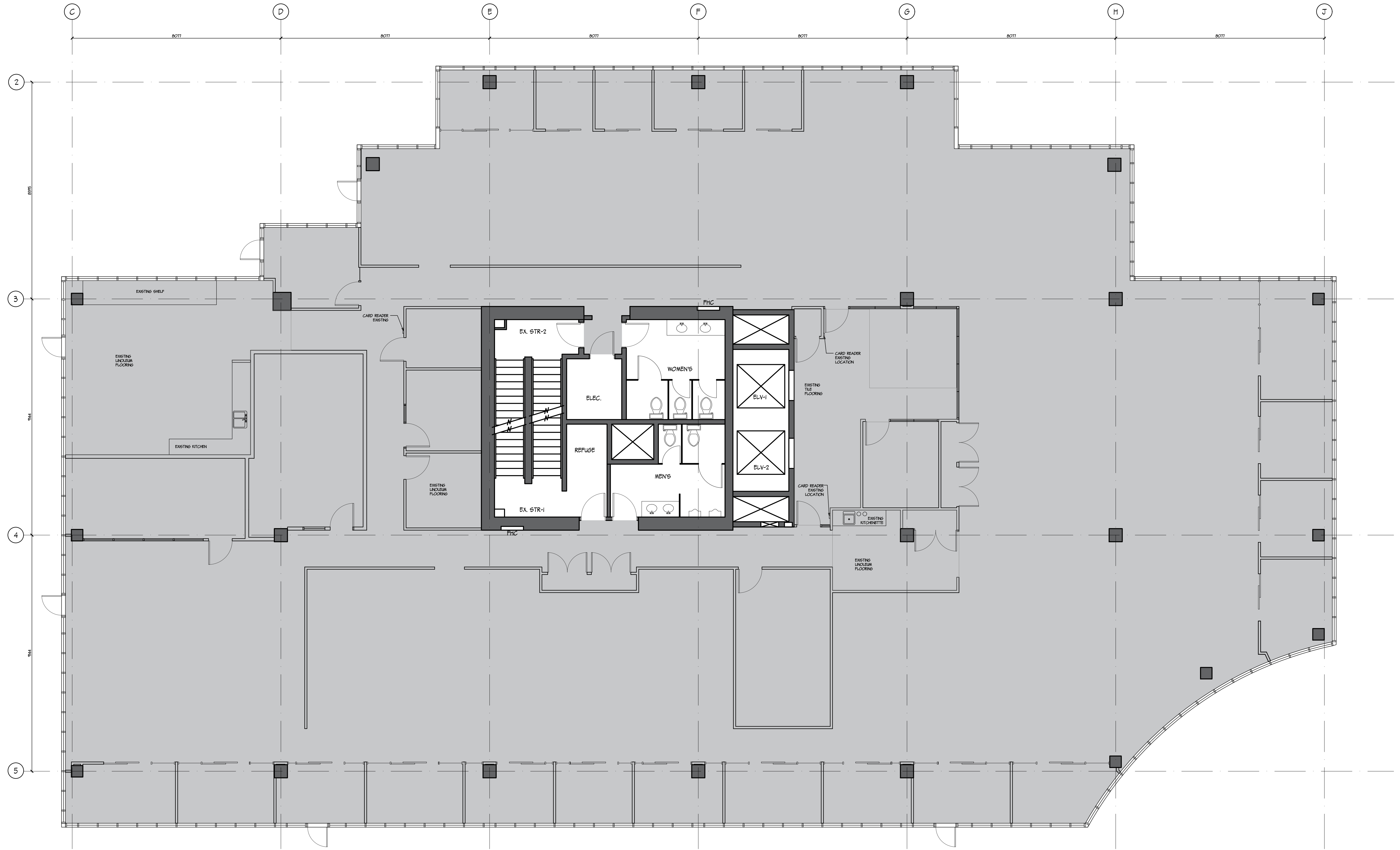
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CHECKED TY
SCALE 1:100 - U.N.O.
DATE 01/05/19
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REVISION No. 3

A-00

110-1281 WEST GEORGIA, VANCOUVER, B.C. V6E 3J5
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CHERNOFF THOMPSON ARCHITECTS



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PROJECT TITLE
TENANT FIT-OUT FOR ECHELON CENTRE
 575 8TH AVE WEST VANCOUVER

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SHEET TITLE
3RD FLOOR PLAN EXISTING (BASE)

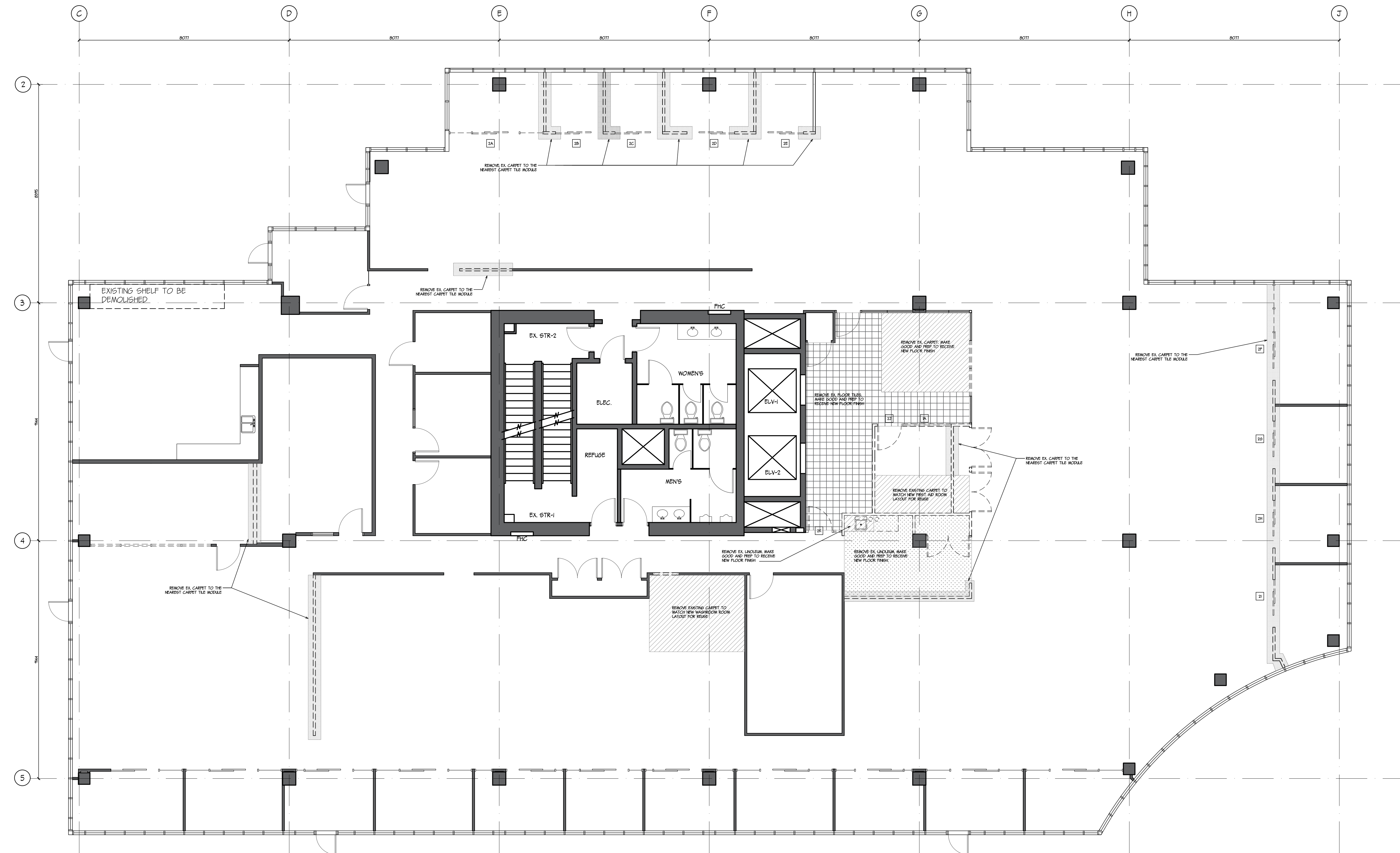
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REVISION No. 3
A-01

3RD FLOOR PLAN EXISTING
 A-01 1:75

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CHERNOFF THOMPSON ARCHITECTS



DEMOLITION NOTES

1. ALL WALLS, DOORS & DOOR FRAMES, AND GLAZING TO REMAIN UNO
2. ALL FLOORING TO REMAIN UNO
3. ALL EXISTING WALL BASE FOR ALL WALLS TO STAY, EXCEPT WHERE CARPET IS REMOVED
4. TEMPORARILY REMOVE ALL CEILING TILES AS NEEDED FOR INSTALLATION/MODIFICATION OF NEW SERVICES IN CEILING SPACE
5. DEMOLISH ALL EXISTING WALL GRAPHICS AND SIGNAGE, MAKE GOOD WALLS FOR RECEIVING NEW FINISH

LEGEND

- | | | | |
|---|--|--|--|
| <p>===== [a] =====
REMOVE EXISTING GLAZING CAREFULLY FOR REUSE, REMOVE ALL EXISTING GRAPHIC FILM AND CLEAN UP ALL CAULING (REFER TO NEW FLOOR PLAN FOR NEW LOCATION)</p> <p>--- [a] ---
REMOVE EXISTING DOOR LEAF AND HARDWARE FOR REUSE (REFER TO NEW FLOOR PLAN FOR NEW LOCATION)</p> <p>----- [a] -----
EXISTING WALL TO BE DEMOLISHED</p> | <p>===== [x] =====
REMOVE EXISTING GLAZING CAREFULLY FOR REUSE, REMOVE ALL EXISTING GRAPHIC FILM AND CLEAN UP ALL CAULING (REFER TO NEW FLOOR PLAN FOR NEW LOCATION)</p> | <p>— [] —
EXISTING DOOR TO REMAIN</p> <p>— [] —
EXISTING WALL TO STAY REMOVE EXISTING GWB AS NEEDED TO ACCESS EXISTING REUSED SERVICES OR INSTALL NEW SERVICES OR BLOCKING AS REQUIRED</p> <p>- - - [] - - -
EXISTING DOOR TO BE DEMOLISHED</p> | <p>[/ / / /]
EXISTING CARPET TO REUSE AND PATCH IN LOCATION OF DEMOLISHED WALLS AND FLOORING</p> <p>[] [] [] []
REUSE EXISTING CARPET</p> <p>[. . . .]
EXISTING LINOLEUM TO BE DEMOLISHED</p> <p>[] [] [] []
EXISTING FLOOR TILES TO BE DEMOLISHED</p> |
|---|--|--|--|

1
A-02
3RD FLOOR
DEMOLITION FLOOR PLAN
1:75

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2 18/04/19	ISSUED FOR CLIENTS REVIEW
1 01/03/19	ISSUED FOR CLIENTS REVIEW
No.	DATE (dd/mm/yy)
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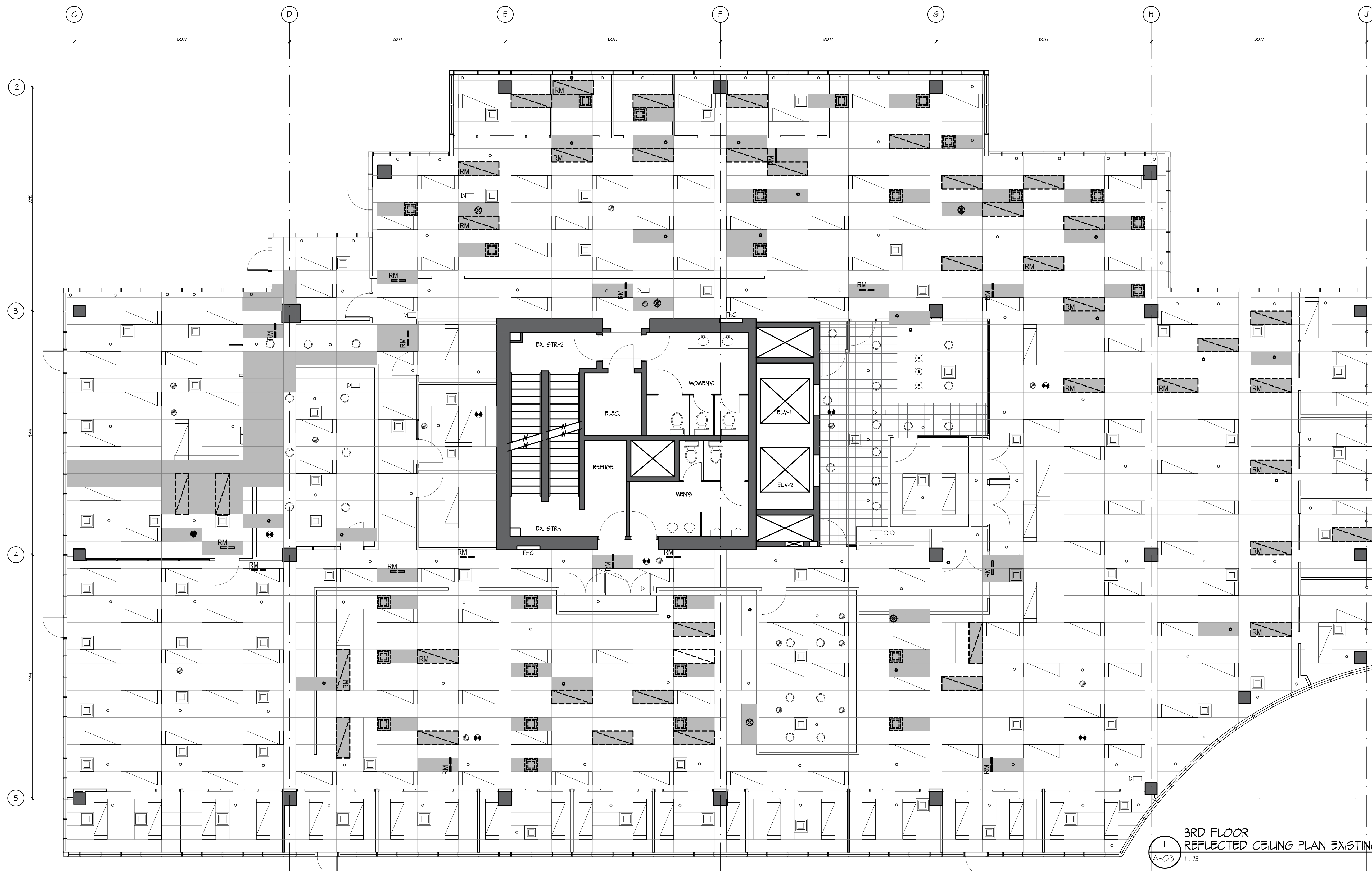
PROJECT TITLE
TENANT FIT-OUT FOR ECHELON CENTRE
575 8TH AVE WEST VANCOUVER

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SHEET TITLE
3RD FLOOR PLAN DEMOLITION (BASE)

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A-02



1
A-03 1:75
3RD FLOOR REFLECTED CEILING PLAN EXISTING

CEILING DEMOLITION NOTES:

1. REPLACE ALL DAMAGED CEILING TILES RESULTING FROM CONSTRUCTION.
2. REPLACE ALL CEILING TILES AFFECTED BY REMOVAL OR RELOCATION OF EXISTING CEILING FIXTURES.
3. MODIFY EXISTING CEILING TILES TO SUIT NEW OR RELOCATED FIXTURE LOCATION (REFER ELEC. AND MECH. DRAWINGS).
4. ALL NEW OR REPLACEMENT TILES TO MATCH EXISTING.

EXISTING CEILING FIXTURE LEGEND:

- | | | |
|----------------------------------|-----------------------------------|---|
| POT LIGHT REMOVED | SPEAKER | EXIT SIGN TO BE REMOVED |
| POT LIGHT | SPEAKER TO BE RELOCATED | T-BAR LIGHT FIXTURE TO BE REMOVED |
| T-BAR LIGHT FIXTURE | SMOKE DETECTOR | T-BAR LIGHT FIXTURE TO BE RELOCATED |
| EXIT SIGN | SMOKE DETECTOR TO BE RELOCATED | EXISTING CEILING TILE TO BE REMOVED AND REPLACE WITH NEW MATCHING TILES |
| CEILING DIFFUSER | PENDANT FIXTURE | |
| CEILING DIFFUSER TO BE RELOCATED | SPRINKLER | |
| CEILING DIFFUSER TO BE REMOVED | SPRINKLER TO BE REMOVED/RELOCATED | |

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2	18/04/19	ISSUED FOR CLIENTS REVIEW
1	01/03/19	ISSUED FOR CLIENTS REVIEW
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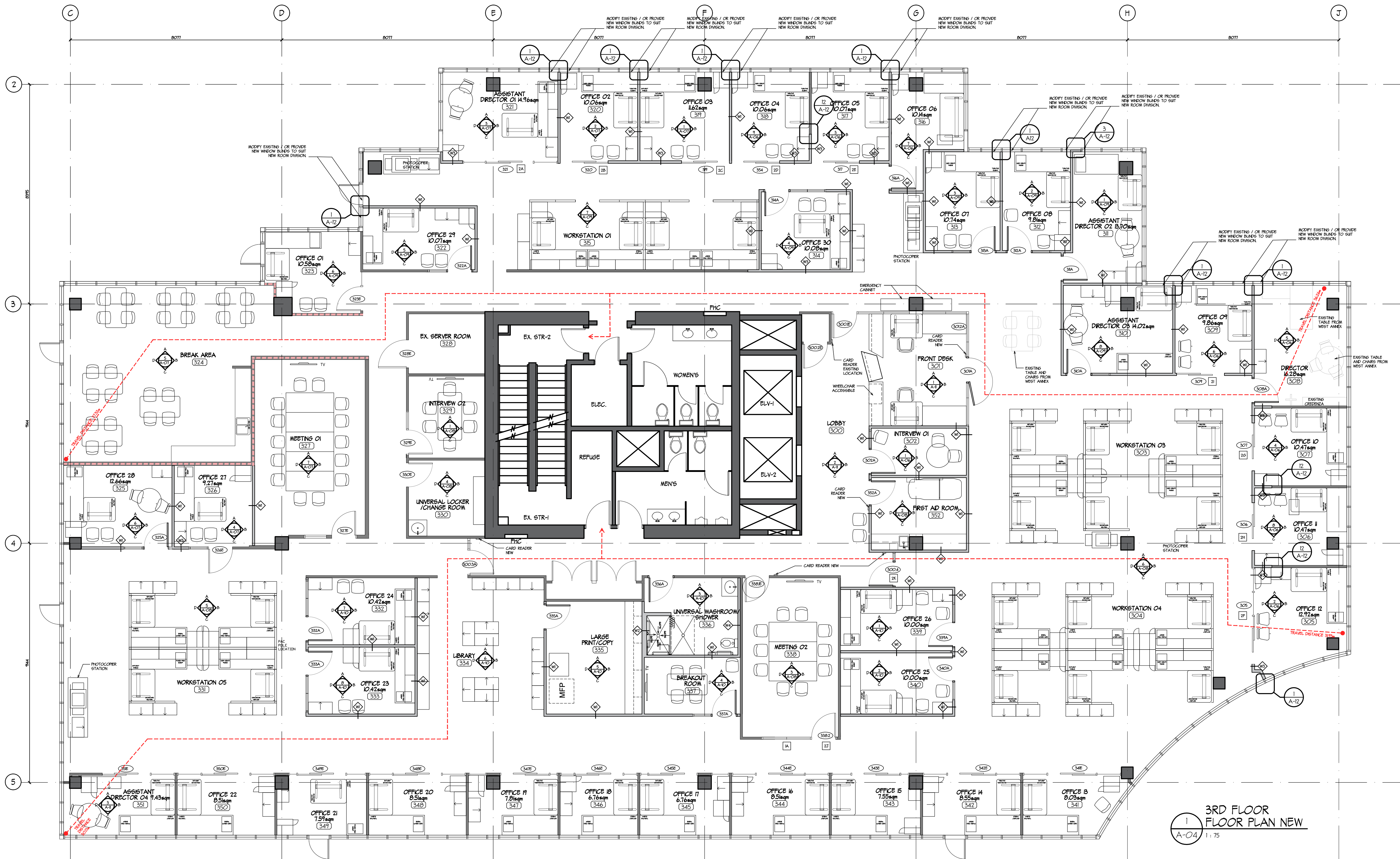
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3RD FLOOR REFLECTED CEILING EXISTING (BASE)

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A-03



LEGEND:

- EXISTING WALL TO STAY
- EXISTING WALL UPGRADE TO SOUND ROOFING WALL (REFER DETAIL 7/A12)
- NEW STL STUD GWB WALL TO U/S OF CEILING
- EXISTING DOOR TO REMAIN
- NEW DOOR
- REUSE EXISTING DOOR LEAF, DOOR FRAME, AND HARDWARE. WALL THICKNESS TO MATCH EXISTING DOOR FRAMES. (REFER DEMOLITION PLAN FOR EX. DOOR LOCATION THAT INDICATES THE SAME LEGEND)

3RD FLOOR FLOOR PLAN NEW
A-04 1:75

No.	DATE	REVISION
3	01/05/19	ISSUED FOR BUILDING PERMIT & TENDER
2	18/04/19	ISSUED FOR CLIENTS REVIEW
1	01/03/19	ISSUED FOR CLIENTS REVIEW

PROJECT TITLE
TENANT FIT-OUT FOR ECHELON CENTRE
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SHEET TITLE
3RD FLOOR FLOOR PLAN NEW (BASE)

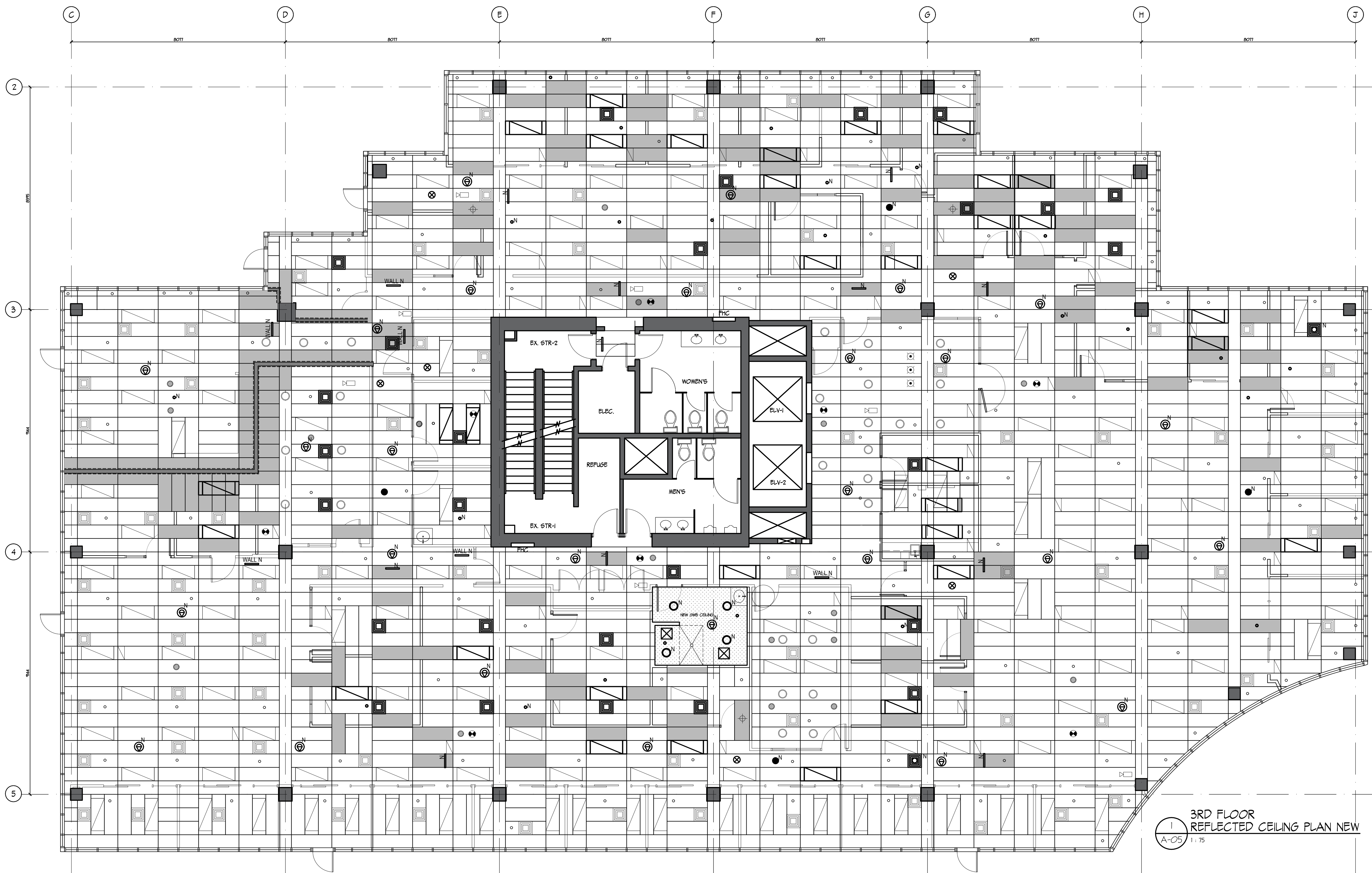
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CHERNOFF THOMPSON ARCHITECTS



3RD FLOOR
REFLECTED CEILING PLAN NEW
1
A-05 1:75

●	EXISTING SPRINKLER TO STAY	■	NEW CEILING DIFFUSER	■	NEW RETURN AIR VENT	WALL N	EXIT SIGN WALL NEW
○	EXISTING T-BAR LIGHT FIXTURE TO STAY	■	EXISTING RELOCATED CEILING DIFFUSER	— RL	EXISTING RELOCATED EXIT SIGN	— N	EXIT SIGN NEW
▭	EXISTING T-BAR LIGHT FIXTURE TO STAY	○	POT LIGHT NEW	■	NEW CEILING TILES TO MATCH EXISTING	●	NEW SPEAKER
▭	EXISTING RELOCATED T-BAR LIGHT FIXTURE	○	EXISTING RELOCATED POT LIGHT	▨	NEW 16THK GWB CEILING	●	RELOCATED SPEAKER
●	EXISTING SPEAKER TO STAY	○	NEW SPRINKLER HEAD	●	SMOKE DETECTOR	●	NEW LIGHT SENSOR
■	EXISTING CEILING DIFFUSER TO STAY	●	EXISTING RELOCATED SPRINKLER	⊗	SMOKE DETECTOR RELOCATED	▭	NEW RETURN AIR DUCT UP
■	NEW EXHAUST VENT	—	PROVIDE NEW T-BAR CEILING ANGLE TRIM ALONG NEW FULL HEIGHT WALL ON BOTH SIDES (REFER DETAIL 11/A12)				

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PROJECT TITLE
TENANT FIT-OUT FOR ECHELON CENTRE
575 8TH AVE WEST VANCOUVER

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SHEET TITLE
3RD FLOOR REFLECTED CEILING PLAN NEW (BASE)

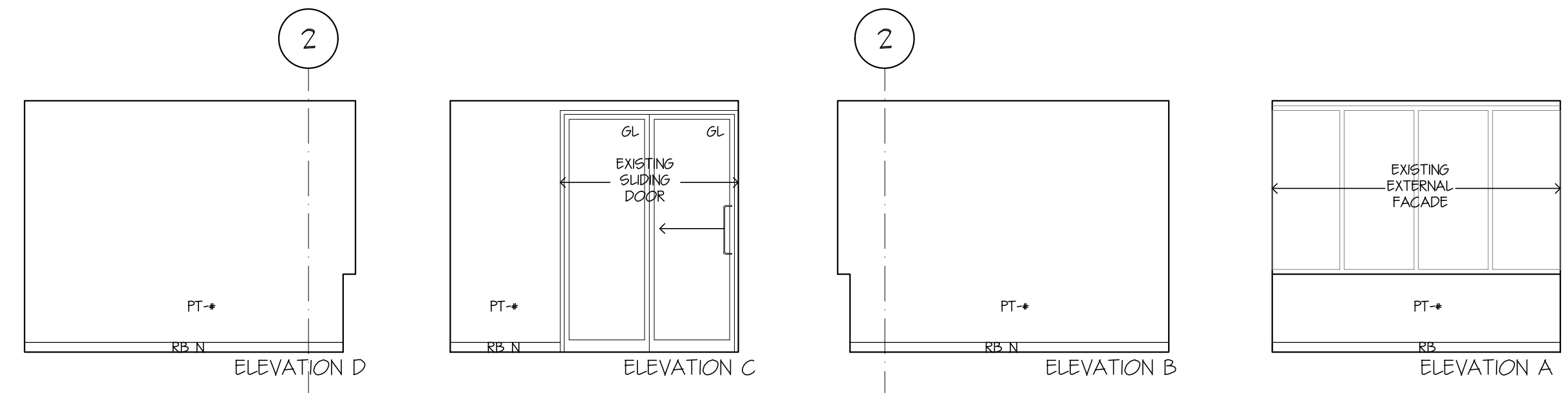
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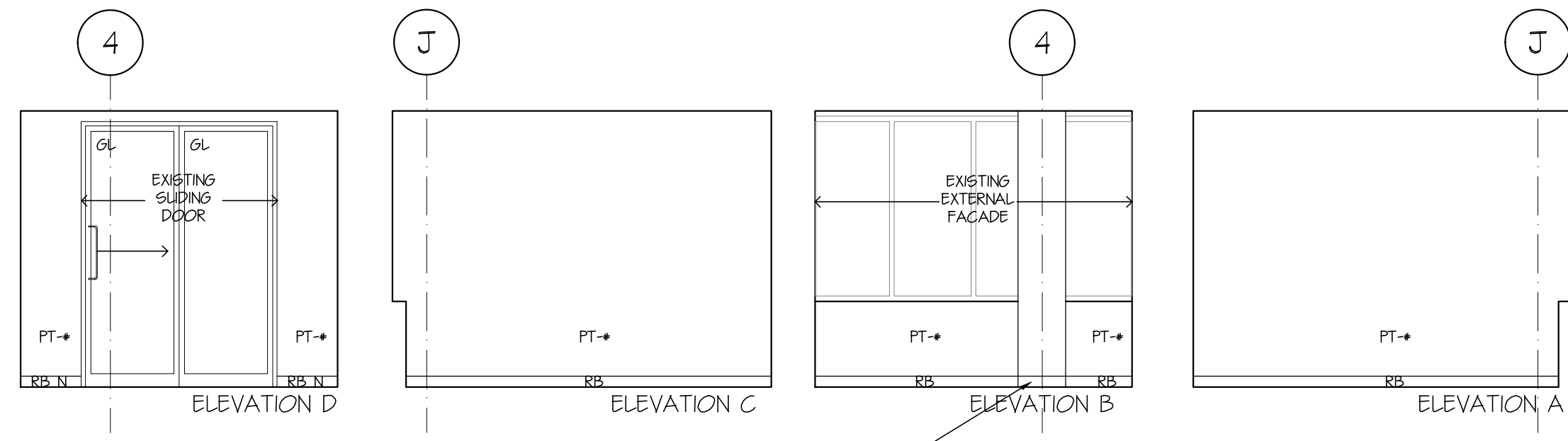
A-05

- KEY ABBREVIATIONS:**
- AP PAINTED EXISTING ACCESS PANEL
 - DO DATA OUTLET
 - DW DISHWASHER (SUPPLIED BY OWNER & INSTALLED BY CONTRACTOR)
 - EB EPOXY INTEGRAL COVERED BASE
 - EXS EXIT SIGN (REFER ELEC)
 - EW EPOXY WALL COATING
 - FE FIRE EXTINGUISHER
 - FR FRIDGE (SUPPLIED & INSTALLED BY OWNER)
 - FSS FOLDING SHOWER SEAT
 - GB GRAB BAR (TYPE REFER SPEC)
 - GF DIGITAL PRINTED SELF-ADHESIVE GRAPHIC FILM ON PAINTED WALL
 - GL GLAZING
 - TGL 10TH CLEAR TEMPERED GLASS
 - GWB GYPSUM WALL BOARD
 - HK COAT HOOK
 - KEH KITCHEN EXHAUST HOOD (SUPPLIED AND INSTALLED BY CONTRACTOR)
 - KP KICKPLATE
 - LS LIGHT SWITCH (REFER ELEC)
 - MR MIRROR
 - MW MICROWAVE (SUPPLIED & INSTALLED BY OWNER)
 - N NEW
 - ND SANITARY NAPKIN DISPOSAL
 - PL PLASTIC LAMINATE (REFER TO SPEC)
 - PR POWER RECEPTACLE (REFER ELEC)
 - PR-C PRINTER/COPPER (SUPPLIED & INSTALLED BY OWNER)
 - PT-C PAINTED (COLOR REFER FINISHES PLAN)
 - PTD PAPER TOWEL DISPENSER AND DISPOSAL
 - RB RUBBER BASE
 - SC SHOWER CURTAIN AND SHOWER ROD
 - SD SOAP DISPENSER
 - SS SOLID SURFACING (REFER TO SPEC)
 - SSL STAINLESS STEEL
 - ST STROBE (REFER ELEC)
 - STV STOVE (SUPPLIED BY OWNER & INSTALLED BY CONTRACTOR)
 - THS THERMOSTAT / TEMPERATURE SENSOR (REFER MECH)
 - TTD TOILET TISSUE DISPENSER
 - TV TV MONITOR (SUPPLIED BY OWNER & INSTALLED BY CONTRACTOR)
 - WS WRITABLE / MAGNETIC SURFACE

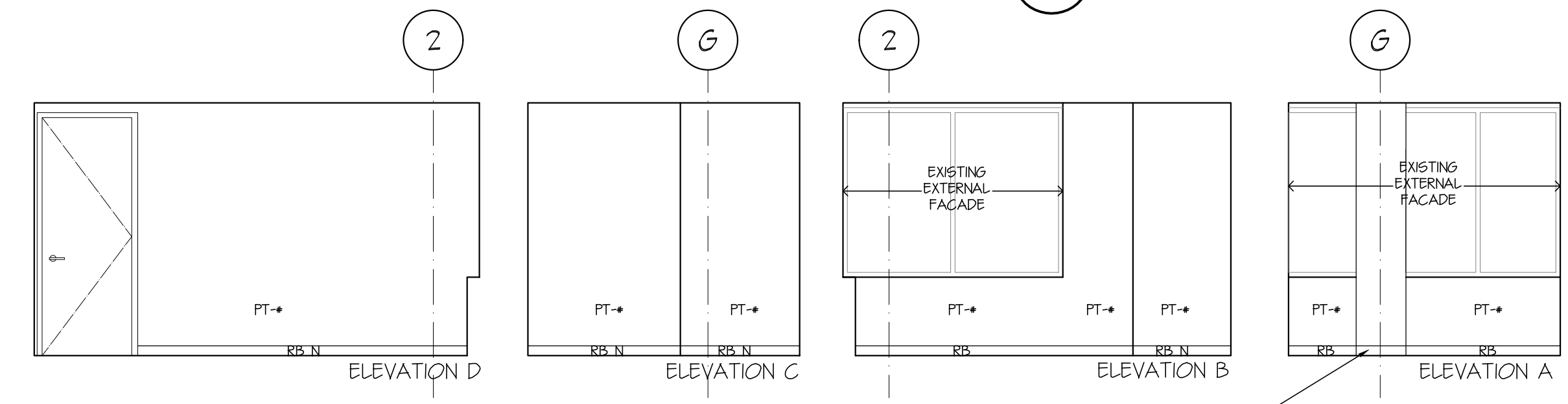
NOTE: REMOVE EX. RB FOR ALL WALL BASE INDICATED AS NEW RUBBER BASE RB (N)



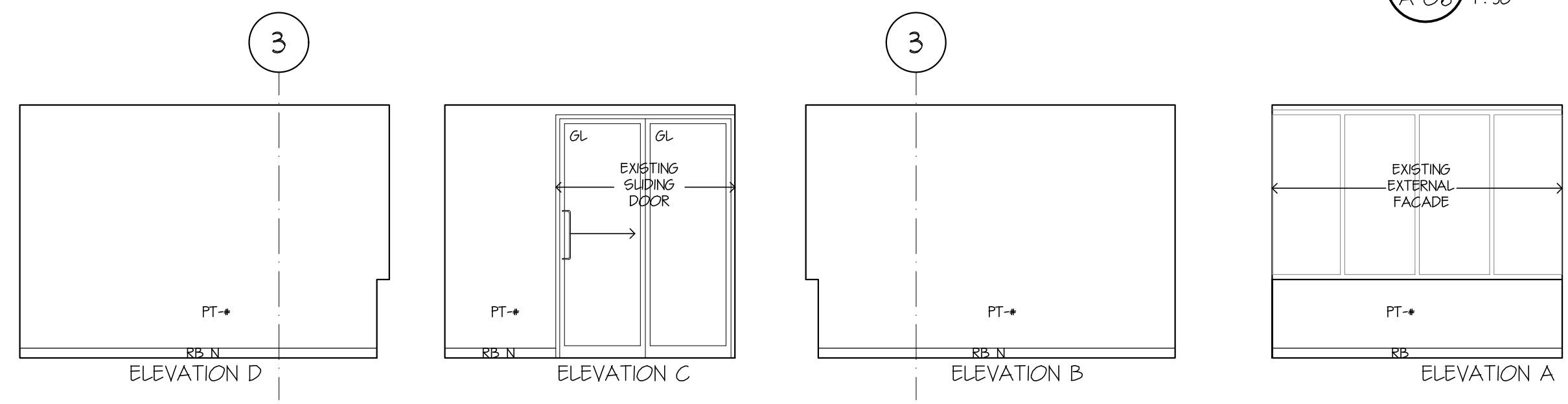
9 INTERIOR ELEVATION - OFFICE 04
A-06 1:50



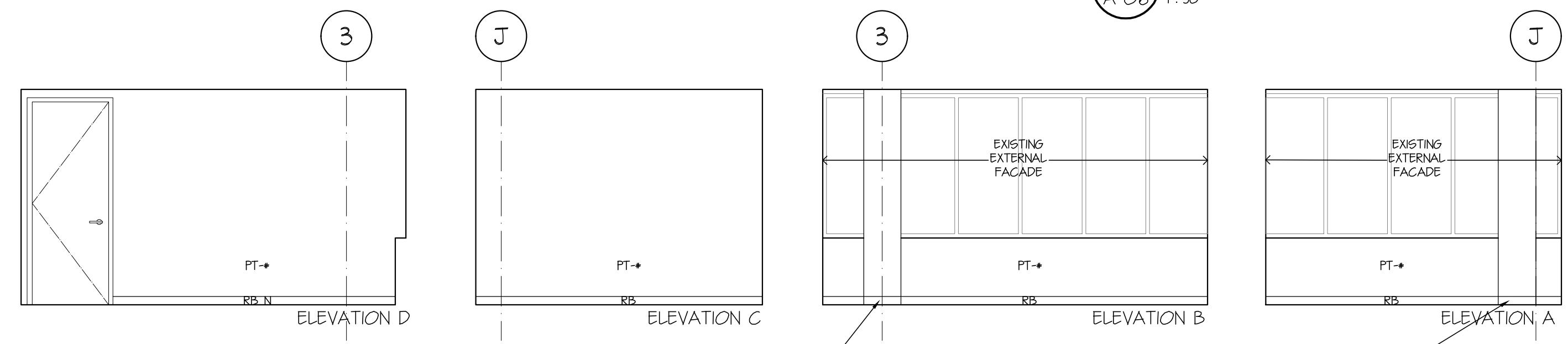
8 INTERIOR ELEVATION - OFFICE 11
A-06 1:50



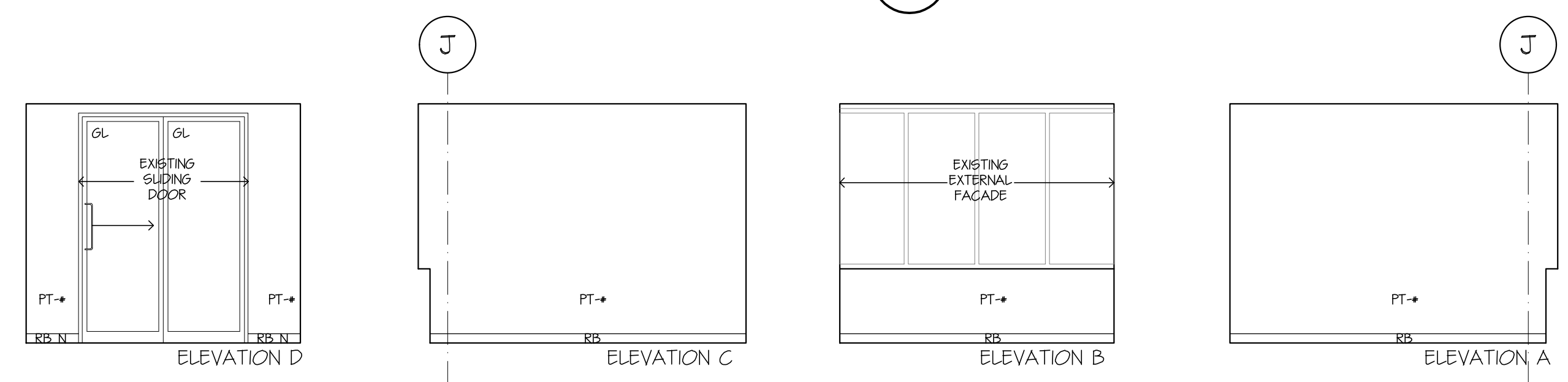
7 INTERIOR ELEVATION - OFFICE 06
A-06 1:50



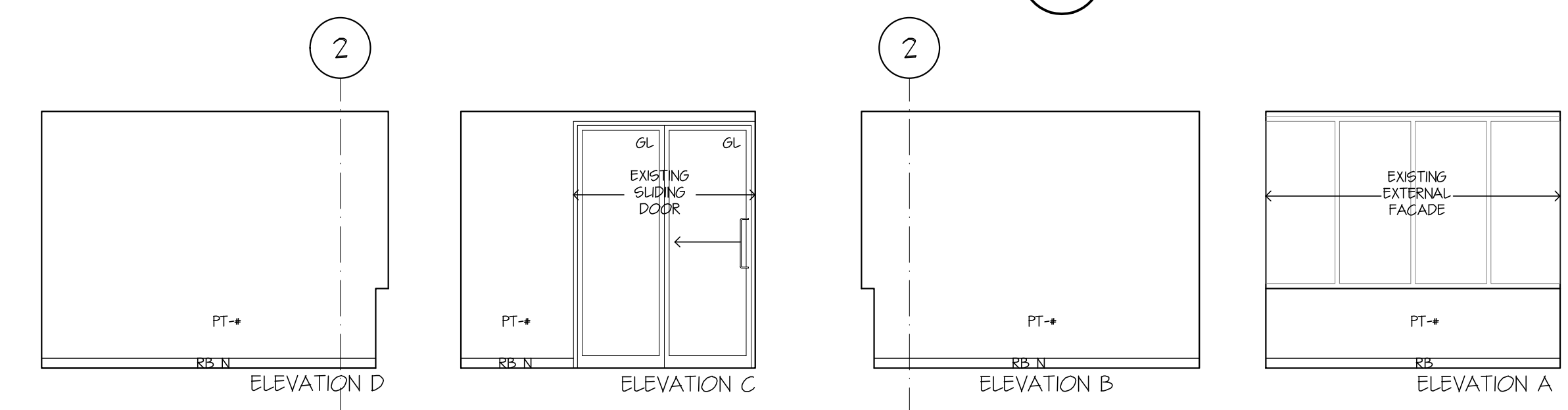
6 INTERIOR ELEVATION - OFFICE 09
A-06 1:50



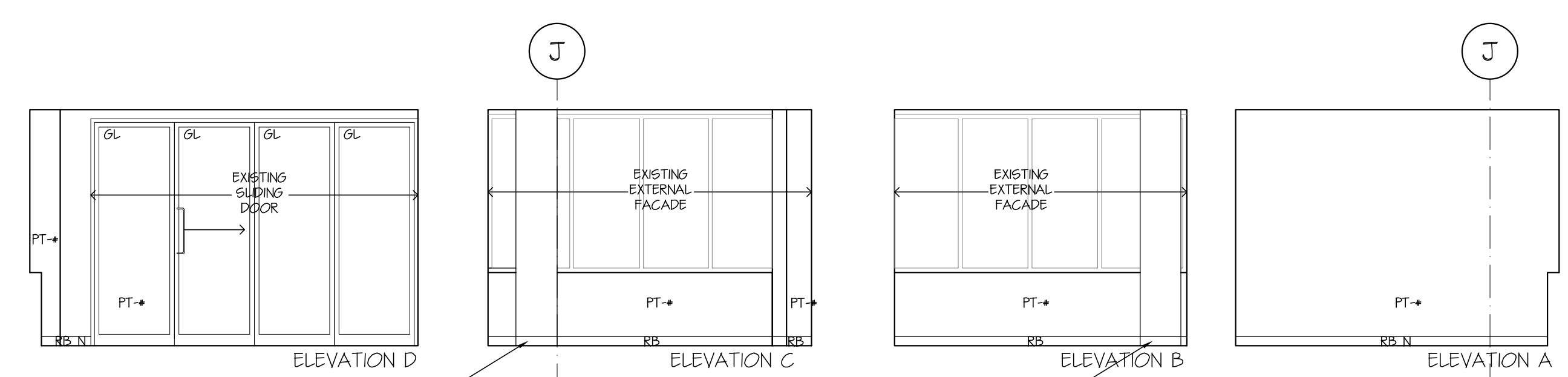
5 INTERIOR ELEVATION - DIRECTOR
A-06 1:50



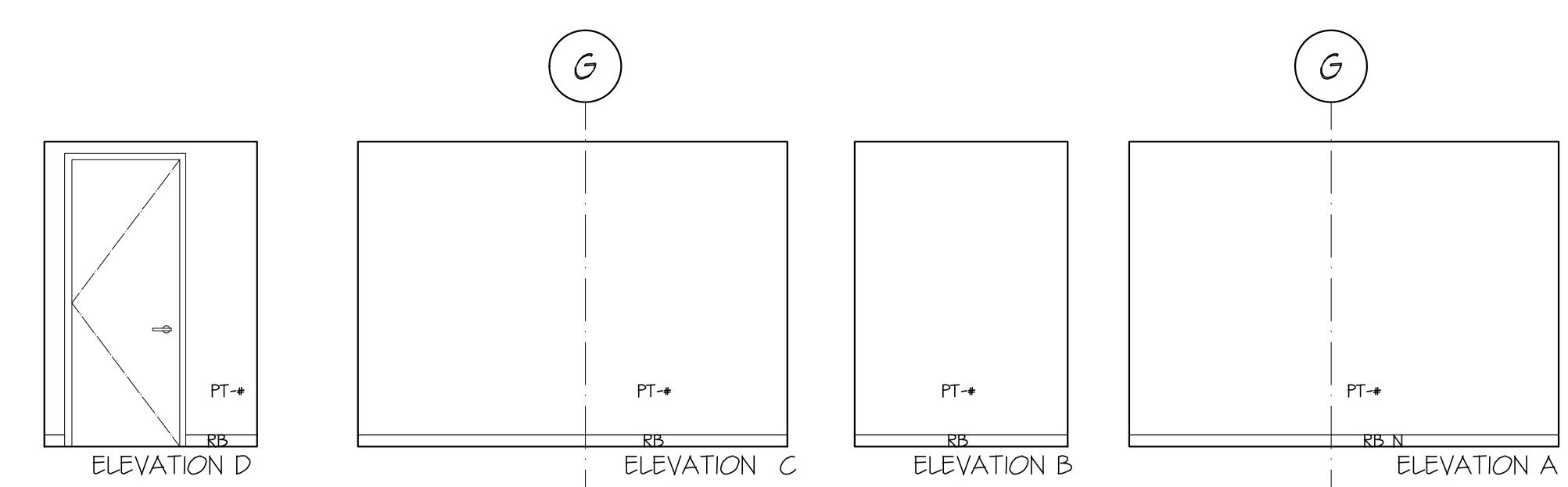
4 INTERIOR ELEVATION - OFFICE 10
A-06 1:50



3 INTERIOR ELEVATION - OFFICE 05
A-06 1:50



2 INTERIOR ELEVATION - OFFICE 12
A-06 1:50



1 INTERIOR ELEVATION - INTERVIEW 01
A-06 1:50

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PROJECT TITLE
TENANT FIT-OUT FOR ECHELON CENTRE
575 8TH AVE WEST VANCOUVER

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SHEET TITLE
3RD FLOOR INTERIOR ELEVATIONS (BASE)

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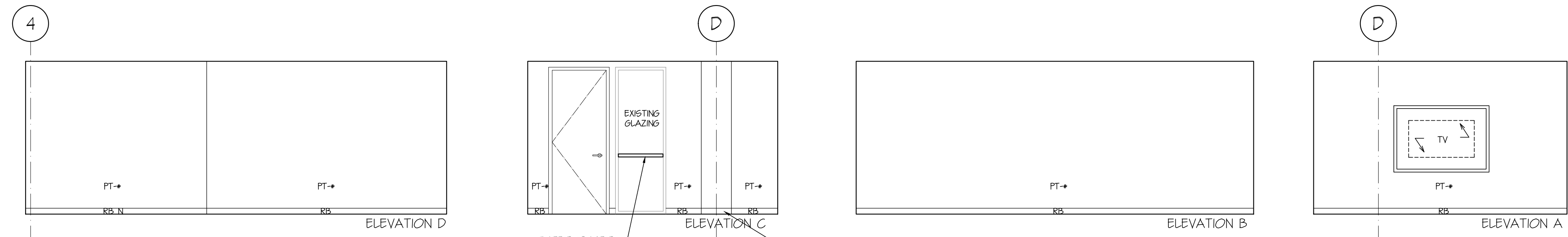
A-06

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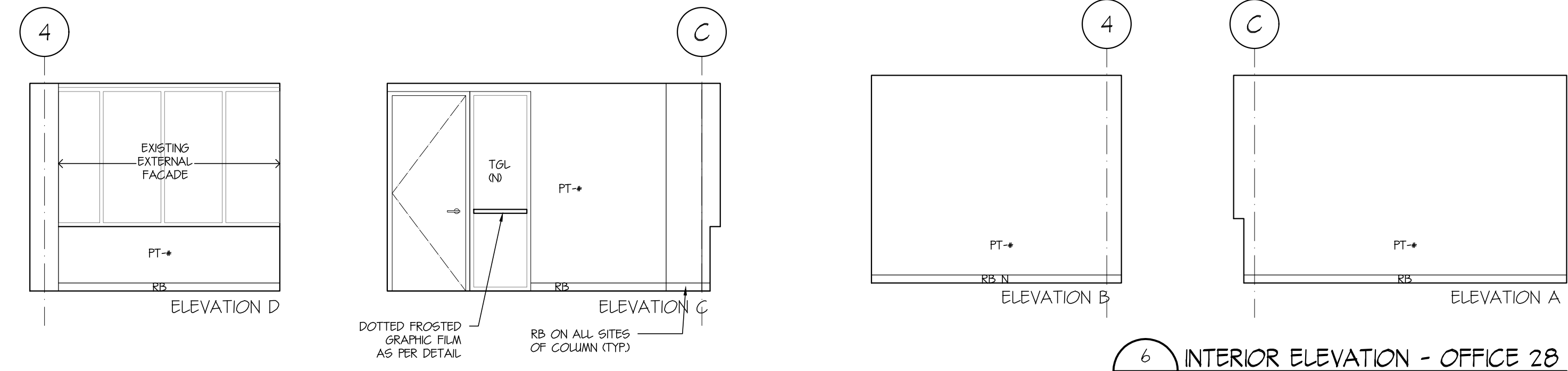
KEY ABBREVIATIONS:

- AP PAINTED EXISTING ACCESS PANEL
- DO DATA OUTLET
- DW DISHWASHER (SUPPLIED BY OWNER & INSTALLED BY CONTRACTOR)
- EB EPOXY INTEGRAL COVERED BASE
- ES EXIT SIGN (REFER ELEC.)
- EW EPOXY WALL COATING
- FE FIRE EXTINGUISHER
- FR FRIDGE (SUPPLIED & INSTALLED BY OWNER)
- FSS FOLDING SHOWER SEAT
- GB GRAB BAR (TYPE REFER SPEC.)
- GF DIGITAL PRINTED SELF-ADHESIVE GRAPHIC FILM ON PAINTED WALL
- GL GLAZING
- TGL 10THK CLEAR TEMPERED GLASS
- GWB GYPSUM WALL BOARD
- HK COAT HOOK
- KEH KITCHEN EXHAUST HOOD (SUPPLIED AND INSTALLED BY CONTRACTOR)
- KP KICKPLATE
- LS LIGHT SWITCH (REFER ELEC.)
- MR MIRROR
- MW MICROWAVE (SUPPLIED & INSTALLED BY OWNER)
- N NEW
- ND SANITARY NAPKIN DISPOSAL
- PL PLASTIC LAMINATE (REFER TO SPEC.)
- PR POWER RECEPTACLE (REFER ELEC.)
- PR-C PRINTER/COPPER (SUPPLIED & INSTALLED BY OWNER)
- PT+ PAINTED COLOR (REFER FINISHES PLAN)
- FDD PAPER TOWEL DISPENSER AND DISPOSAL
- RB RUBBER BASE
- SC SHOWER CURTAIN AND SHOWER ROD
- SD SOAP DISPENSER
- SS SOLID SURFACING (REFER TO SPEC.)
- SGL STAINLESS STEEL
- ST STROBE (REFER ELEC.)
- STV STOVE (SUPPLIED BY OWNER & INSTALLED BY CONTRACTOR)
- THS THERMOSTAT / TEMPERATURE SENSOR (REFER MECH)
- TTD TOILET TISSUE DISPENSER
- TV TV MONITOR (SUPPLIED BY OWNER & INSTALLED BY CONTRACTOR)
- WS WRITABLE / MAGNETIC SURFACE

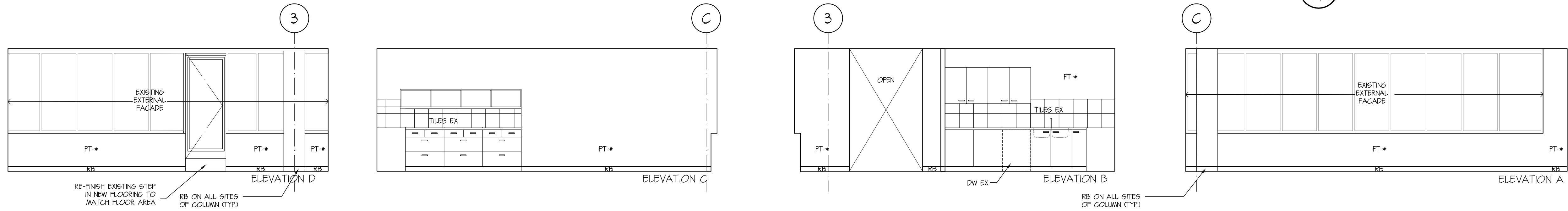
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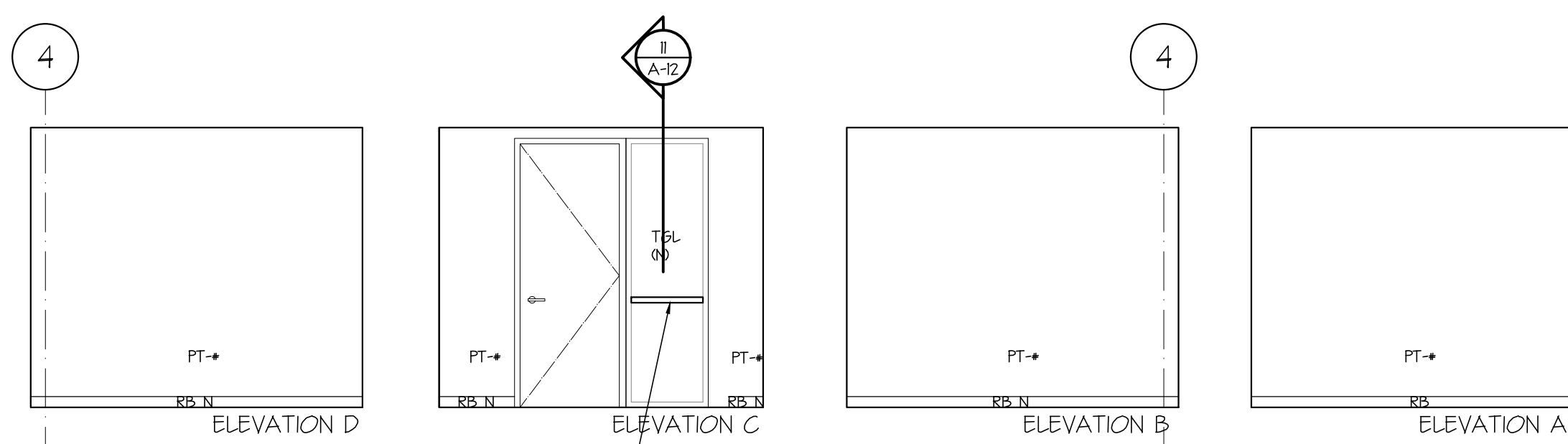
7 INTERIOR ELEVATION - MEETING 01
A-07 1:50



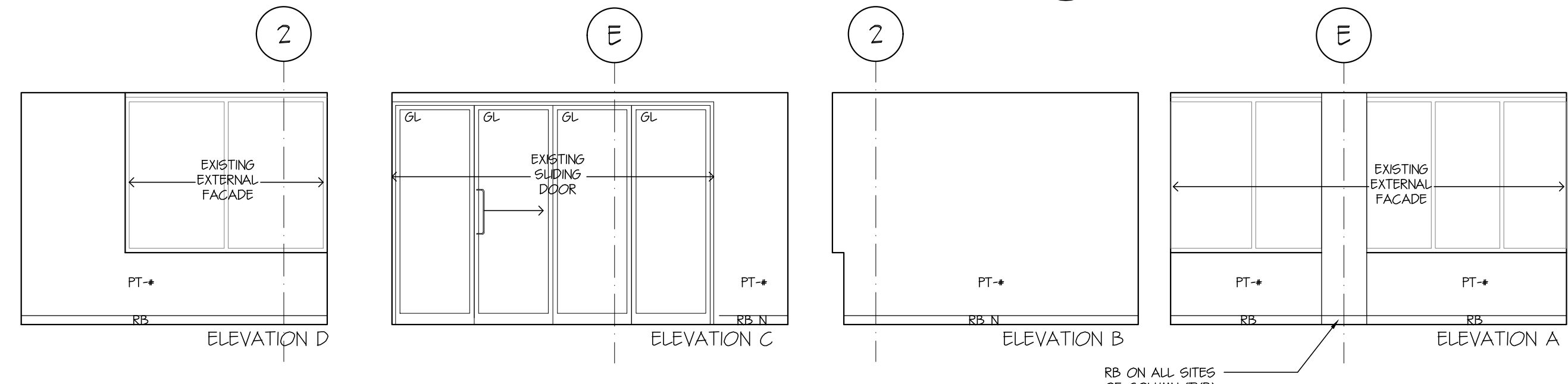
6 INTERIOR ELEVATION - OFFICE 28
A-07 1:50



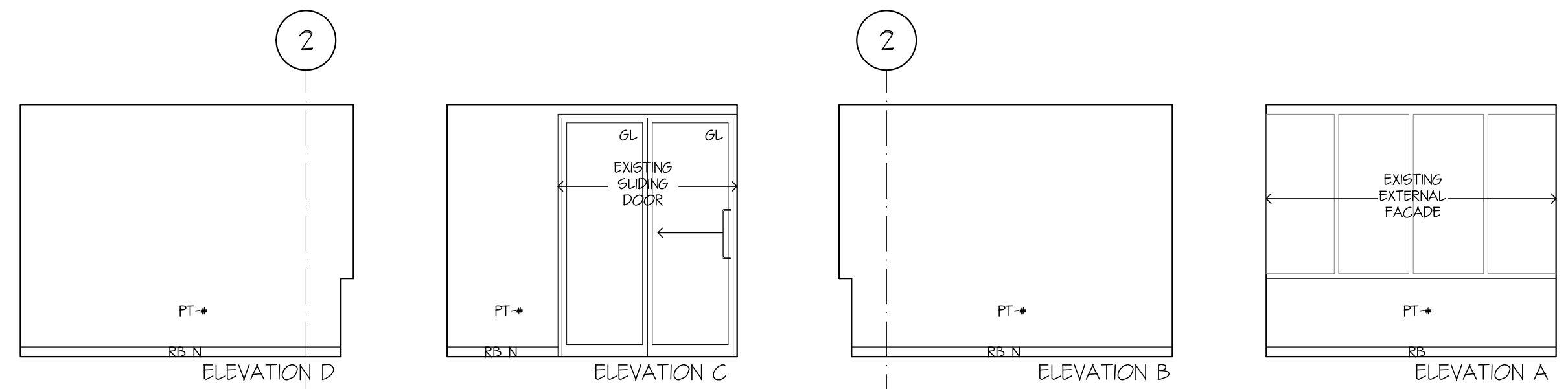
5 INTERIOR ELEVATION - BREAK AREA
A-07 1:50



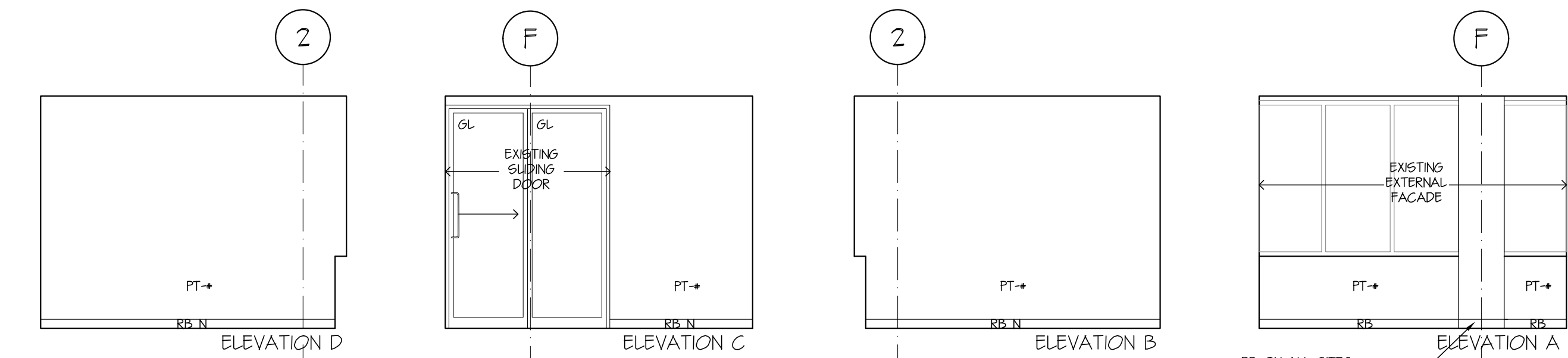
4 INTERIOR ELEVATION - OFFICE 27
A-07 1:50



3 INTERIOR ELEVATION - ASSISTANT DIRECTOR 01
A-07 1:50



2 INTERIOR ELEVATION - OFFICE 02
A-07 1:50



1 INTERIOR ELEVATION - OFFICE 03
A-07 1:50

3	01/05/19	ISSUED FOR BUILDING PERMIT & TENDER
2	18/04/19	ISSUED FOR CLIENTS REVIEW
1	01/03/19	ISSUED FOR CLIENTS REVIEW
No.	DATE	REVISION
	(dd/mm/yy)	

PROJECT TITLE
TENANT FIT-OUT FOR ECHELON CENTRE
575 8TH AVE WEST VANCOUVER

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date:	date:
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SHEET TITLE
3RD FLOOR INTERIOR ELEVATIONS (BASE)

PROJECT No. 38017
DRAWN PM
CHECKED TY
SCALE 1:75 - U.N.O.
DATE 01/05/2019
PRINTED 01/05/2019

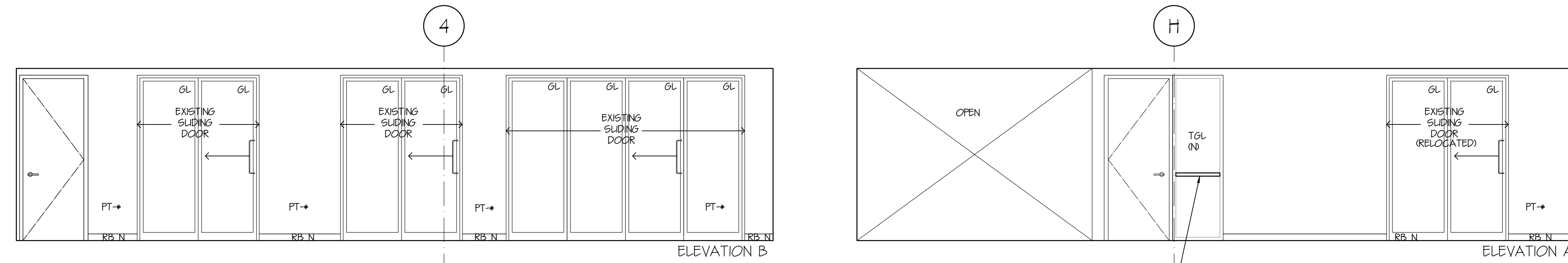
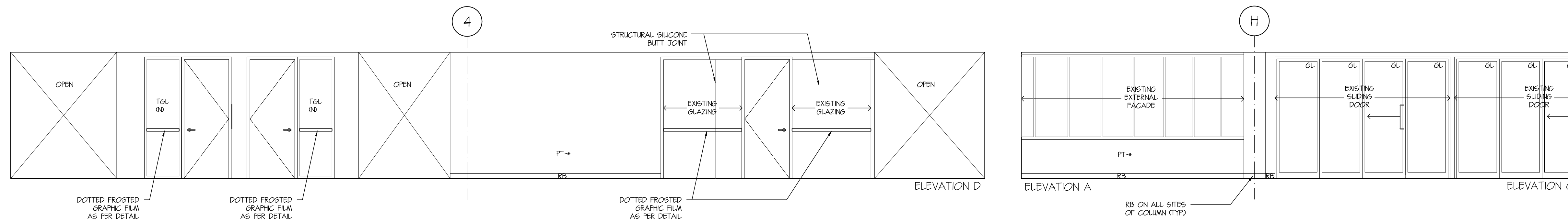
REVISION No. 3

A-07

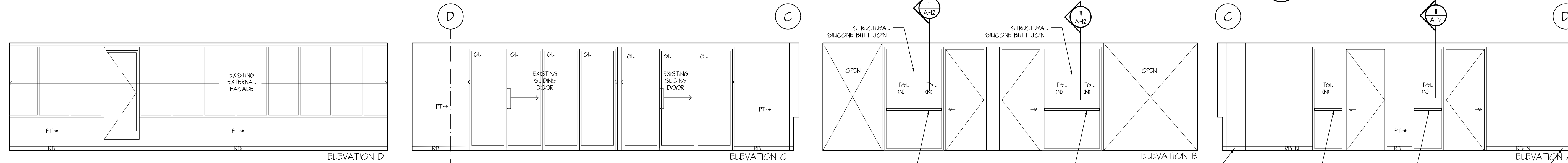
CHERNOFF THOMPSON ARCHITECTS
110-1281 WEST GEORGIA, VANCOUVER, B.C. V6E 3J5
TELEPHONE (604) 669-9460 FAX. (604) 683-7684

KEY ABBREVIATIONS:

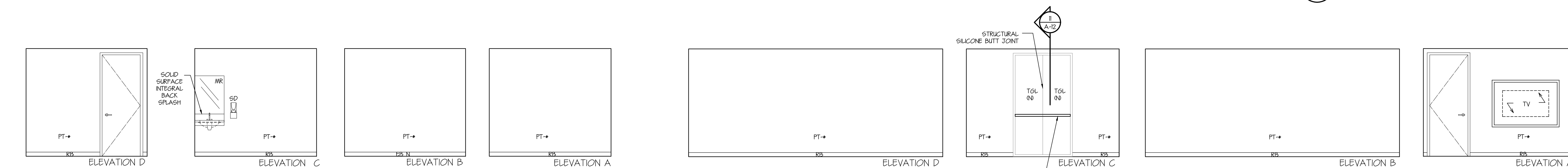
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 - DO DATA OUTLET
 - DW DISHWASHER (SUPPLIED BY OWNER & INSTALLED BY CONTRACTOR)
 - EB EPOXY INTEGRAL COVERED BASE
 - EXS EXIT SIGN (REFER ELEC)
 - EW EPOXY WALL COATING
 - FE FIRE EXTINGUISHER
 - FR FRIDGE (SUPPLIED & INSTALLED BY OWNER)
 - FSS FOLDING SHOWER SEAT
 - GB GRAB BAR (TYPE REFER SPEC)
 - GF DIGITAL PRINTED SELF-ADHESIVE GRAPHIC FILM ON PAINTED WALL
 - GL GLAZING
 - TGL 10TH CLEAR TEMPERED GLASS
 - GWB GYPSUM WALL BOARD
 - HK COAT HOOK
 - KEH KITCHEN EXHAUST HOOD (SUPPLIED AND INSTALLED BY CONTRACTOR)
 - KL KICKPLATE
 - LS LIGHT SWITCH (REFER ELEC)
 - MR MIRROR
 - MW MICROWAVE (SUPPLIED & INSTALLED BY OWNER)
 - N NEW
 - ND SANITARY NAPKIN DISPOSAL
 - PL PLASTIC LAMINATE (REFER TO SPEC)
 - PR POWER RECEPTACLE (REFER ELEC)
 - PR-C PRINTER/COPPER (SUPPLIED & INSTALLED BY OWNER)
 - PT- PAINTED (COLOR REFER FINISHES PLAN)
 - PTDD PAPER TOWEL DISPENSER AND DISPOSAL
 - RB RUBBER BASE
 - SC SHOWER CURTAIN AND SHOWER ROD
 - SD SOAP DISPENSER
 - SS SOLID SURFACING (REFER TO SPEC)
 - SSL STAINLESS STEEL
 - ST STROBE (REFER ELEC)
 - STV STOVE (SUPPLIED BY OWNER & INSTALLED BY CONTRACTOR)
 - THS THERMOSTAT / TEMPERATURE SENSOR (REFER MECH)
 - TTD TOILET TISSUE DISPENSER
 - TV TV MONITOR (SUPPLIED BY OWNER & INSTALLED BY CONTRACTOR)
 - WS WRITABLE / MAGNETIC SURFACE
- NOTE: REMOVE EX. RB FOR ALL WALL BASE INDICATED AS NEW RUBBER BASE RB. N



6 INTERIOR ELEVATION - WORKSTATION 03 / 04
A-08 1:50

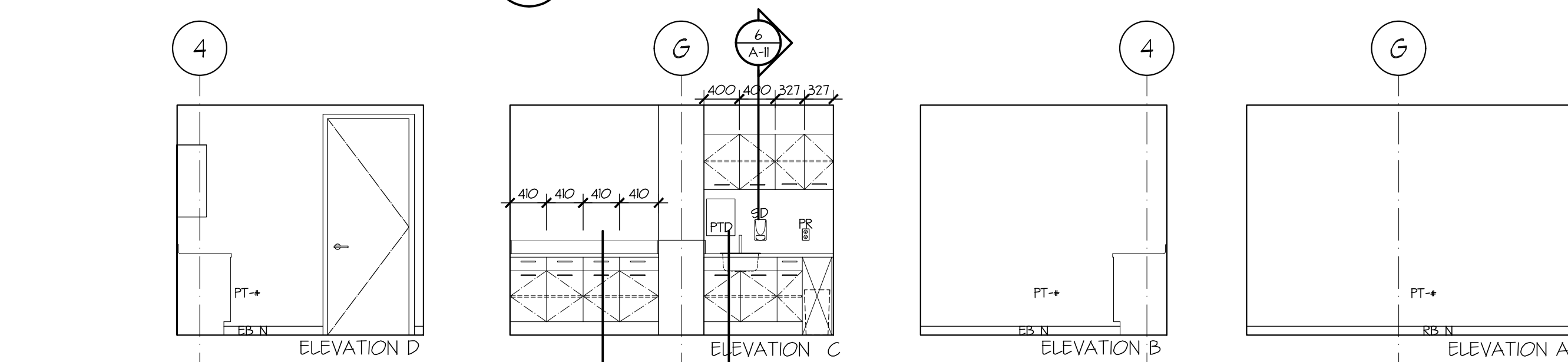


5 INTERIOR ELEVATION - WORKSTATION 05
A-08 1:50

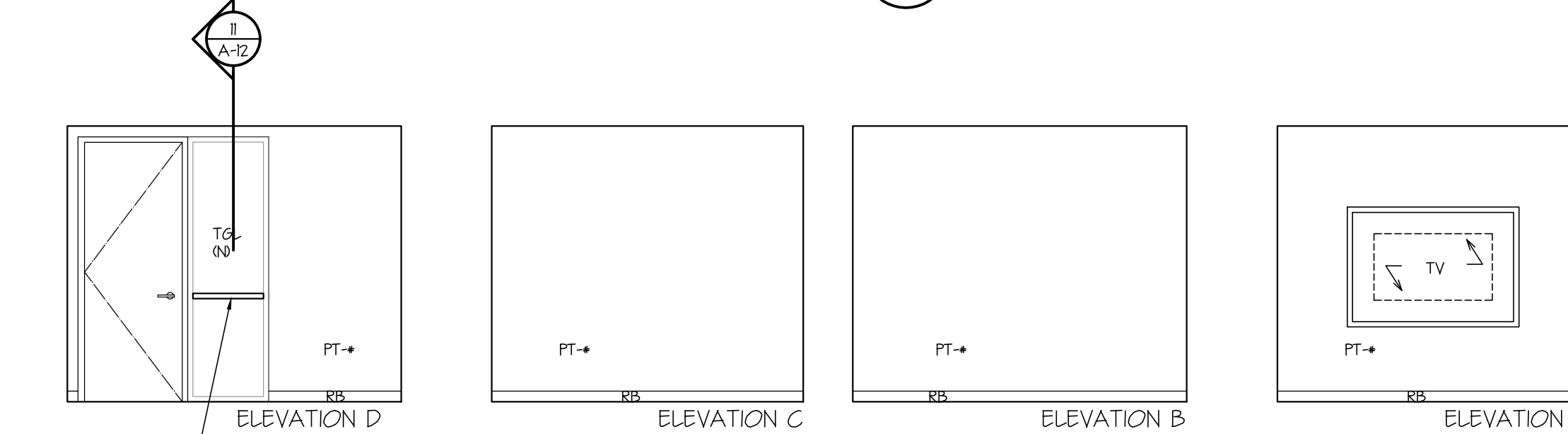


3 INTERIOR ELEVATION - MEETING ROOM 02
A-08 1:50

4 INTERIOR ELEVATION - UNIVERSAL LOCKER/CHNGE ROOM
A-08 1:50



2 INTERIOR ELEVATION - FIRST AID ROOM
A-08 1:50



1 INTERIOR ELEVATION - INTERVIEW 02
A-08 1:50

No.	DATE	REVISION
3	01/05/19	ISSUED FOR BUILDING PERMIT & TENDER
2	18/04/19	ISSUED FOR CLIENTS REVIEW
1	01/03/19	ISSUED FOR CLIENTS REVIEW

PROJECT TITLE
TENANT FIT-OUT FOR ECHELON CENTRE
575 8TH AVE WEST VANCOUVER

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SHEET TITLE
3RD FLOOR INTERIOR ELEVATIONS (BASE)

PROJECT No. 38017
DRAWN PM
CHECKED TY
SCALE 1:75 - U.N.O.
DATE 01/05/2019
PRINTED 01/05/2019

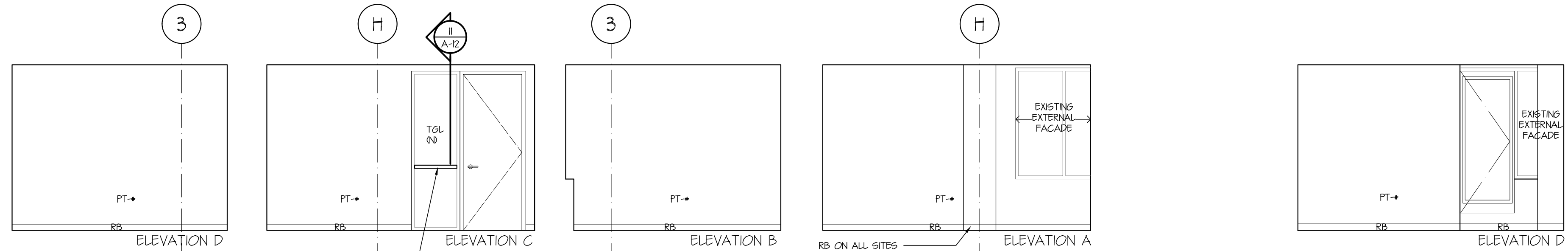
REVISION No. 3

A-08

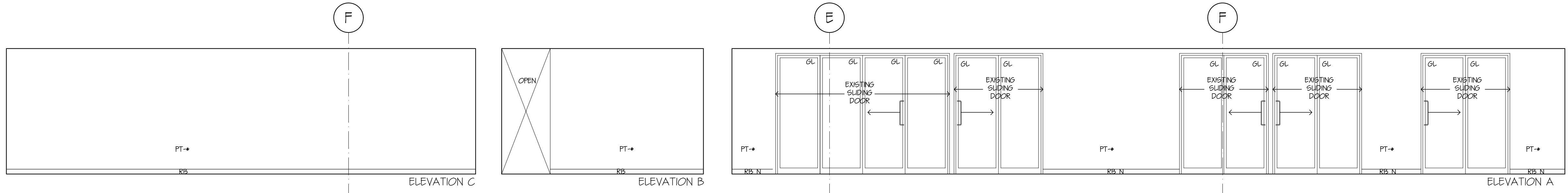
KEY ABBREVIATIONS:

- AP PAINTED EXISTING ACCESS PANEL
- DO DATA OUTLET
- DW DISHWASHER (SUPPLIED BY OWNER & INSTALLED BY CONTRACTOR)
- EB EPOXY INTEGRAL COVERED BASE
- EXS EXIT SIGN (REFER ELEC.)
- EW EPOXY WALL COATING
- FE FIRE EXTINGUISHER
- FR FRIDGE (SUPPLIED & INSTALLED BY OWNER)
- FSG FOLDING SHOWER SEAT
- GB GRAB BAR (TYPE REFER SPEC)
- GF DIGITAL PRINTED SELF-ADHESIVE GRAPHIC FILM ON PAINTED WALL
- GL GLAZING
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- KP KICKPLATE
- LS LIGHT SWITCH (REFER ELEC.)
- MR MIRROR
- MW MICROWAVE (SUPPLIED & INSTALLED BY OWNER)
- N NEW
- ND SANITARY NAPKIN DISPOSAL
- PL PLASTIC LAMINATE (REFER TO SPEC)
- PR POWER RECEPTACLE (REFER ELEC.)
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- PT→ PAINTED (COLOR REFER FINISHES PLAN)
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- SS SOLID SURFACING (REFER TO SPEC)
- SSL STAINLESS STEEL
- ST STROBE (REFER ELEC.)
- STV STOVE (SUPPLIED BY OWNER & INSTALLED BY CONTRACTOR)
- THS THERMOSTAT / TEMPERATURE SENSOR (REFER MECH)
- TTD TOILET TISSUE DISPENSER
- TV TV MONITOR (SUPPLIED BY OWNER & INSTALLED BY CONTRACTOR)
- WS WRITABLE / MAGNETIC SURFACE

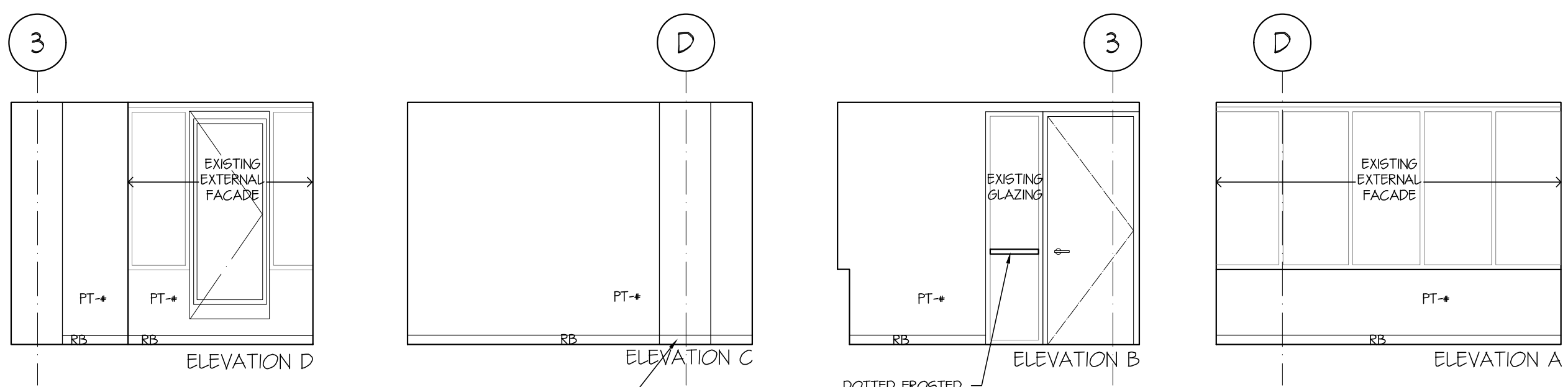
NOTE: REMOVE EX. RB FOR ALL WALL BASE INDICATED AS NEW RUBBER BASE RB 00



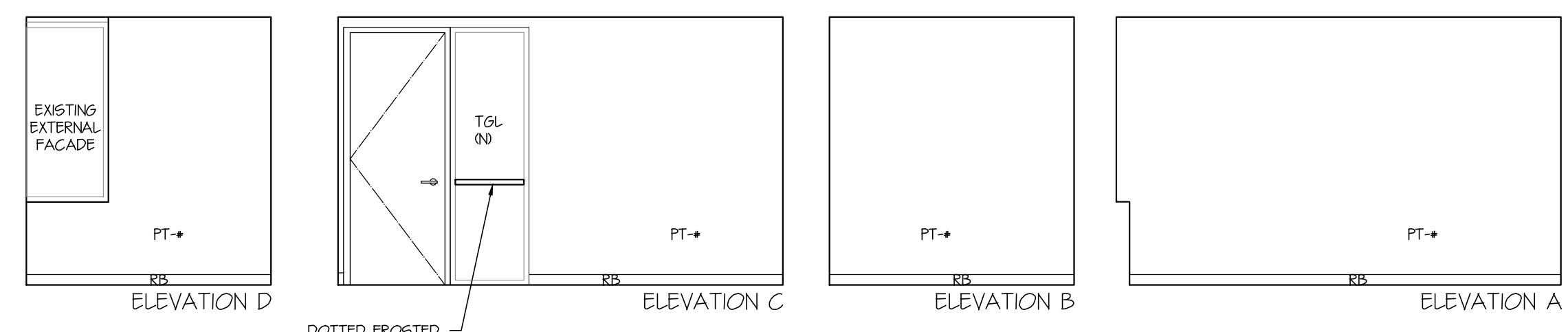
8 INTERIOR ELEVATION - ASSISTANT DIRECTOR 03
A-09 1:50



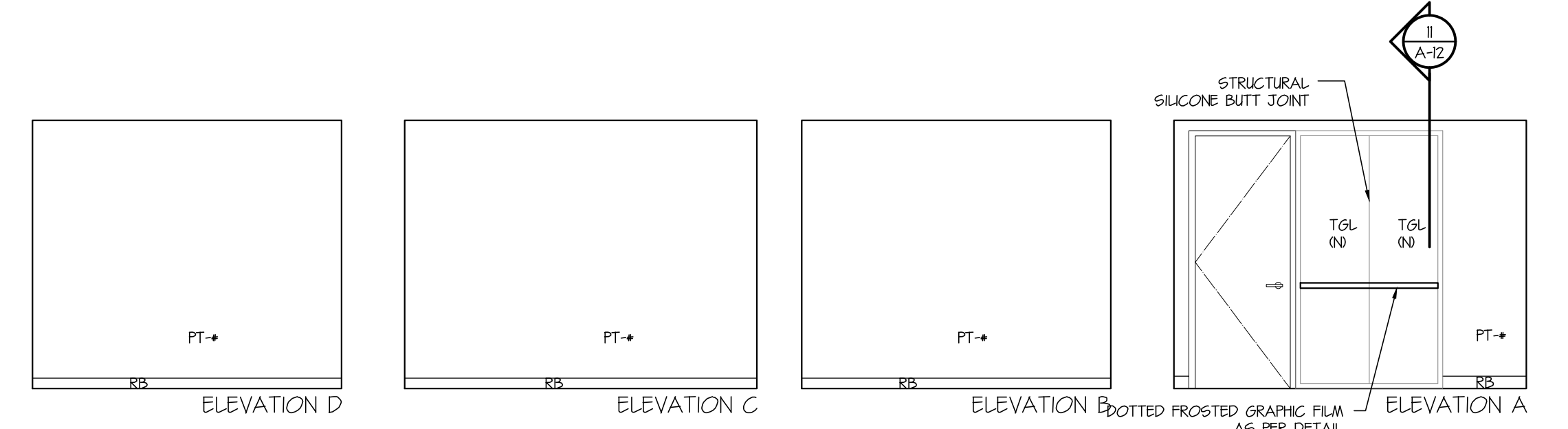
7 INTERIOR ELEVATION - WORKSTATION 01
A-09 1:50



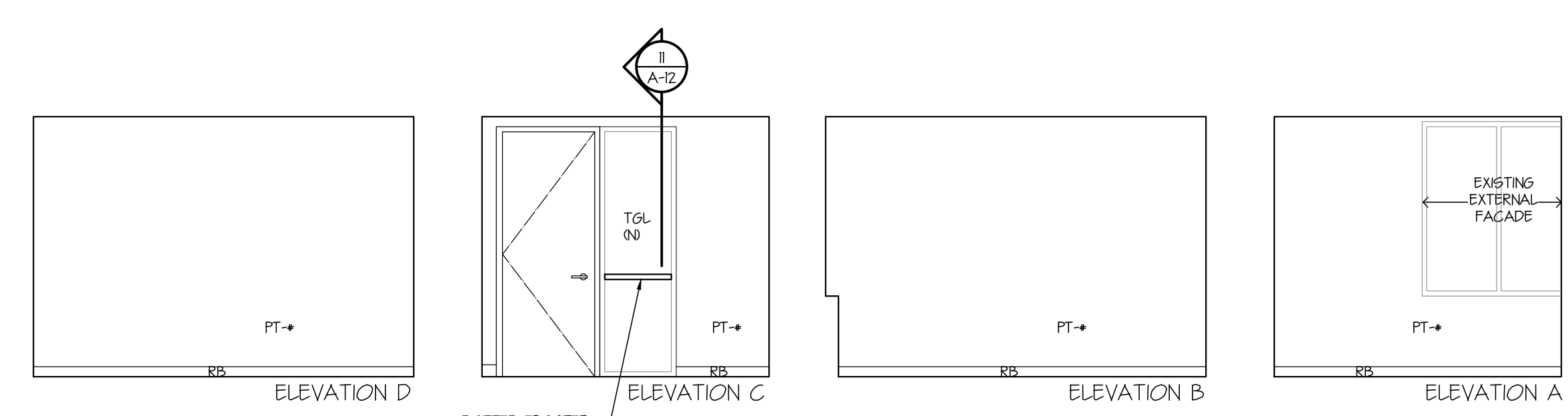
6 INTERIOR ELEVATION - OFFICE 01
A-09 1:50



5 INTERIOR ELEVATION - OFFICE 29
A-09 1:50



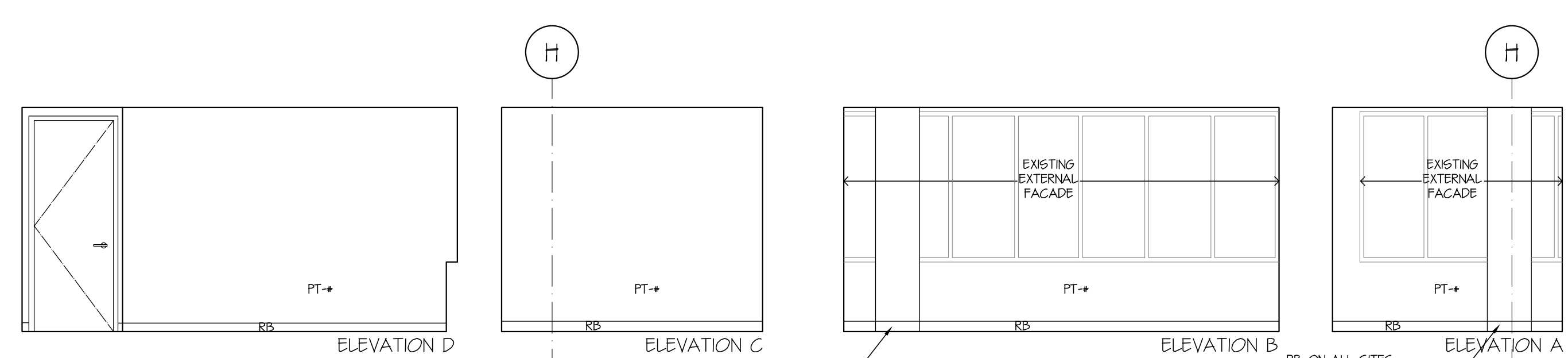
4 INTERIOR ELEVATION - OFFICE 30
A-09 1:50



3 INTERIOR ELEVATION - OFFICE 07
A-09 1:50



2 INTERIOR ELEVATION - OFFICE 08
A-09 1:50



1 INTERIOR ELEVATION - ASSISTANT DIRECTOR 02
A-09 1:50

3	01/05/19	ISSUED FOR BUILDING PERMIT & TENDER
2	18/04/19	ISSUED FOR CLIENTS REVIEW
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No.	DATE	REVISION
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PROJECT TITLE
TENANT FIT-OUT FOR ECHELON CENTRE
575 8TH AVE WEST VANCOUVER

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SHEET TITLE
3RD FLOOR INTERIOR ELEVATIONS (BASE)

PROJECT No. 38017
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CHECKED TY
SCALE 1:75 - U.N.O.
DATE 01/05/2019
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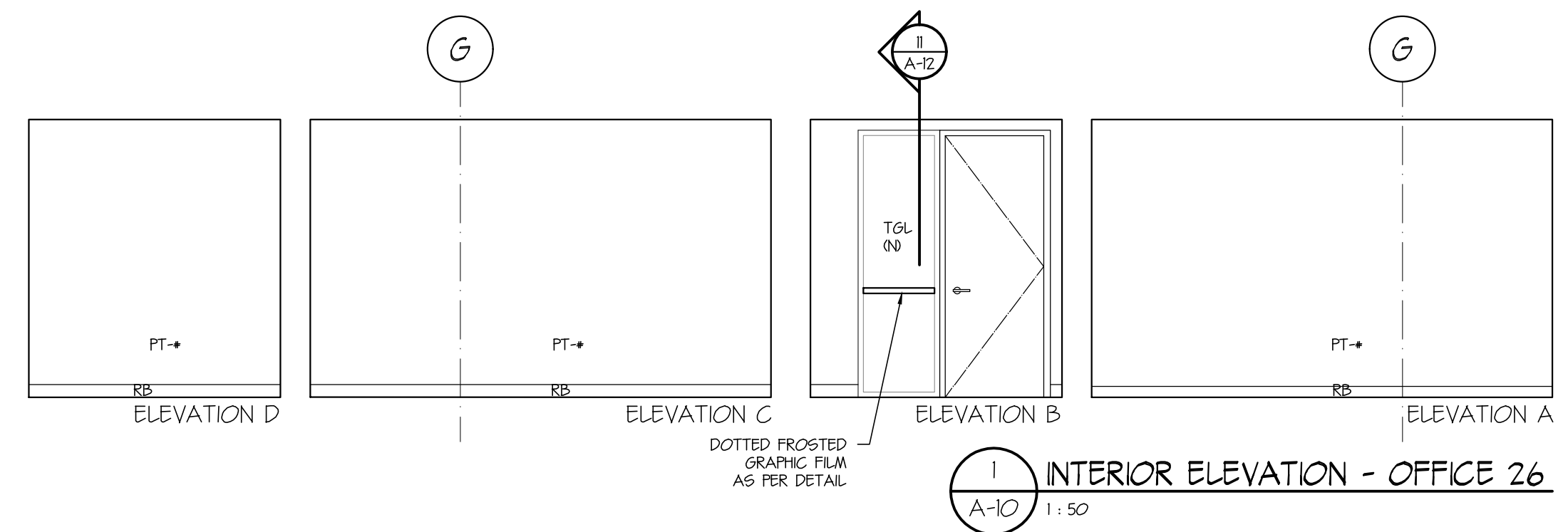
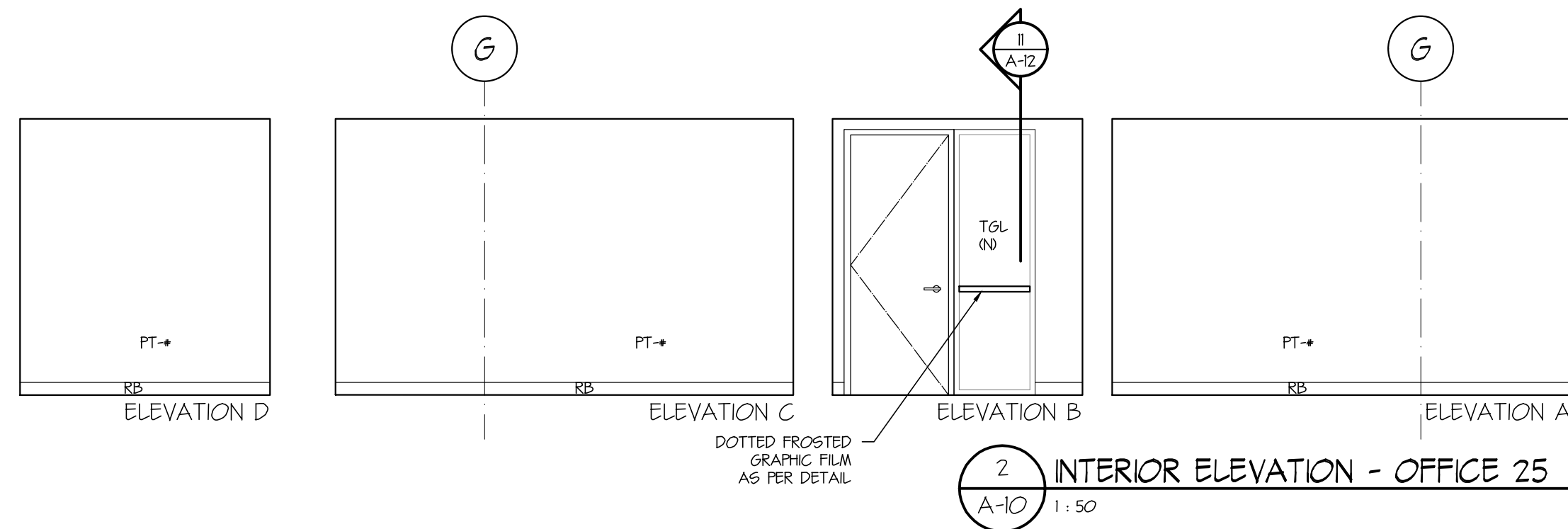
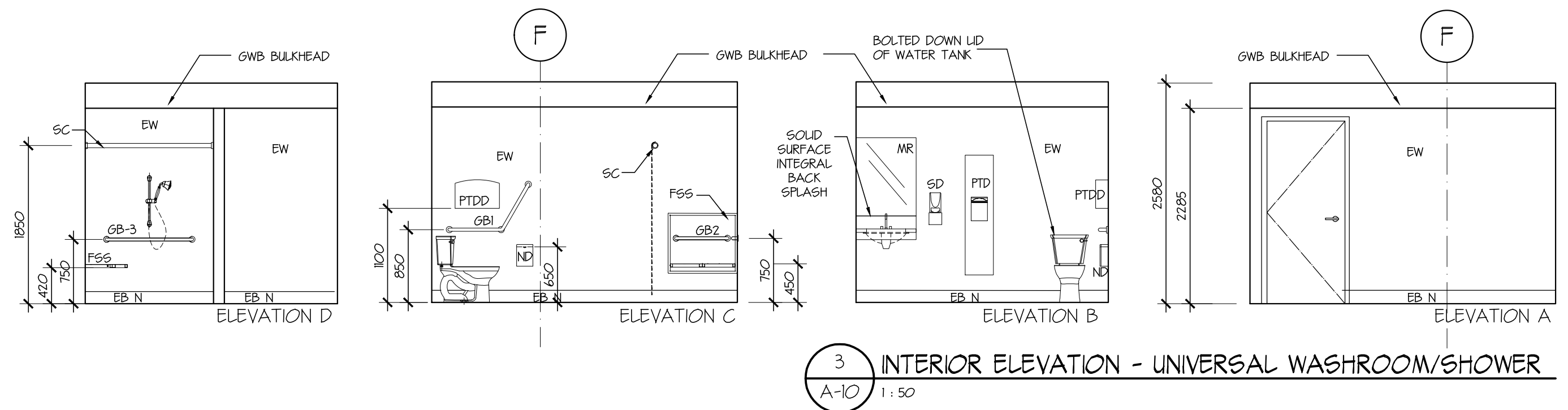
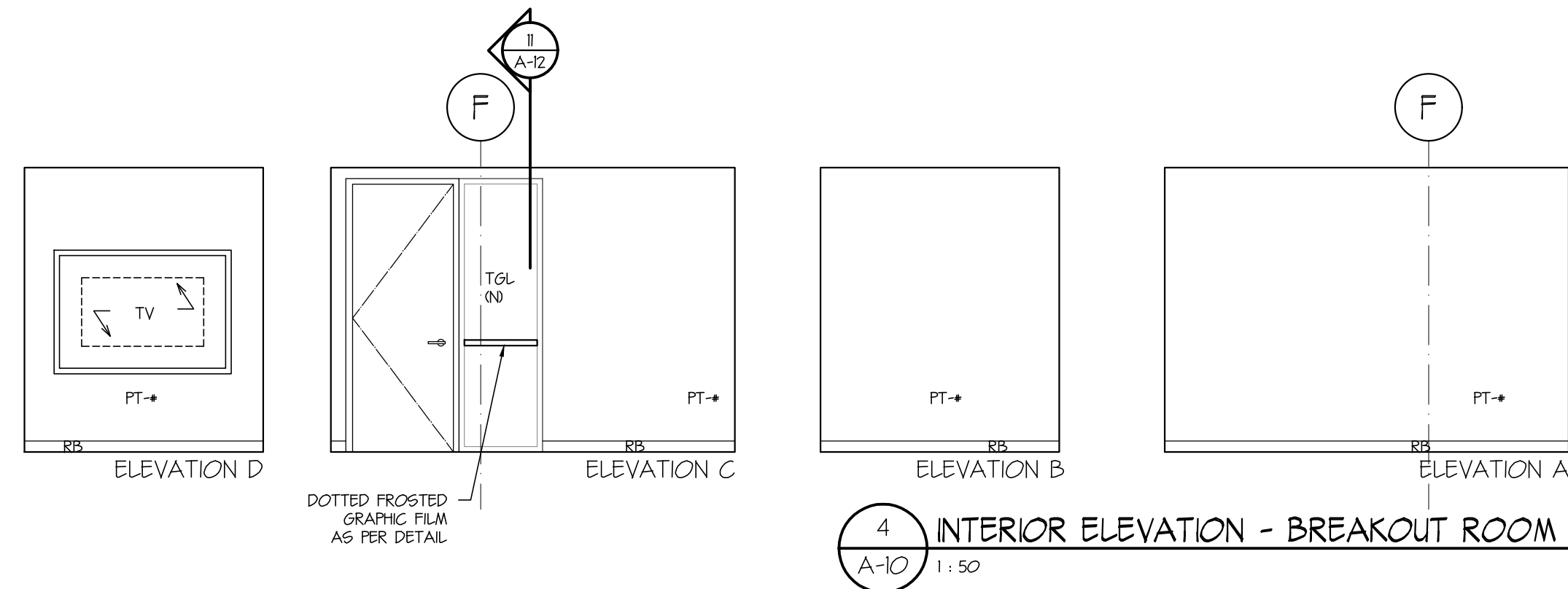
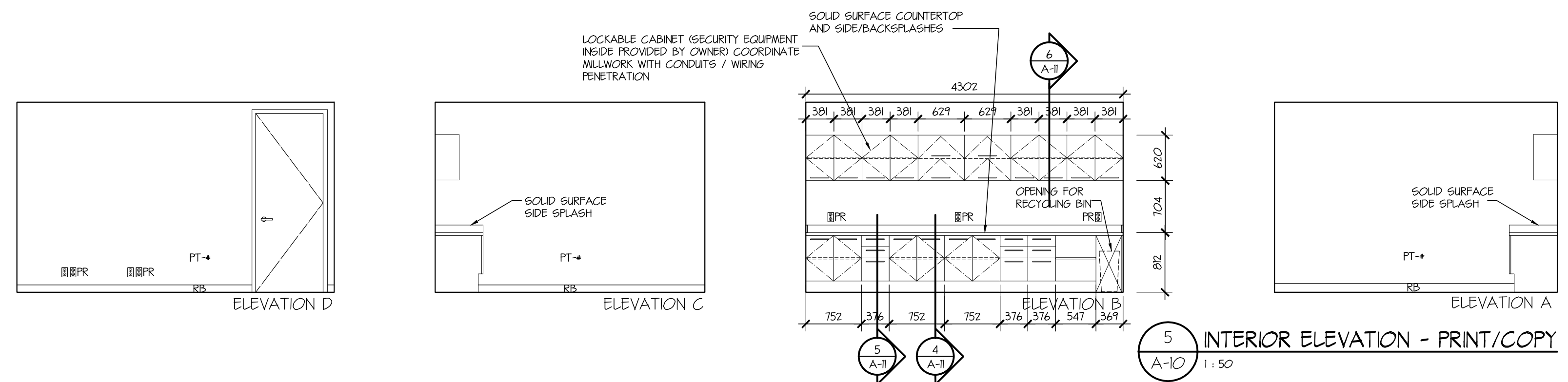
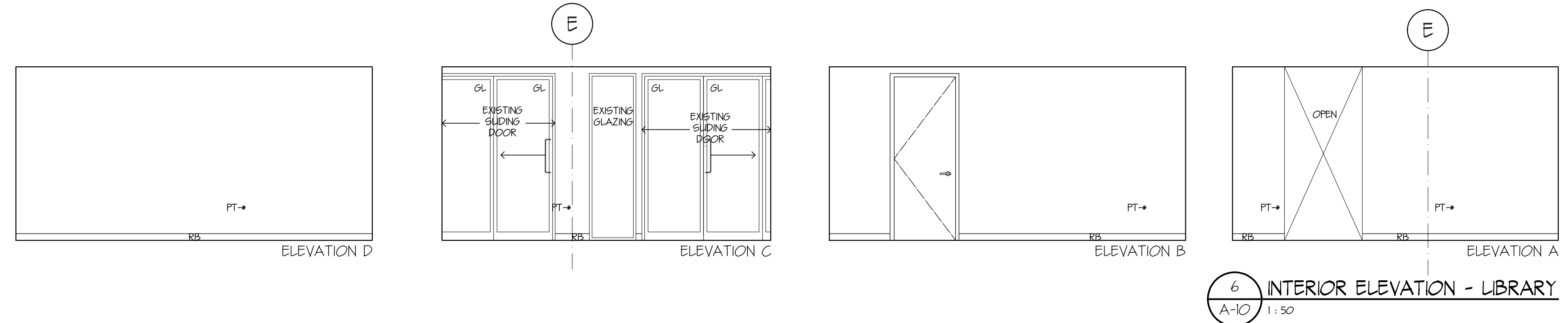
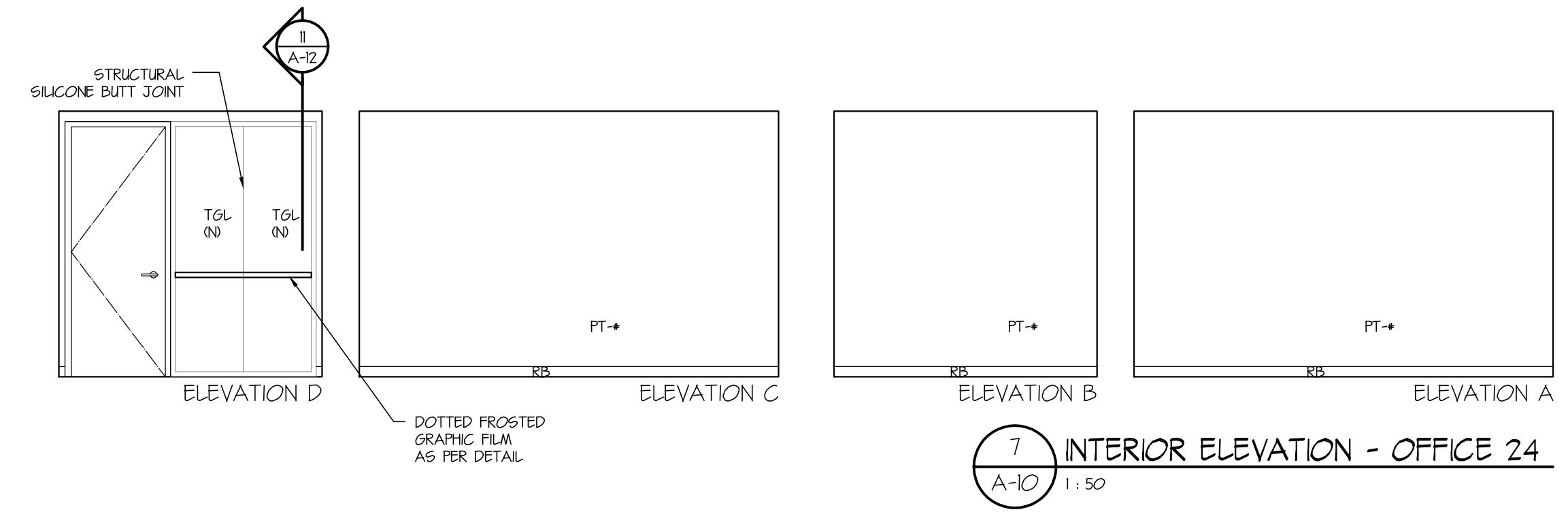
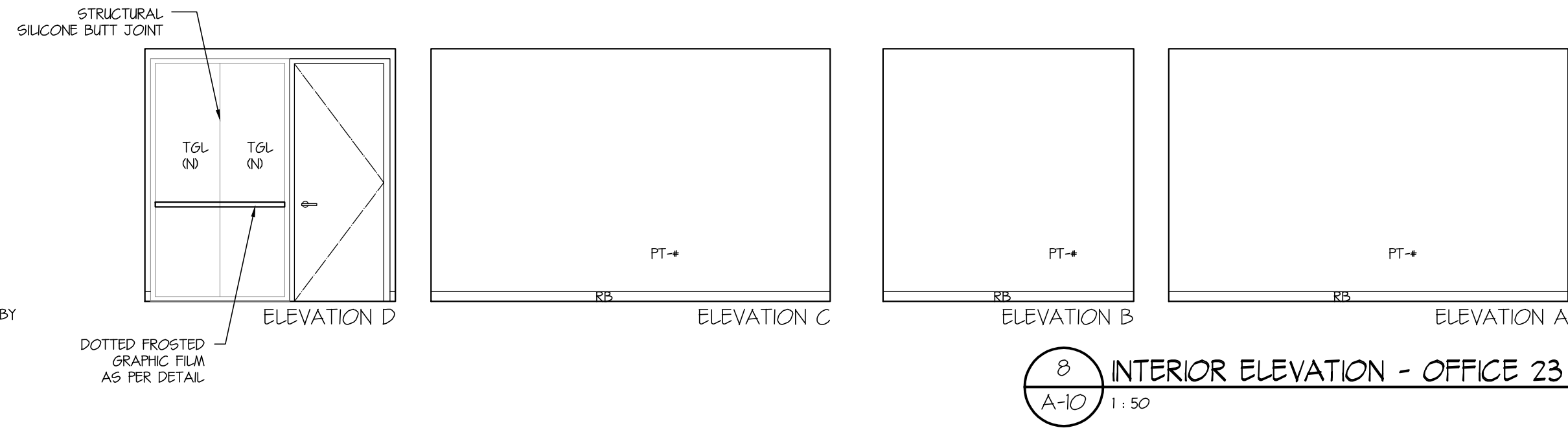
REVISION No. 3

A-09

KEY ABBREVIATIONS:

- AP PAINTED EXISTING ACCESS PANEL
- DO DATA OUTLET
- DW DISHWASHER (SUPPLIED BY OWNER & INSTALLED BY CONTRACTOR)
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- WS WRITABLE / MAGNETIC SURFACE

NOTE: REMOVE EX, RB FOR ALL WALL BASE INDICATED AS NEW RUBBER BASE RB (N)



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No.	DATE	REVISION
	(dd/mm/yy)	

PROJECT TITLE
TENANT FIT-OUT FOR ECHELON CENTRE
575 8TH AVE WEST VANCOUVER

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SHEET TITLE
3RD FLOOR INTERIOR ELEVATIONS (BASE)

PROJECT No. 38017
DRAWN PM
CHECKED TY
SCALE 1:75 - U.N.O.
DATE 01/05/2019
PRINTED 01/05/2019

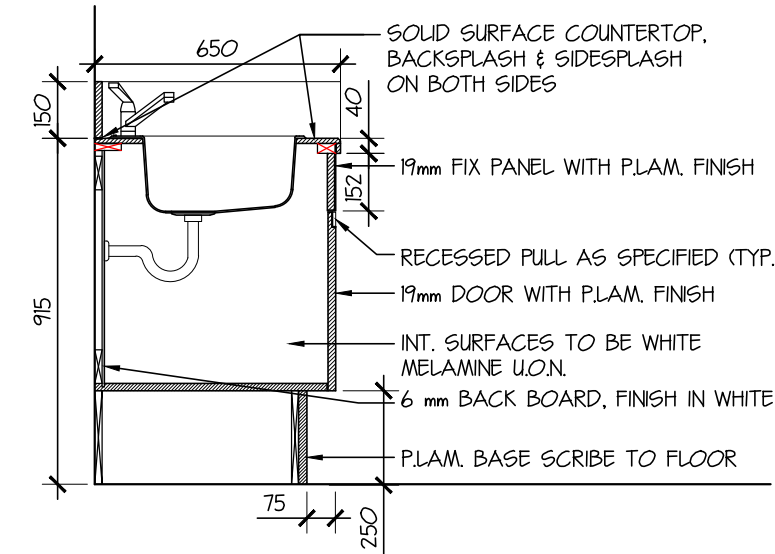
REVISION No. 2

A-10

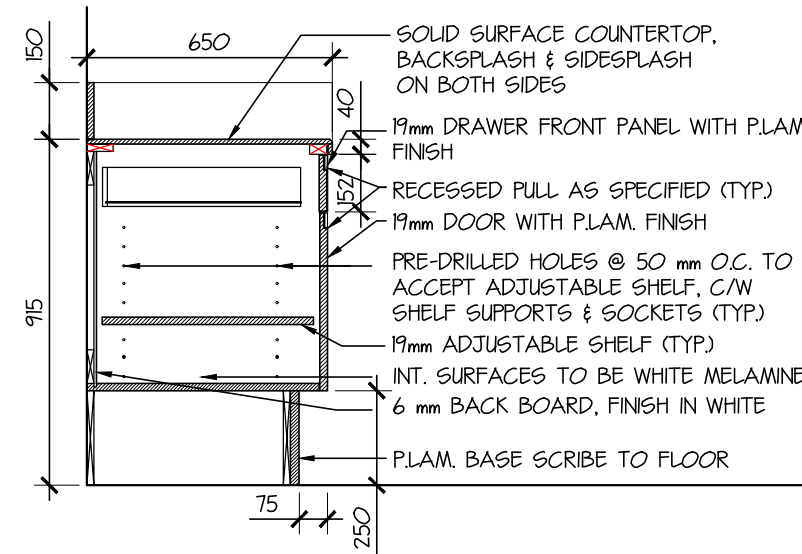
CHERNOFF THOMPSON ARCHITECTS
110-1281 WEST GEORGIA, VANCOUVER, B.C. V6E 3J5
TELEPHONE (604) 669-9460 FAX. (604) 683-7684

- AP PAINTED EXISTING ACCESS PANEL
- DO DATA OUTLET
- DW DISHWASHER (SUPPLIED BY OWNER & INSTALLED BY CONTRACTOR)
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- WS WRITABLE / MAGNETIC SURFACE

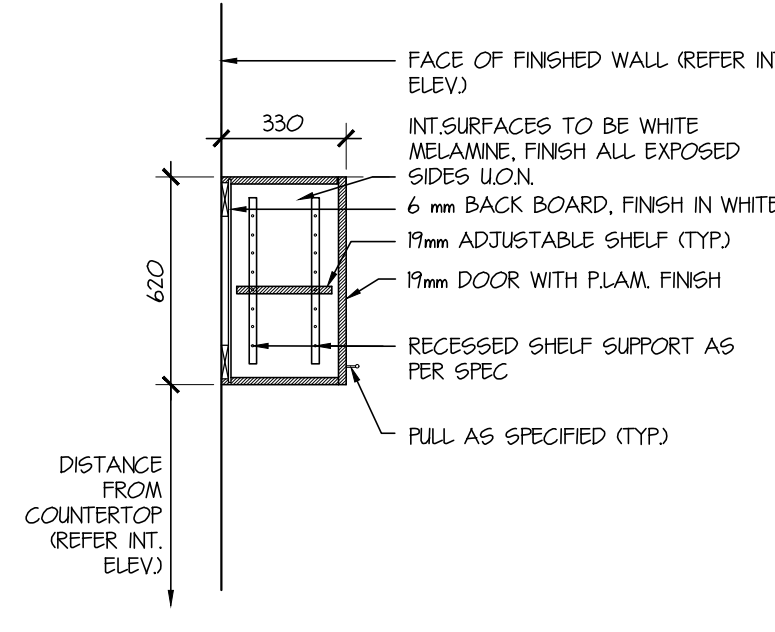
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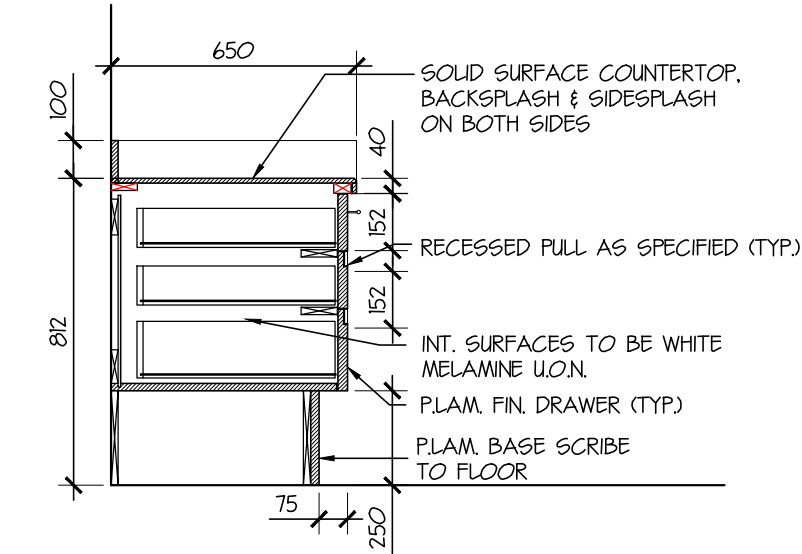
8 TYP. MILLWORK SECTION - LOWER SINK CABINET
A-II 1:20



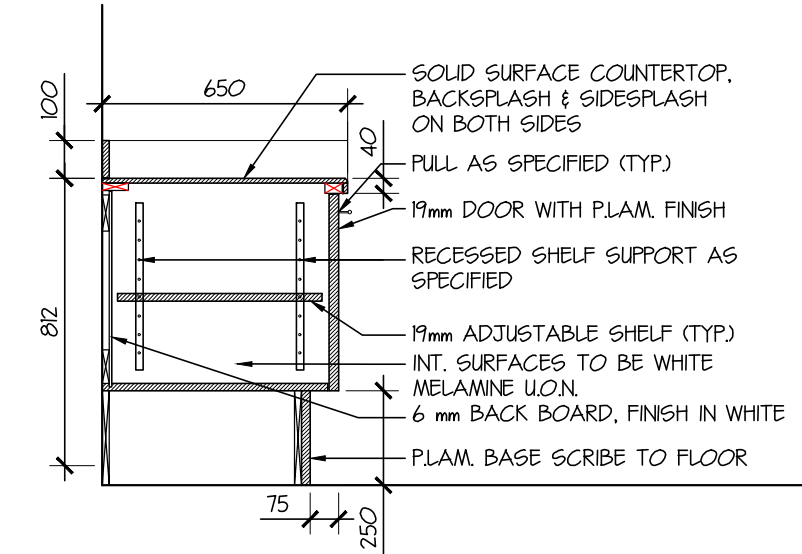
7 TYP. MILLWORK SECTION - LOWER CABINET/DRAWER
A-II 1:20



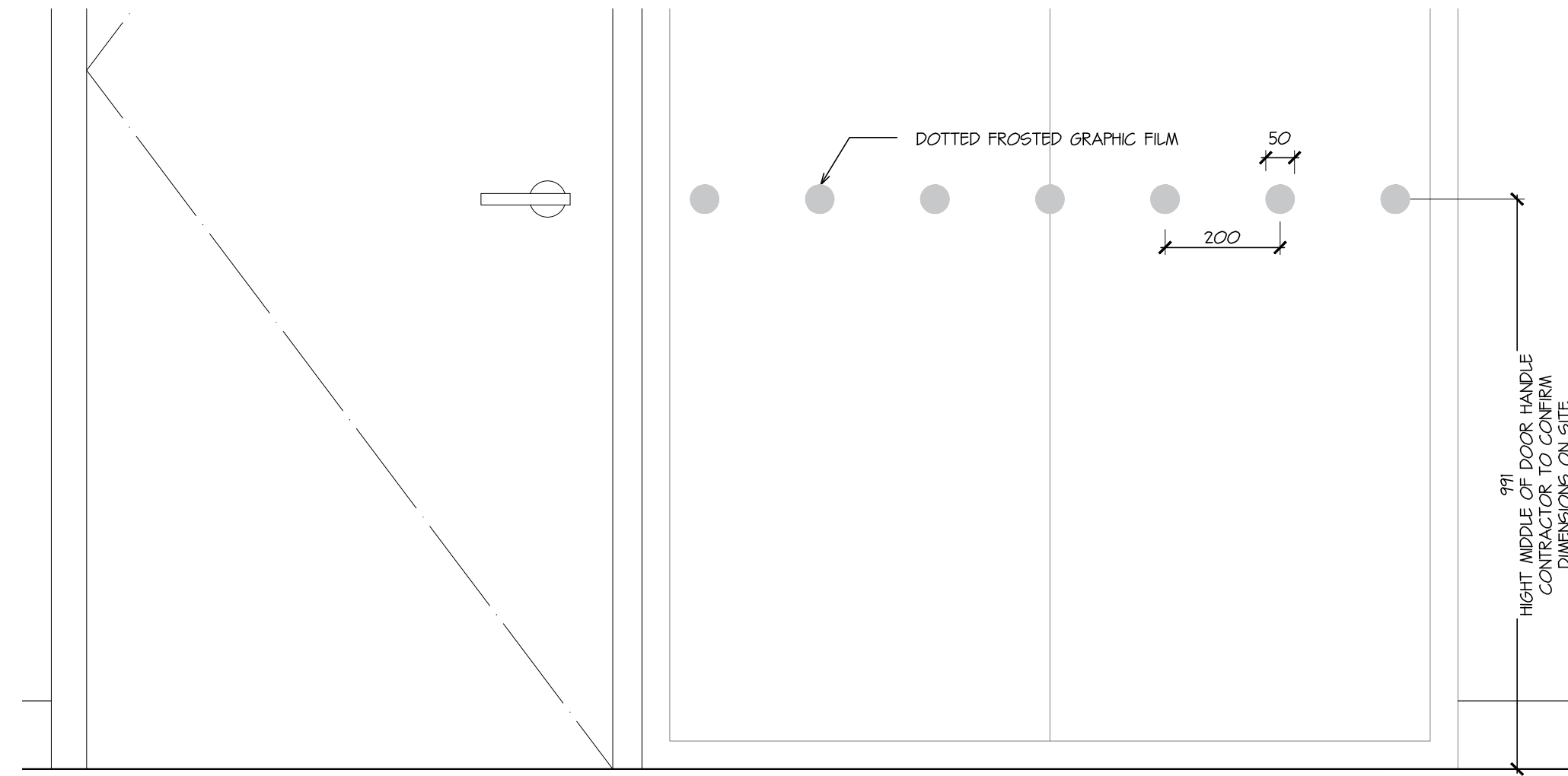
6 TYP. MILLWORK SECTION - UPPER CABINET
A-II 1:20



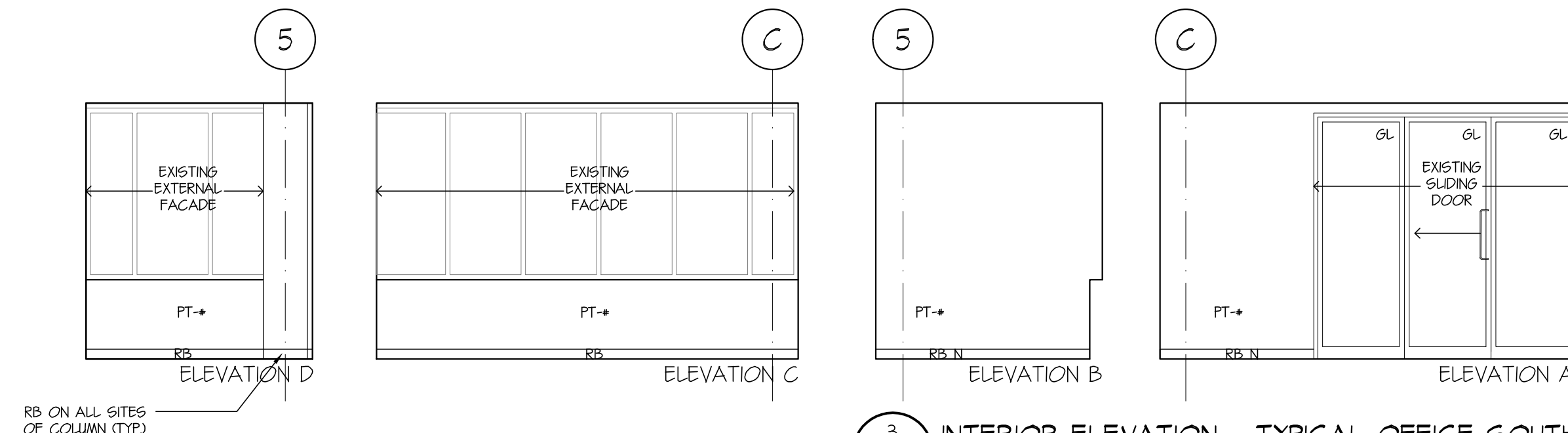
5 TYP. MILLWORK SECTION - CRENZENA DRAWERS CABINET
A-II 1:20



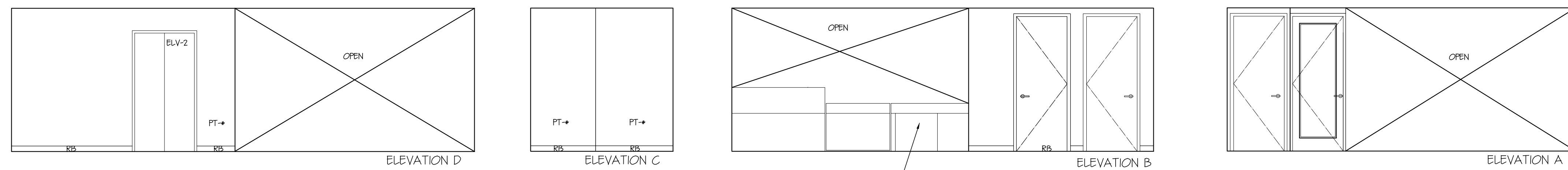
4 TYP. MILLWORK SECTION - CRENZENA CABINET
A-II 1:20



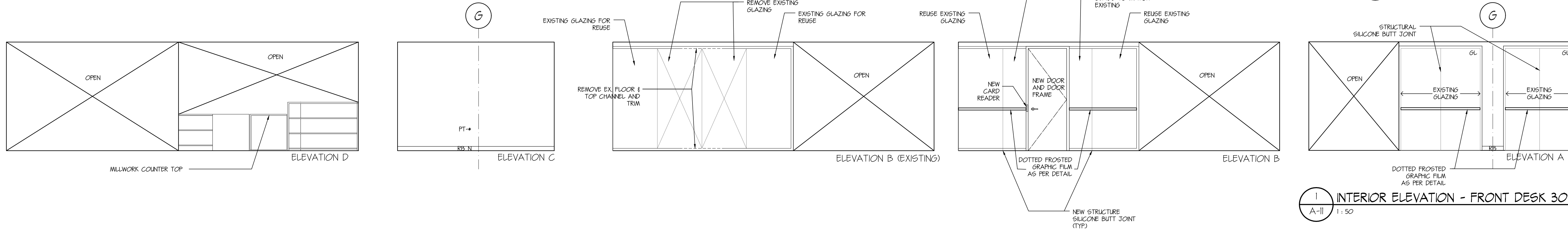
9 WINDOW FILM DETAIL
A-II 1:10



3 INTERIOR ELEVATION - TYPICAL OFFICE SOUTH
A-II 1:50



2 INTERIOR ELEVATION - LOBBY
A-II 1:50



1 INTERIOR ELEVATION - FRONT DESK 301
A-II 1:50

2	01/05/19	ISSUED FOR BUILDING PERMIT & TENDER
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TENANT FIT-OUT FOR ECHELON CENTRE
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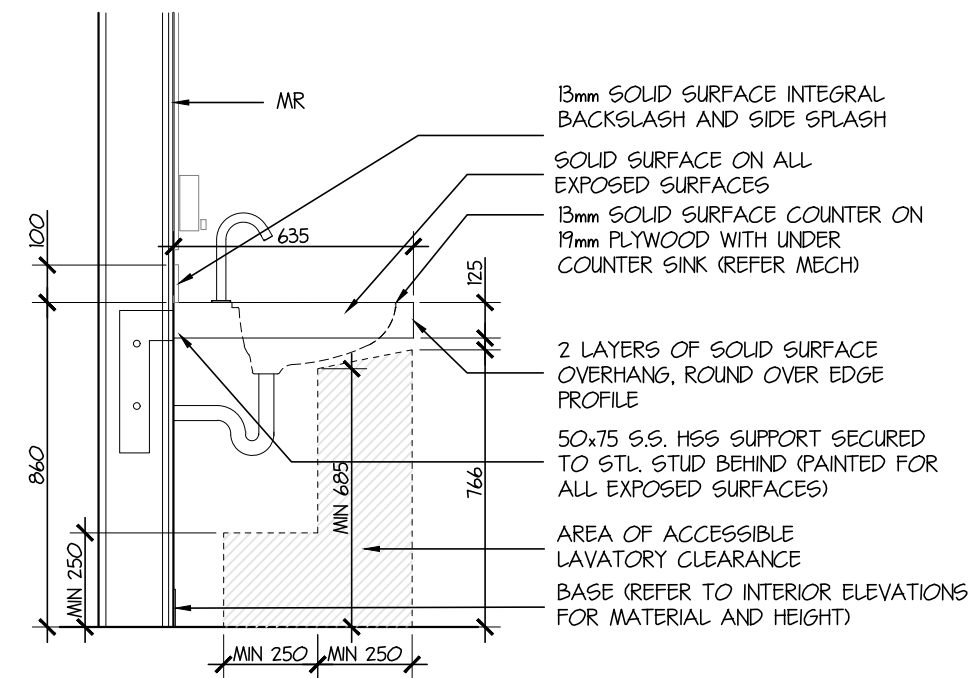
SHEET TITLE
3RD FLOOR INTERIOR ELEVATIONS (BASE)

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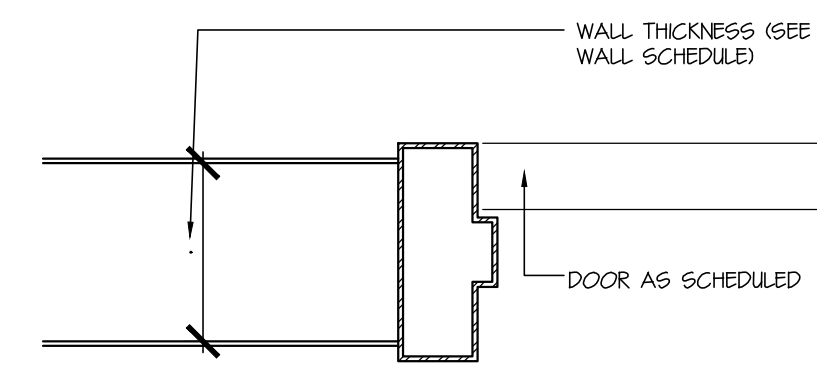
REVISION No. 2

A-II

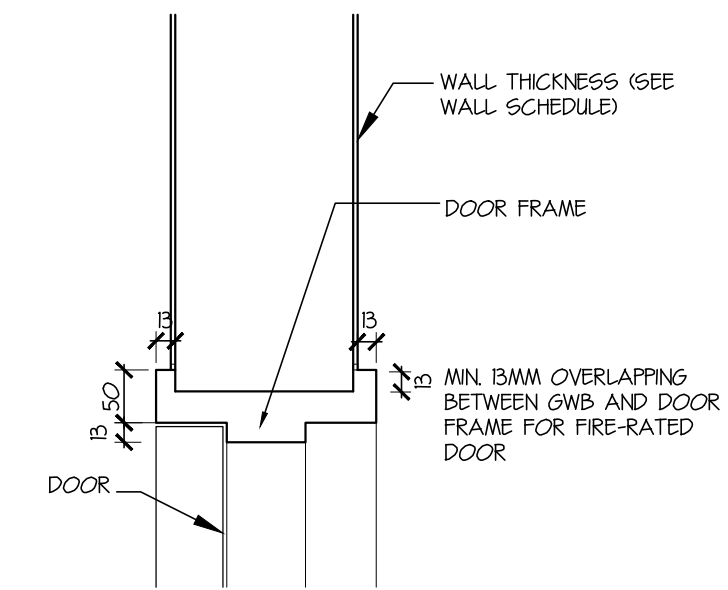
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TELEPHONE (604) 669-9460 FAX. (604) 683-7684
CHERNOFF THOMPSON ARCHITECTS



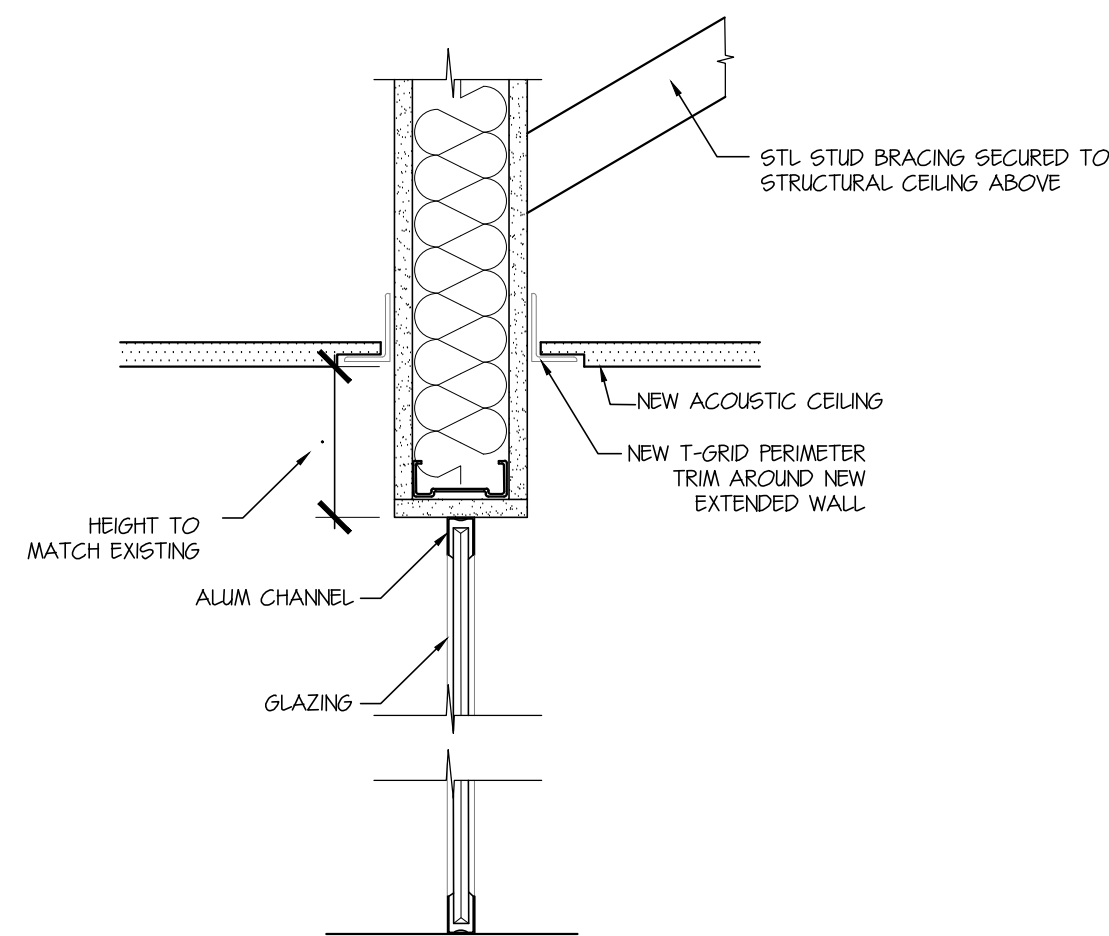
12
A-09 1:20
TYP. WASHROOM VANITY MILLWORK SECTION



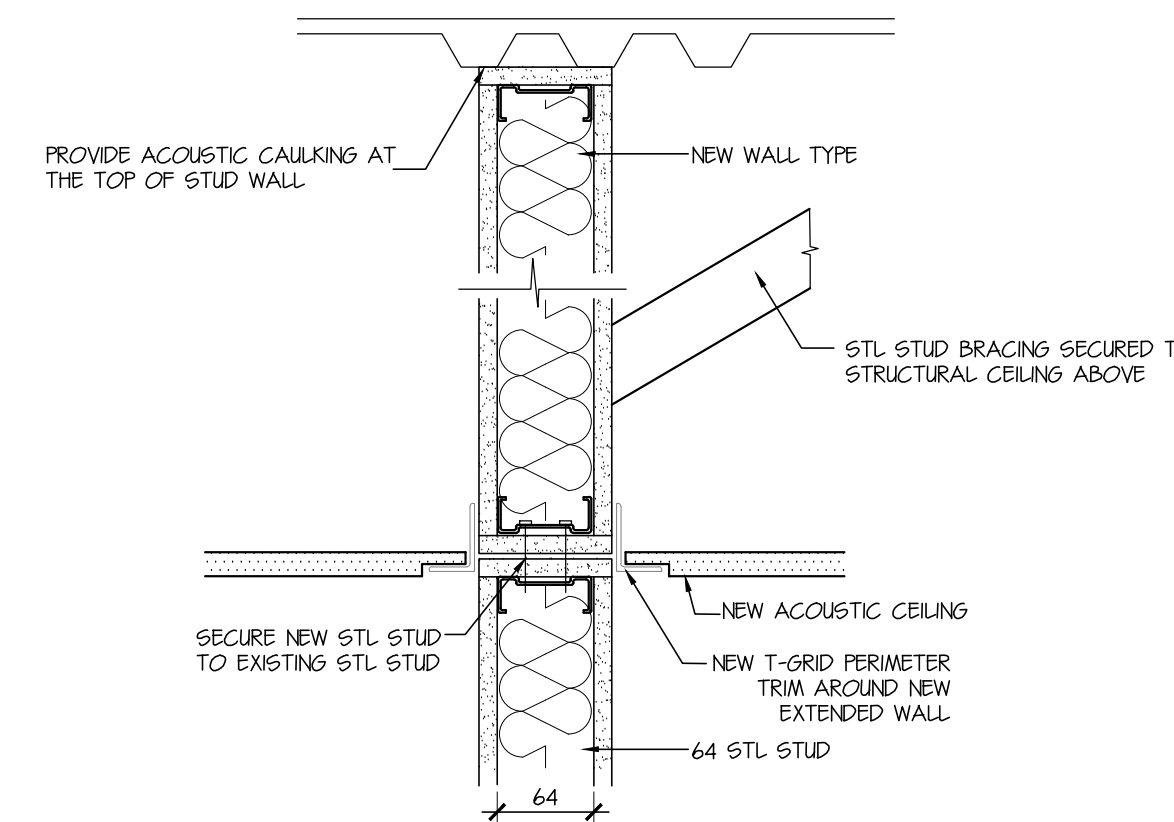
8
A-12 1:5
TYPICAL WOOD DOOR JAMB



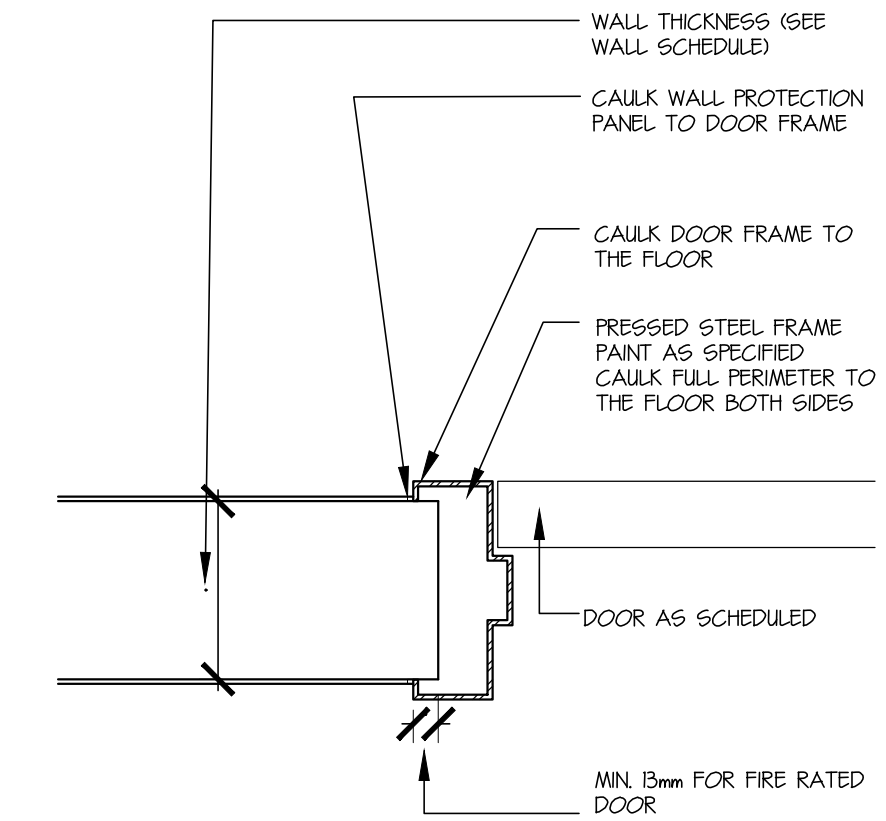
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TYPICAL PRESS STEEL FRAME HEAD DETAIL



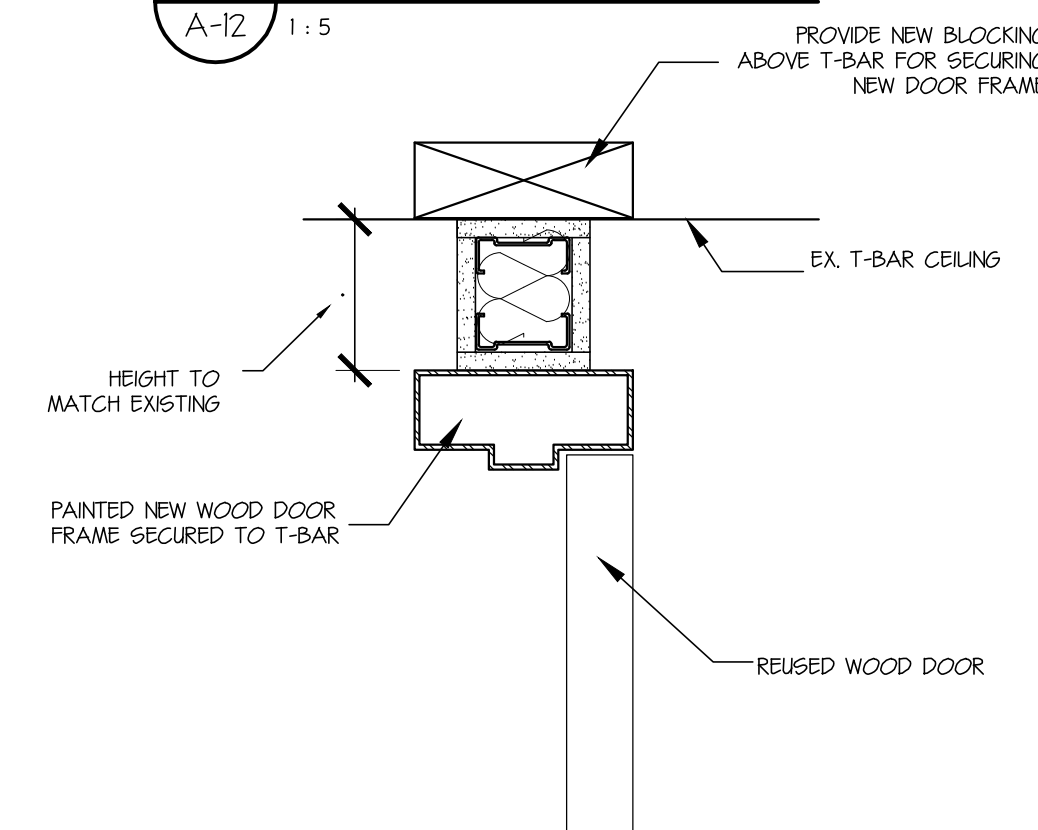
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A-12 1:5
TYPICAL GLAZED WALL



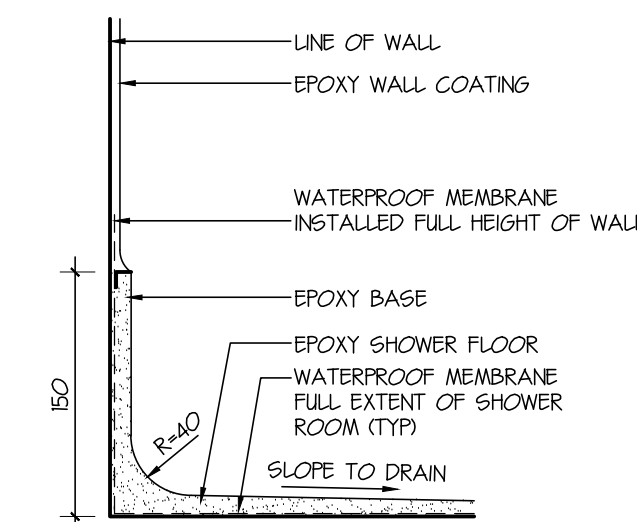
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A-12 1:5
TYPICAL UPGRADE OF EXISTING WALL TO SOUND PROOFING WALL



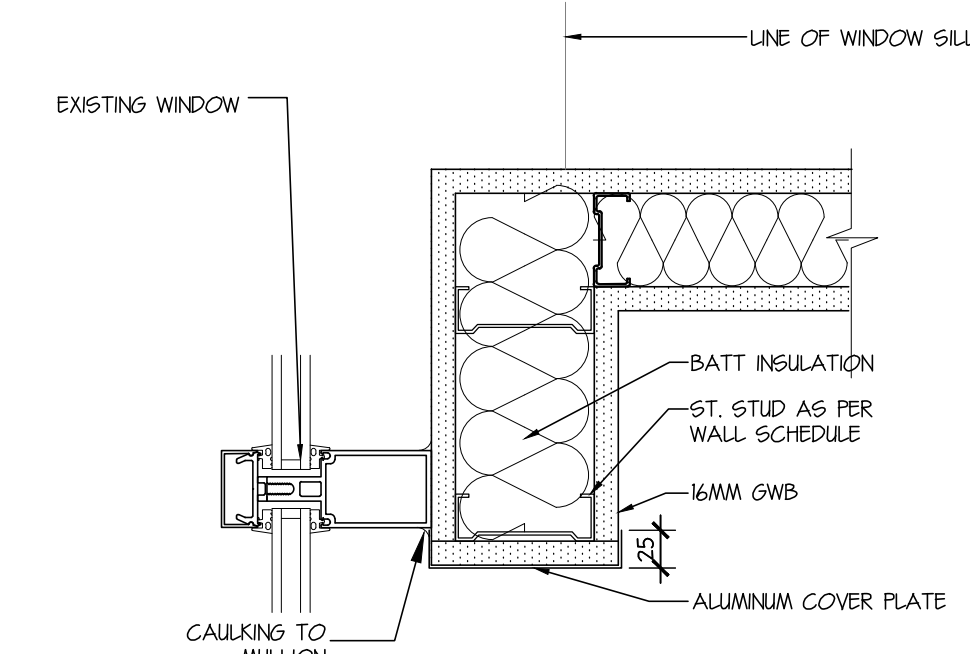
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A-12 1:5
TYPICAL PRESS STEEL JAMP DETAIL



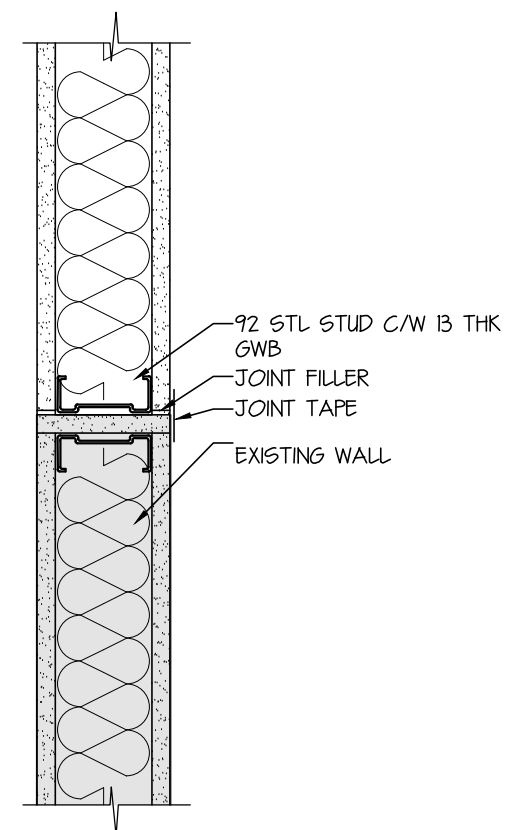
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A-12 1:5
TYPICAL WOOD DOOR HEAD



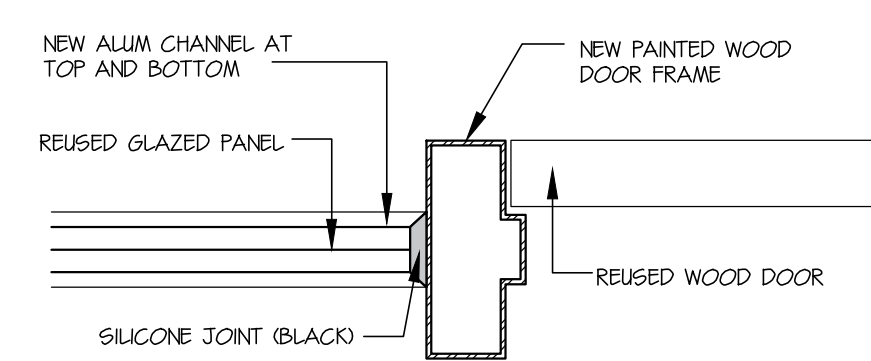
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A-12 1:5
TYP. SHOWER FLOORING AND BASE DETAIL



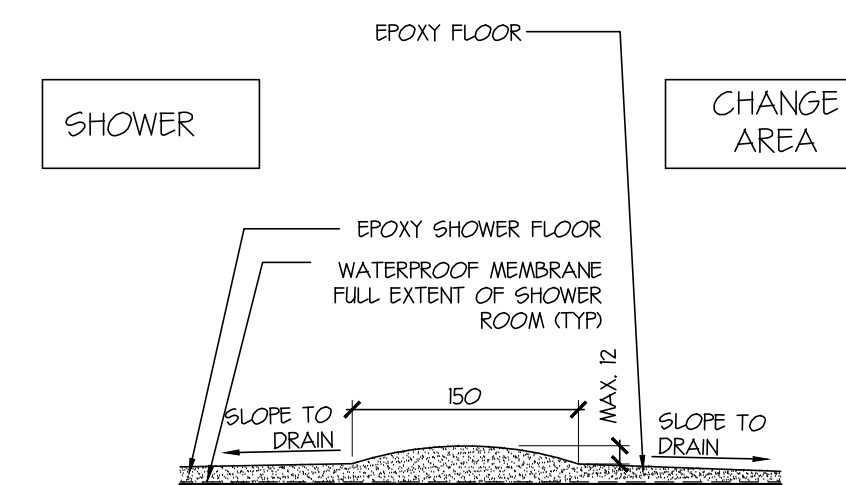
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A-12 1:5
TYPICAL INTERIOR WALL @ MULLION DETAIL



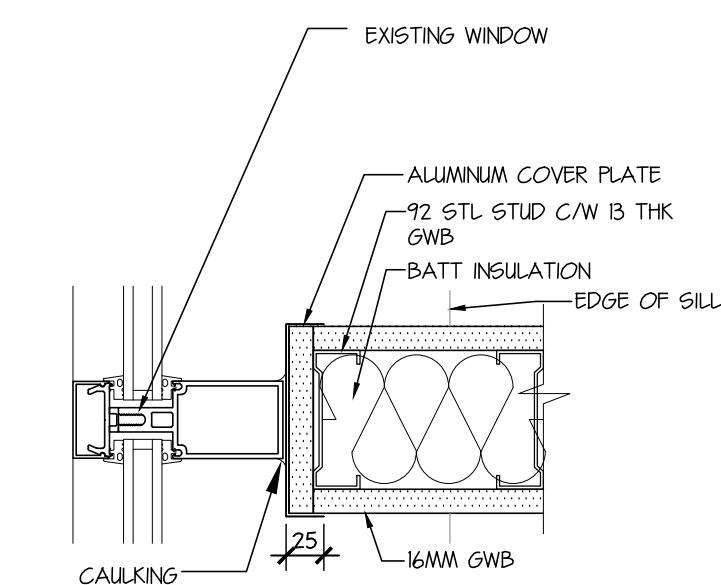
12
A-12 1:5
TYPICAL INTERIOR WALL @ MULLION DETAIL



9
A-012 1:5
TYPICAL WOOD DOOR JAMB WITH SIDELITE



5
A-12 1:5
TYPICAL SHOWER TRANSITION DETAIL



1
A-12 1:5
TYPICAL INTERIOR WALL @ MULLION DETAIL

2	01/05/19	ISSUED FOR BUILDING PERMIT & TENDER
1	18/04/19	ISSUED FOR CLIENTS REVIEW
No.	DATE	REVISION
	(dd/mm/yyyy)	

PROJECT TITLE
TENANT FIT-OUT FOR ECHELON CENTRE
F-555 8TH AVE WEST VANCOUVER

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SHEET TITLE
3RD FLOOR DETAILS (BASE)

PROJECT No. 38017
DRAWN PM
CHECKED TY
SCALE 1:5
DATE 01/05/19
PRINTED 01/05/19

REVISION No. 2

A-12



WALL PAINT LEGEND

- PT-X PAINT COLOR REFER SPECIFICATION
- GP DIGITAL COLOR PRINT GRAPHIC SELF ADHESIVE FILM
- WS WRITABLE/MAGNETIC SURFACE

NOTE: ALL WALL PAINT TO BE PT-1 UNLESS NOTED OTHERWISE

FLOOR FINISHES LEGEND

- NEW EPOXY FLOORING (EP)
- NEW LINOLEUM SHEET FLOORING (LN)
- NEW CARPET TILES (CPT)
- EXISTING SHEET FLOORING
- EXISTING CARPET
- EXISTING FLOOR TILES
- EXISTING LINOLEUM SHEET FLOORING (LN)
- REUSE EXISTING CARPET

3RD FLOOR FINISHES PLAN
 1 A-B 1:75

1 01/05/19 ISSUED FOR BUILDING PERMIT & TENDER
 No. DATE REVISION
 (dd/mm/yy)

PROJECT TITLE
TENANT FIT-OUT FOR ECHELON CENTRE
 575 8TH AVE WEST VANCOUVER

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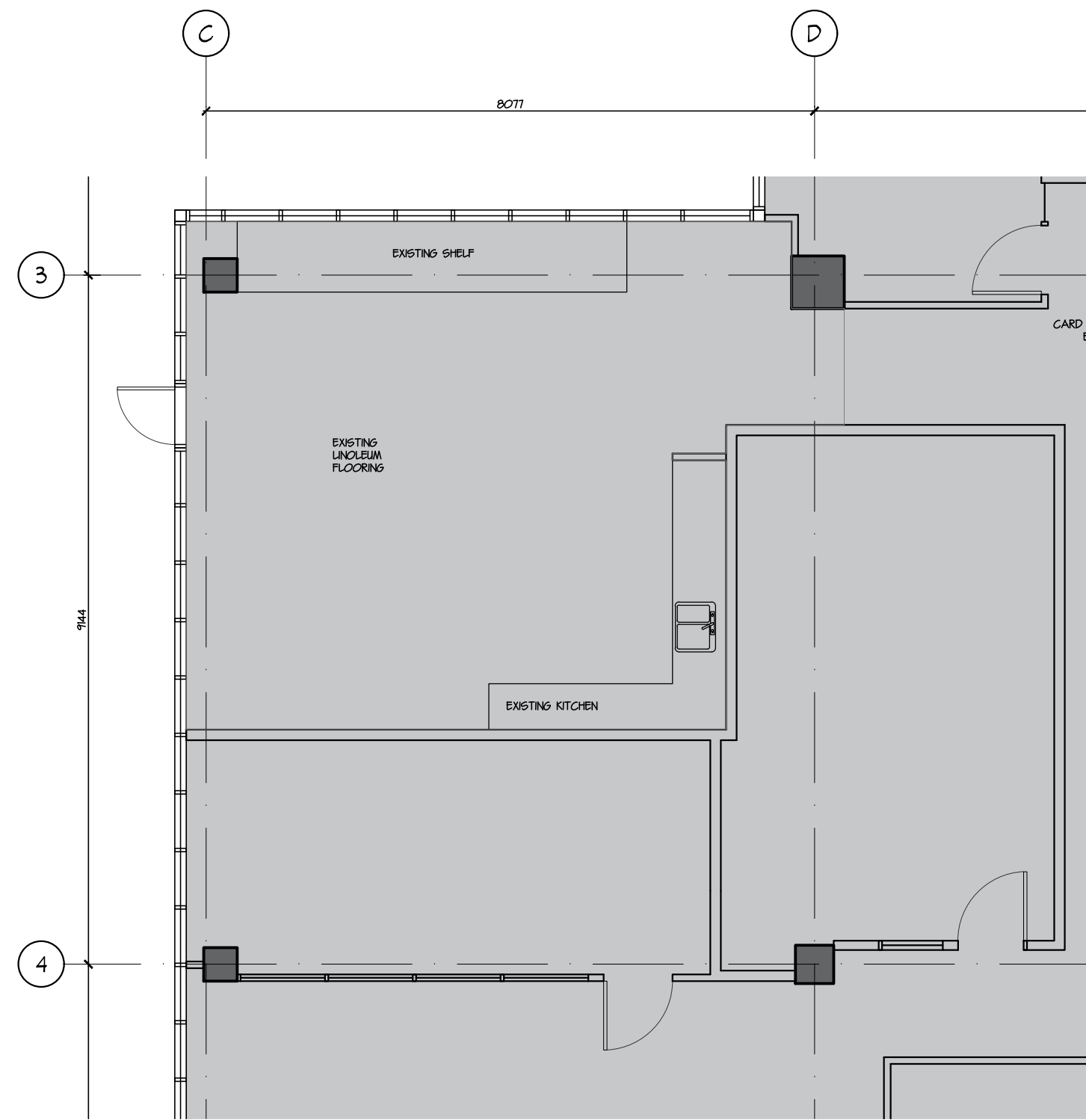
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3RD FLOOR FINISHES PLAN (BASE)

PROJECT No. 38017
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 DATE 01/05/2019
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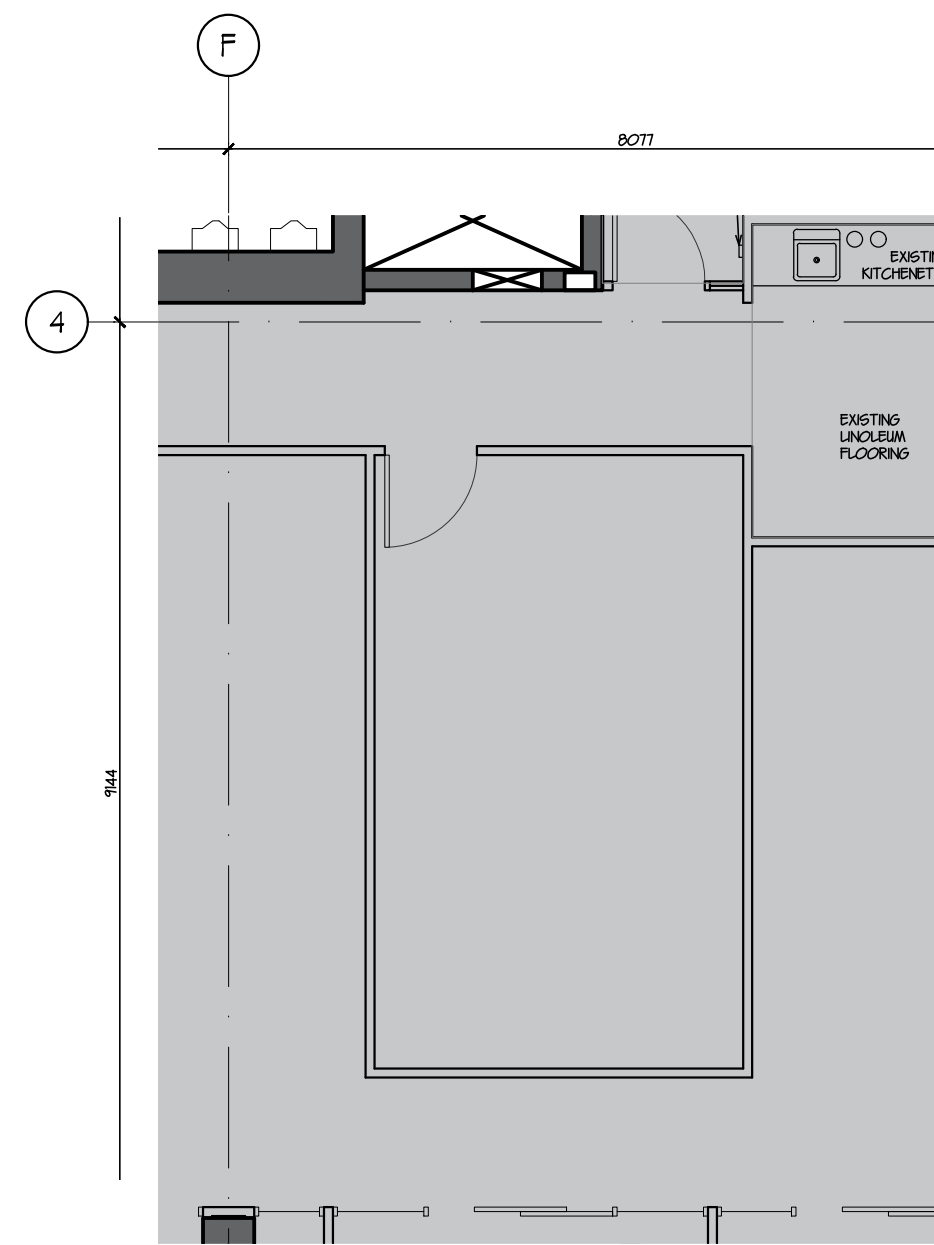
REVISION No. 1

A-13

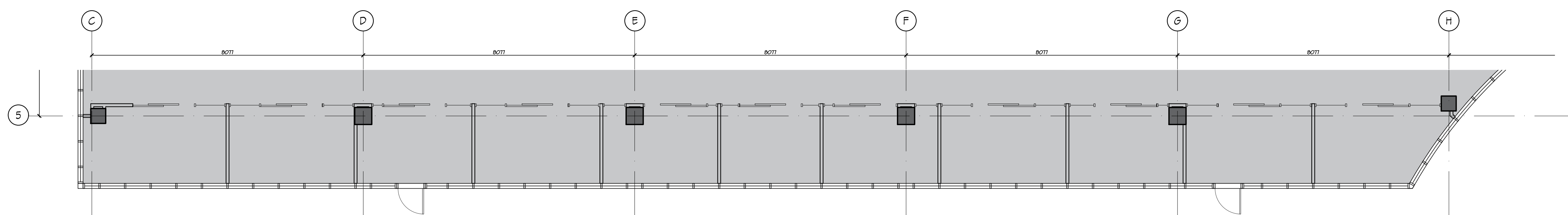
110-1281 WEST GEORGIA, VANCOUVER, B.C. V6E 3J5
 TELEPHONE (604) 669-9460 FAX. (604) 683-7684
CHERNOFF THOMPSON ARCHITECTS



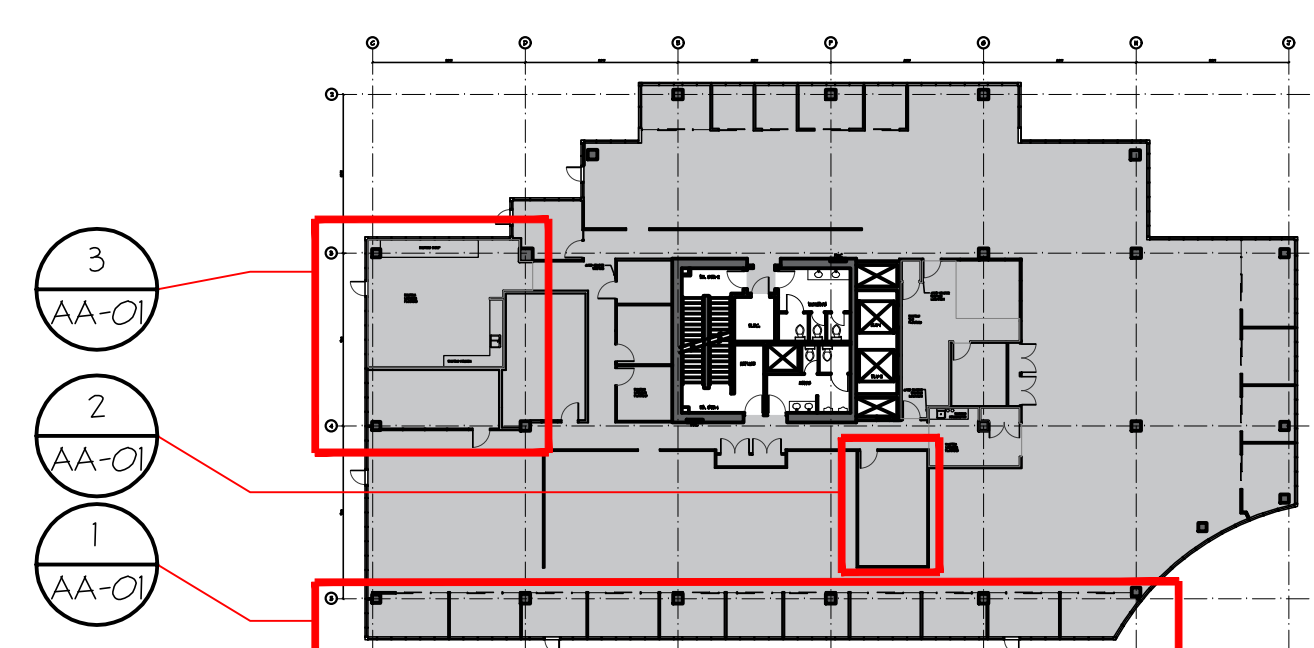
3 OFFICE 2B & ASSISTANT DIRECTOR 05
AA-O1 1:75



2 MEETING ROOM 02
AA-O1 1:75



1 OFFICES SOUTH
AA-O1 1:75



No.	DATE	REVISION
3	01/05/19	ISSUED FOR TENDER
2	18/04/19	ISSUED FOR CLIENTS REVIEW
1	01/03/19	ISSUED FOR CLIENTS REVIEW

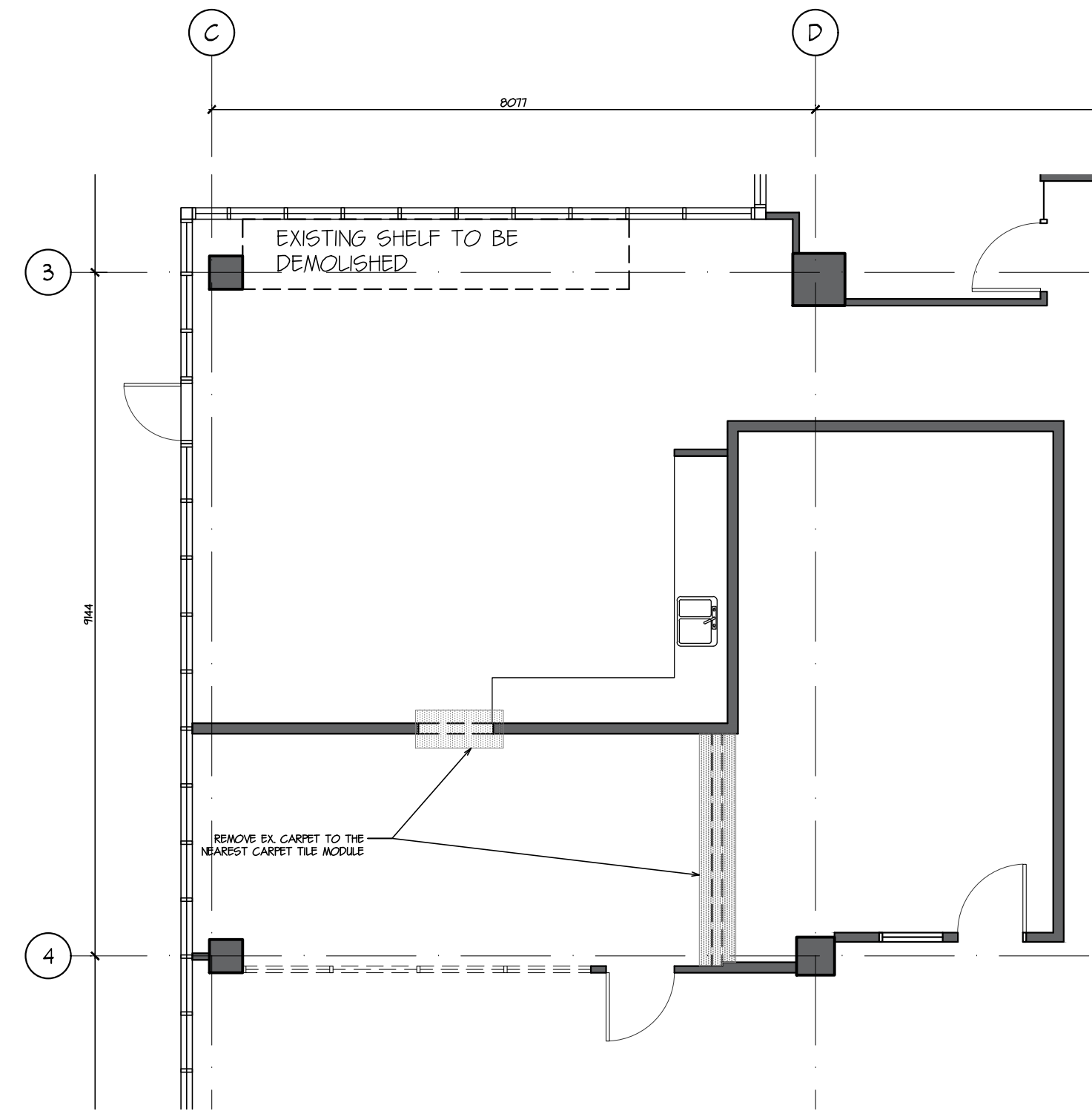
PROJECT TITLE
TENANT FIT-OUT FOR ECHELON CENTRE
575 8TH AVE WEST
VANCOUVER

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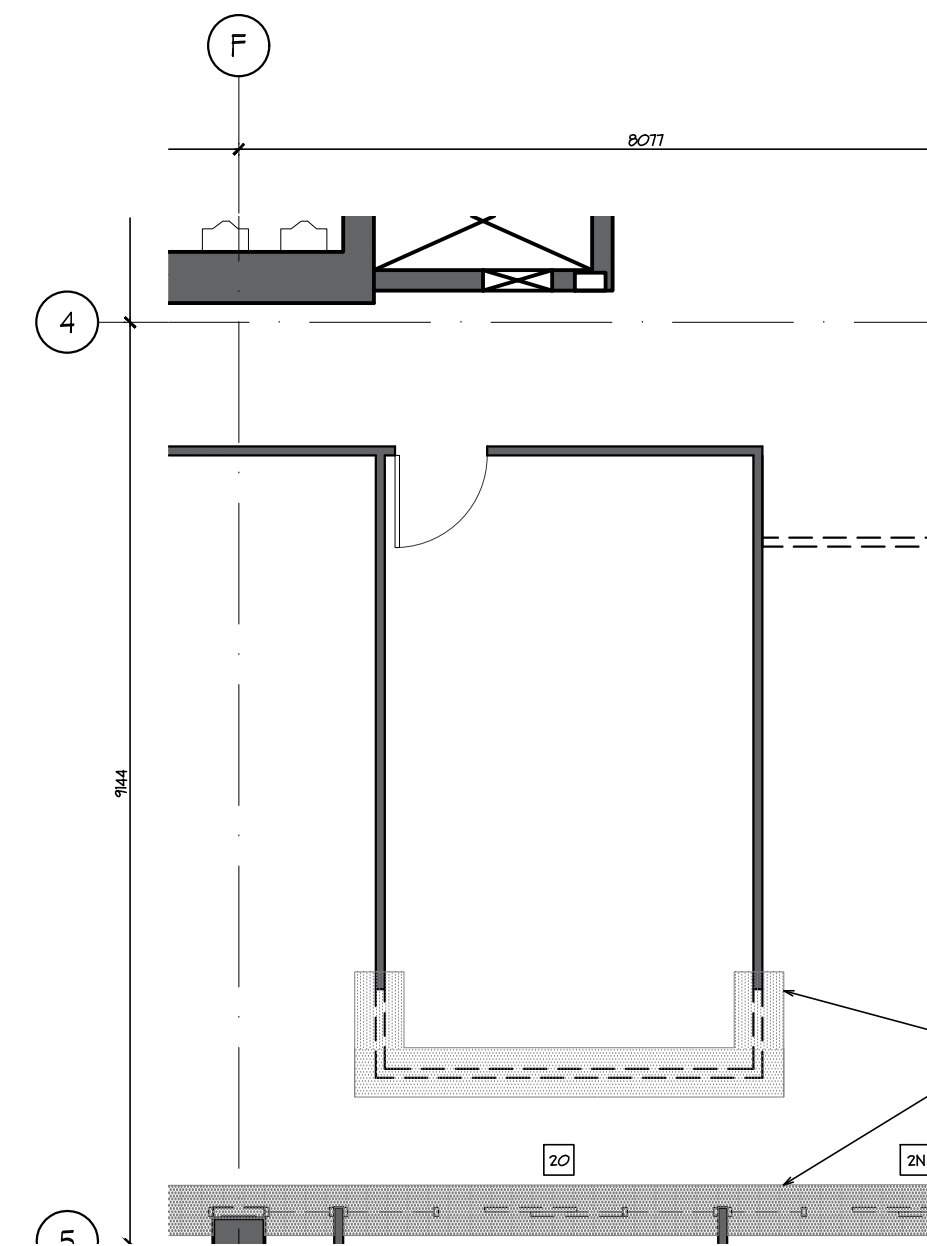
SHEET TITLE
3RD FLOOR PLAN EXISTING (ALTERNATE PRICE)

PROJECT No. 38017
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CHECKED TY
SCALE 1:100 - U.N.O.
DATE 01/05/2019
PRINTED 01/05/2019

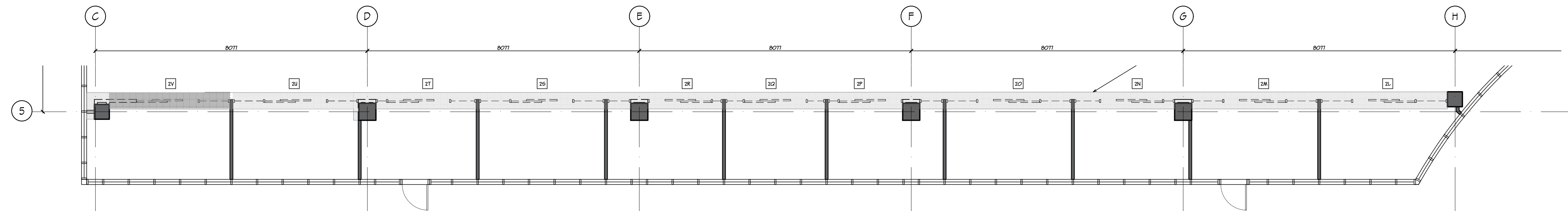
REVISION No. 3
AA-O1



3 OFFICE 2B & ASSISTANT DIRECTOR 05
AA-02 1:75



2 MEETING ROOM 02
AA-02 1:75



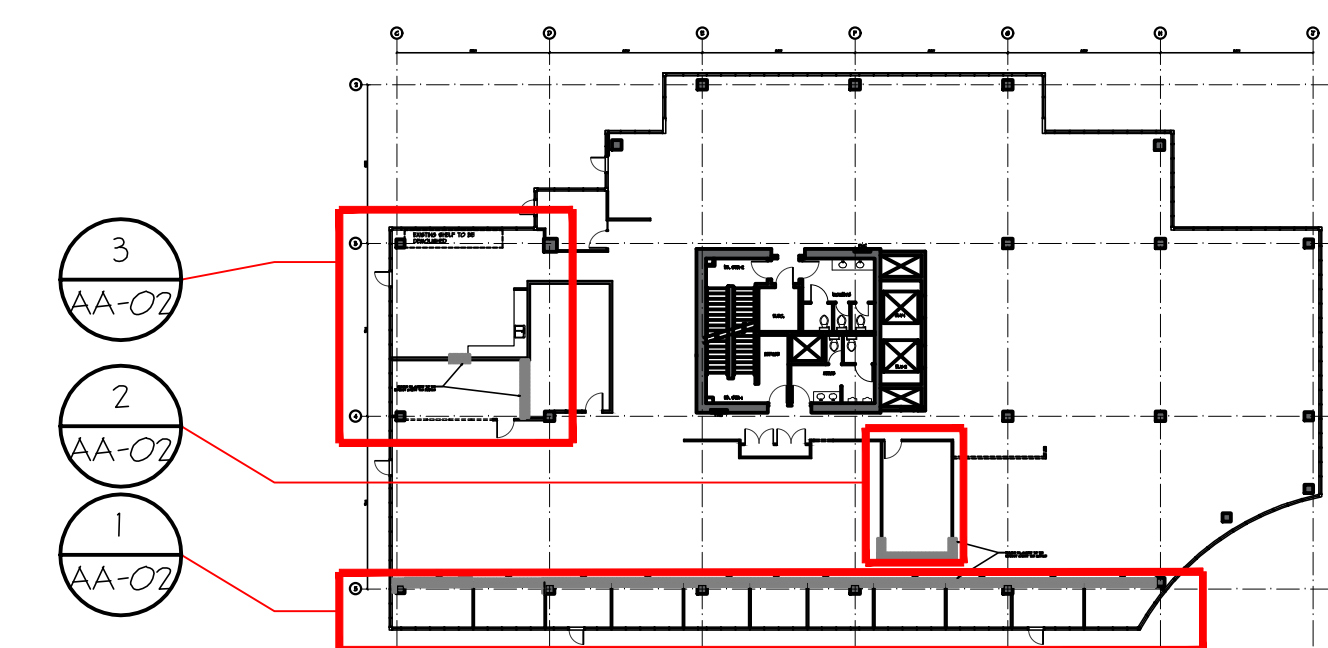
1 OFFICES SOUTH
AA-02 1:75

DEMOLITION NOTES

1. ALL WALLS, DOORS & DOOR FRAMES, AND GLAZING TO REMAIN UNO
2. ALL FLOORING TO REMAIN UNO
3. ALL EXISTING WALL BASE FOR ALL WALLS TO STAY, EXCEPT WHERE CARPET IS REMOVED
4. TEMPORARILY REMOVE ALL CEILING TILES AS NEEDED FOR INSTALLATION/MODIFICATION OF NEW SERVICES IN CEILING SPACE
5. DEMOLISH ALL EXISTING WALL GRAPHICS AND SIGNAGE, MAKE GOOD WALLS FOR RECEIVING NEW FINISH

LEGEND

- | | | | | | |
|--|---|--|--|--|---|
| | REMOVE EXISTING WALL TO BE DEMOLISHED | | EXISTING DOOR TO REMAIN | | EXISTING CARPET TO REUSE AND PATCH IN LOCATION OF DEMOLISHED WALLS AND FLOORING |
| | REMOVE EXISTING GLAZING CAREFULLY FOR REUSE, REMOVE ALL EXISTING GRAPHIC FILM AND CLEAN UP ALL CAULING (REFER TO NEW FLOOR PLAN FOR NEW LOCATION) | | EXISTING WALL TO STAY REMOVE EXISTING GWB AS NEEDED TO ACCESS EXISTING REUSED SERVICES OR INSTALL NEW SERVICES OR BLOCKING AS REQUIRED | | REUSE EXISTING CARPET |
| | REMOVE EXISTING DOOR LEAF AND HARDWARE FOR REUSE (REFER TO NEW FLOOR PLAN FOR NEW LOCATION) | | EXISTING DOOR TO BE DEMOLISHED | | EXISTING LINOLEUM TO BE DEMOLISHED |
| | EXISTING WALL TO BE DEMOLISHED | | REMOVE EXISTING GLAZING CAREFULLY FOR REUSE, REMOVE ALL EXISTING GRAPHIC FILM AND CLEAN UP ALL CAULING (REFER TO | | EXISTING FLOOR TILES TO BE DEMOLISHED |



No.	DATE	REVISION
3	01/05/19	ISSUED FOR TENDER
2	18/04/19	ISSUED FOR CLIENTS REVIEW
1	01/03/19	ISSUED FOR CLIENTS REVIEW

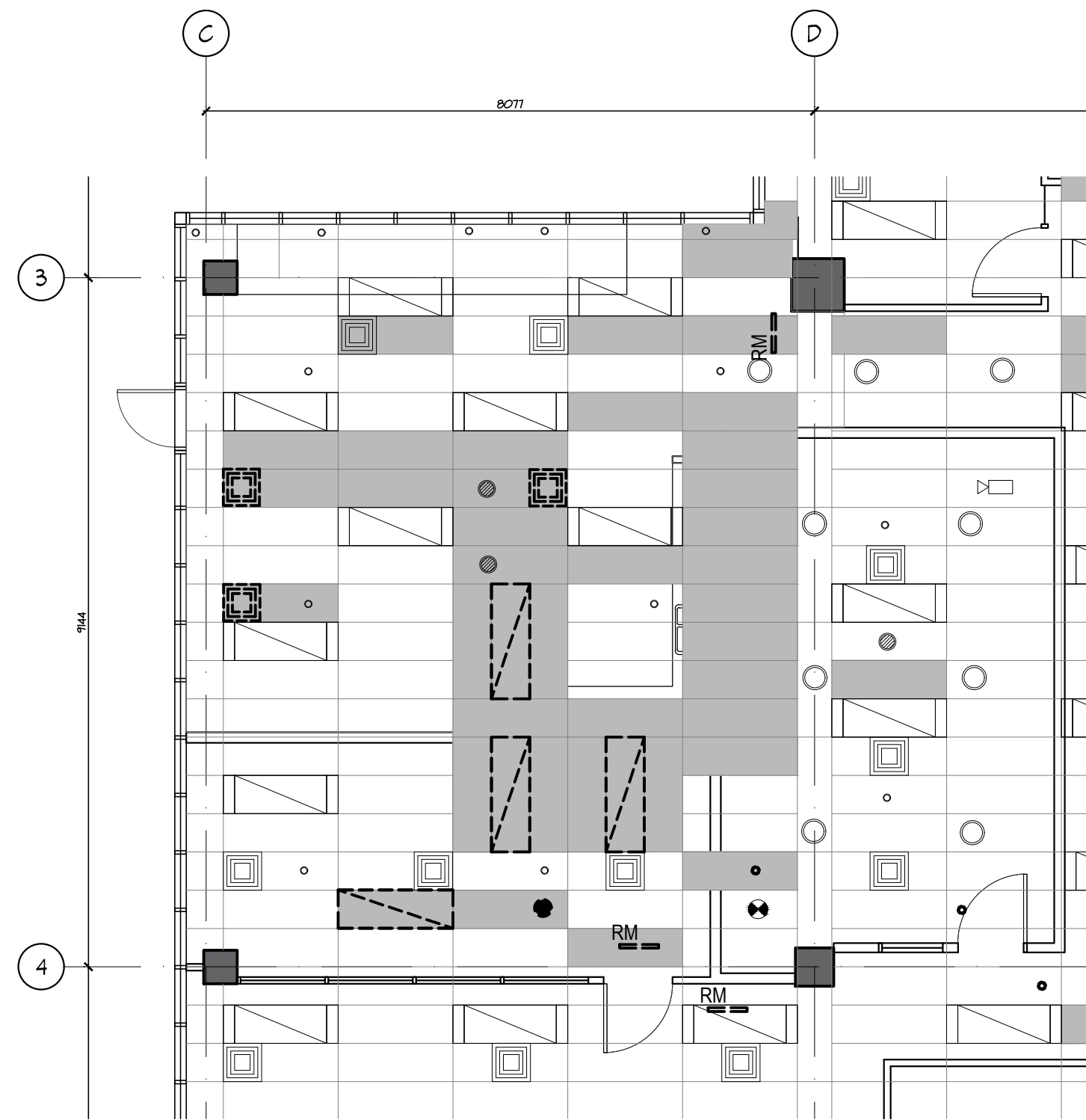
PROJECT TITLE
TENANT FIT-OUT FOR ECHELON CENTRE
575 8TH AVE WEST VANCOUVER

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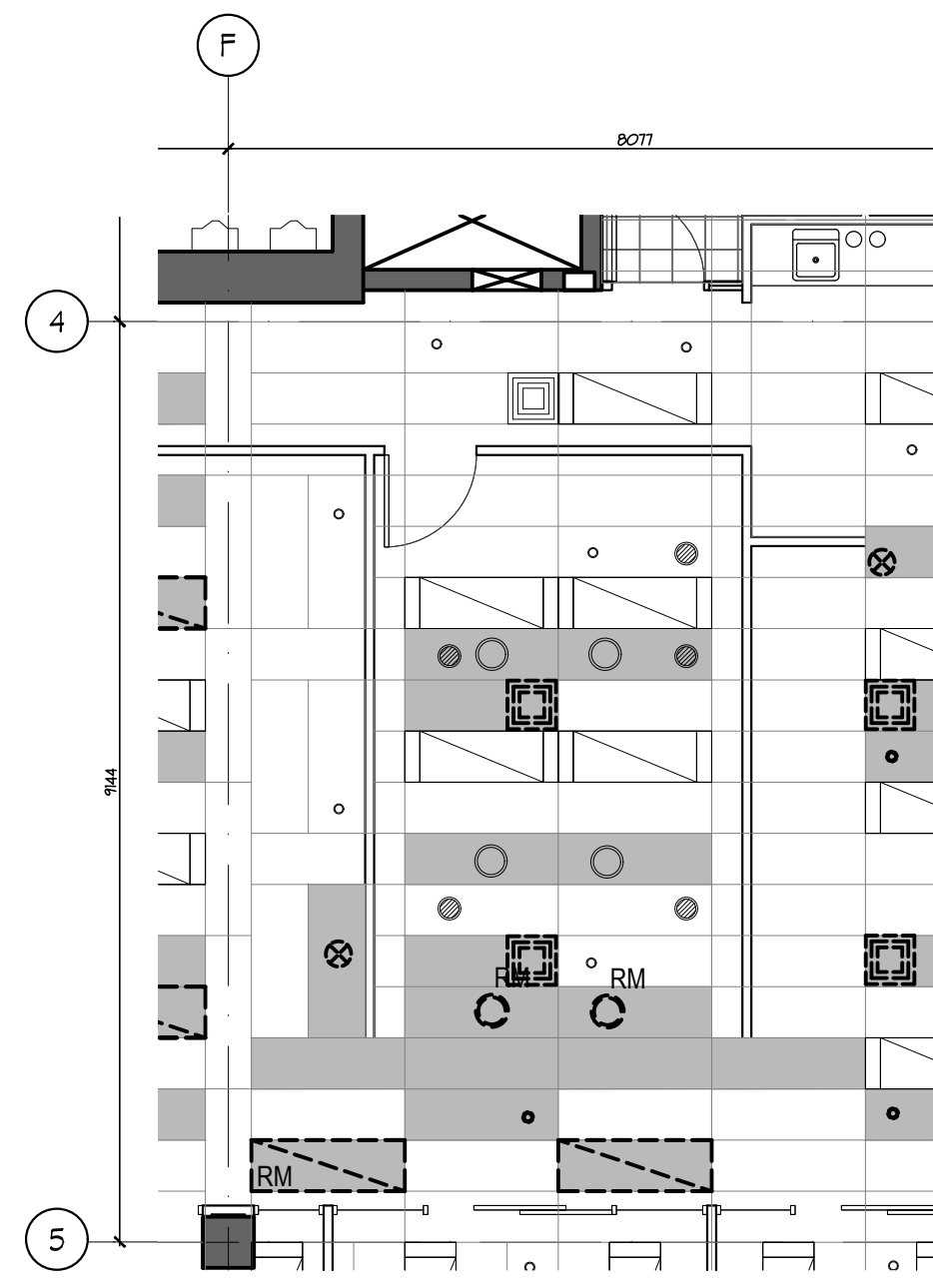
SHEET TITLE
3RD FLOOR PLAN DEMOLITION (ALTERNATE PRICE)

PROJECT No. 38017
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CHECKED TY
SCALE 1:75 - U.N.O.
DATE 01/05/2019
PRINTED 01/05/2019

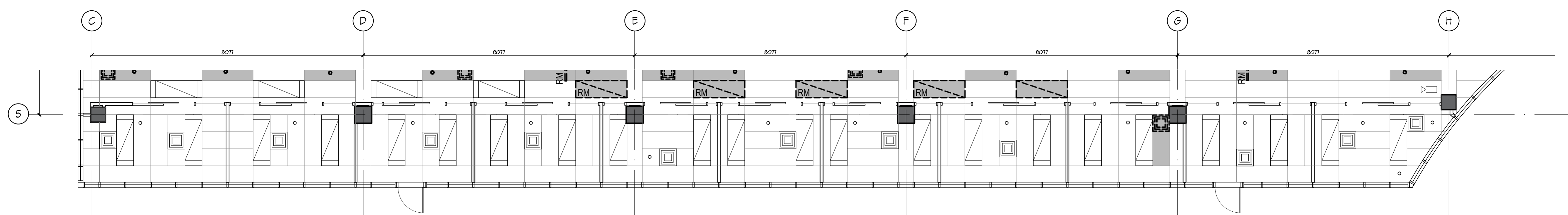
REVISION No. 3
AA-02



3 OFFICE 28 & ASSISTANT DIRECTOR 05
AA-03 1:75



2 MEETING ROOM 02
AA-03 1:75



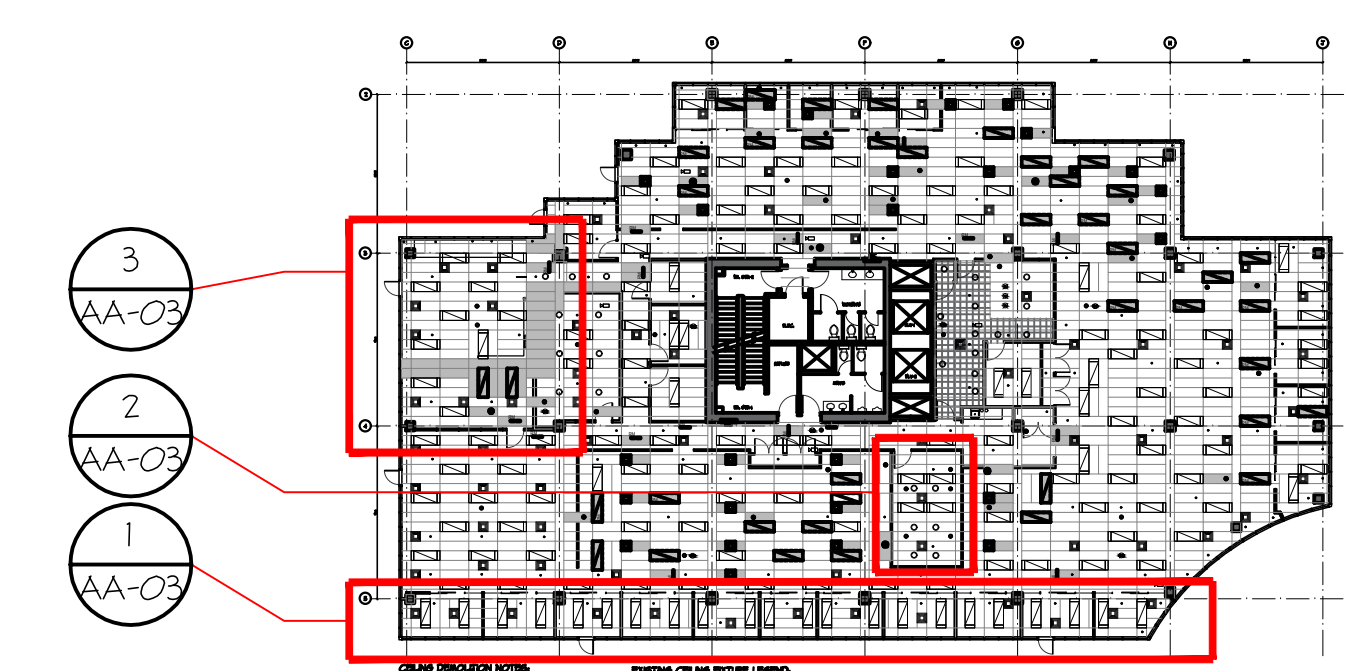
1 OFFICES SOUTH
AA-03 1:75

CEILING DEMOLITION NOTES:

1. REPLACE ALL DAMAGED CEILING TILES RESULTING FROM CONSTRUCTION.
2. REPLACE ALL CEILING TILES AFFECTED BY REMOVAL OR RELOCATION OF EXISTING CEILING FIXTURES.
3. MODIFY EXISTING CEILING TILES TO SUIT NEW OR RELOCATED FIXTURE LOCATION (REFER ELEC. AND MECH. DRAWINGS).
4. ALL NEW OR REPLACEMENT TILES TO MATCH EXISTING.

EXISTING CEILING FIXTURE LEGEND:

- | | | |
|----------------------------------|-----------------------------------|---|
| POT LIGHT REMOVED | SPEAKER | EXIT SIGN TO BE REMOVED |
| POT LIGHT | SPEAKER TO BE RELOCATED | T-BAR LIGHT FIXTURE TO BE REMOVED |
| T-BAR LIGHT FIXTURE | SMOKE DETECTOR | T-BAR LIGHT FIXTURE TO BE RELOCATED |
| EXIT SIGN | SMOKE DETECTOR TO BE RELOCATED | EXISTING CEILING TILE TO BE REMOVED AND REPLACE WITH NEW MATCHING TILES |
| CEILING DIFFUSER | PENDANT FIXTURE | |
| CEILING DIFFUSER TO BE RELOCATED | SPRINKLER | |
| CEILING DIFFUSER TO BE REMOVED | SPRINKLER TO BE REMOVED/RELOCATED | |



No.	DATE	REVISION
3	01/05/19	ISSUED FOR TENDER
2	18/04/19	ISSUED FOR CLIENTS REVIEW
1	01/03/19	ISSUED FOR CLIENTS REVIEW

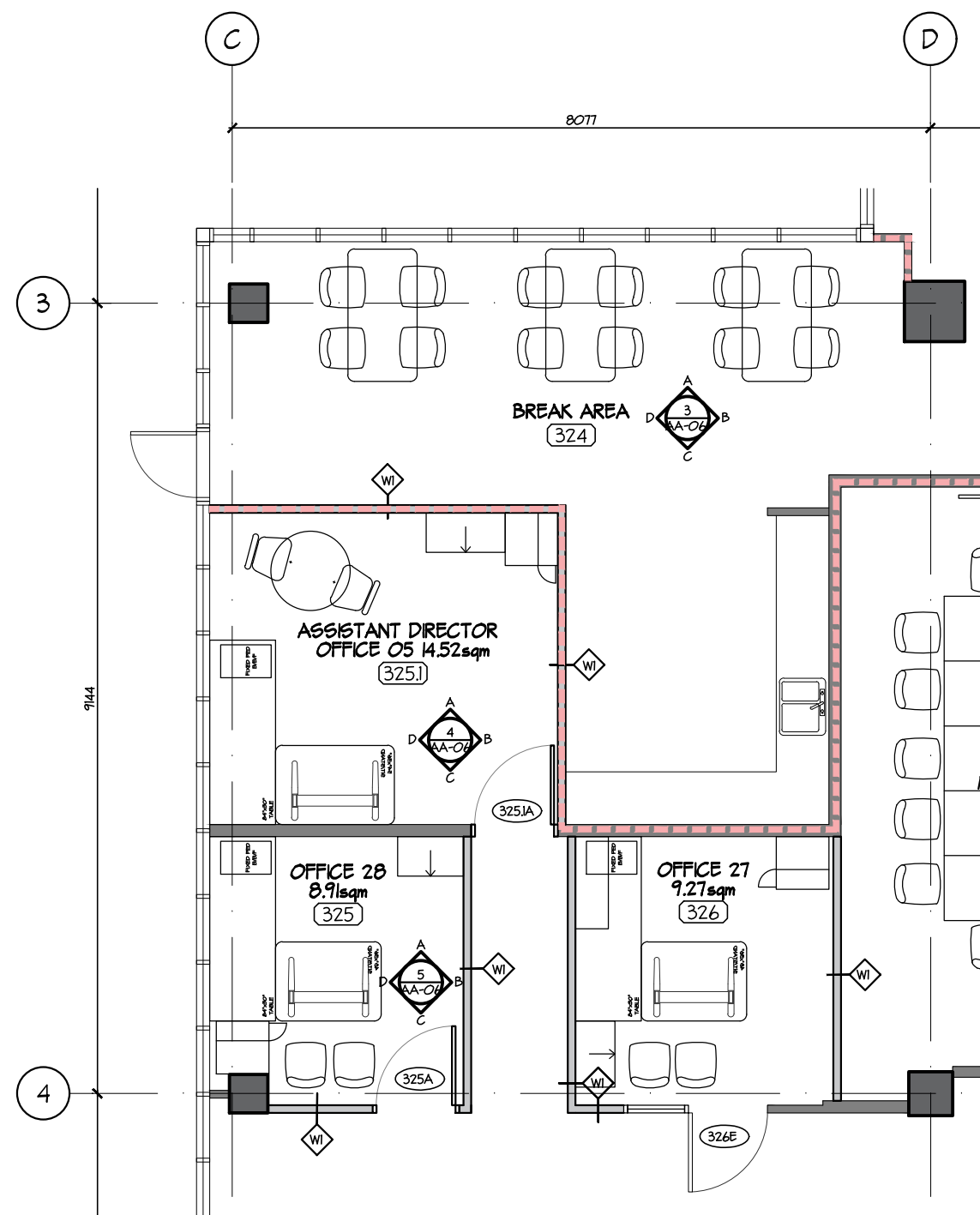
PROJECT TITLE
TENANT FIT-OUT FOR ECHELON CENTRE
575 8TH AVE WEST VANCOUVER

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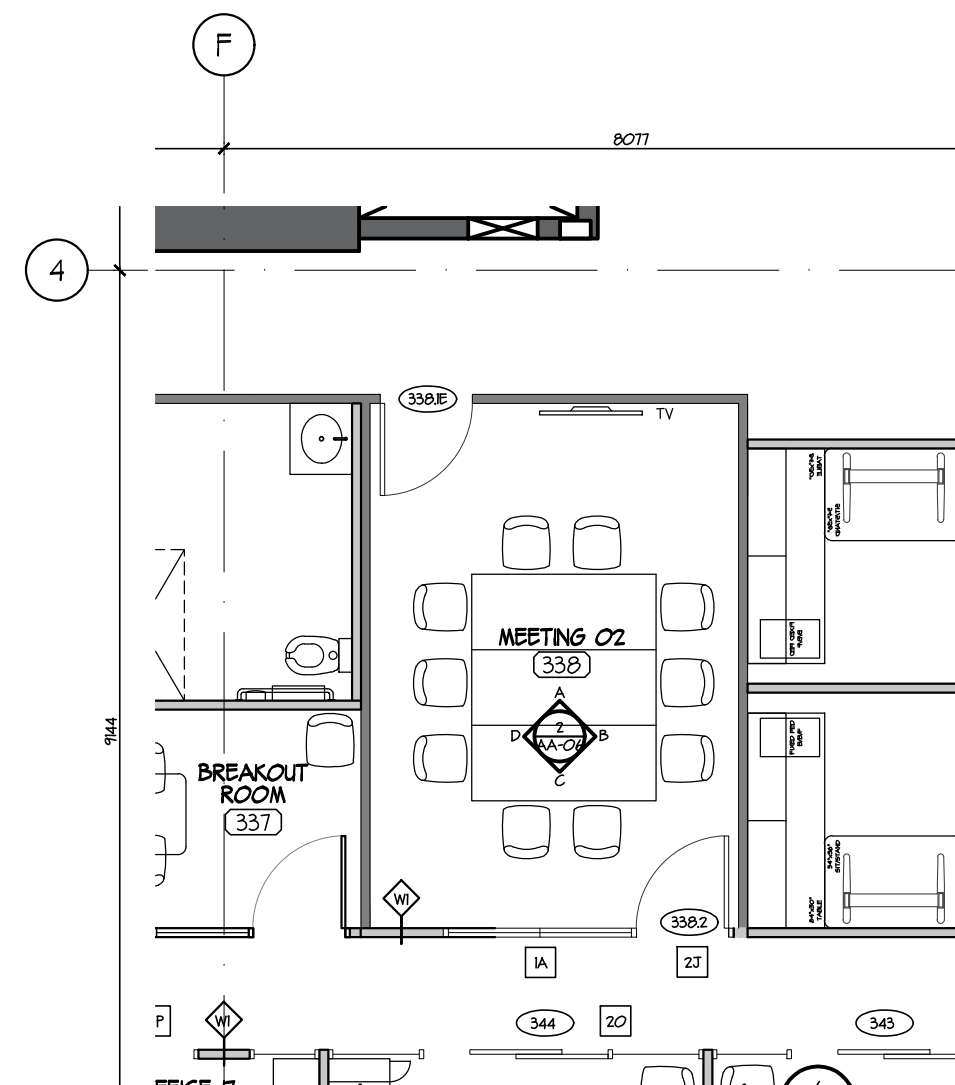
SHEET TITLE
3RD FLOOR REFLECTED CEILING EXISTING (ALTERNATE PRICE)

PROJECT No. 38017
DRAWN PM
CHECKED TY
SCALE 1:75 - U.N.O.
DATE 01/05/2019
PRINTED 01/05/2019

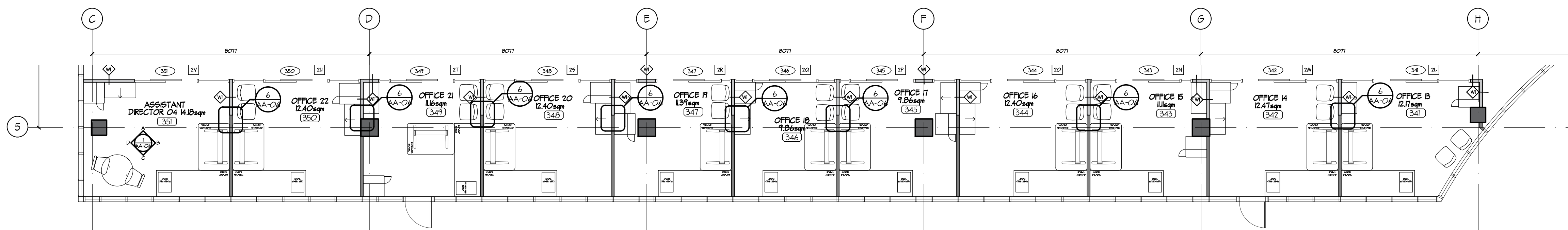
REVISION No. 3
AA-03



3 OFFICE 28 & ASSISTANT DIRECTOR 05
AA-04 1:75



2 MEETING ROOM 02
AA-04 1:75

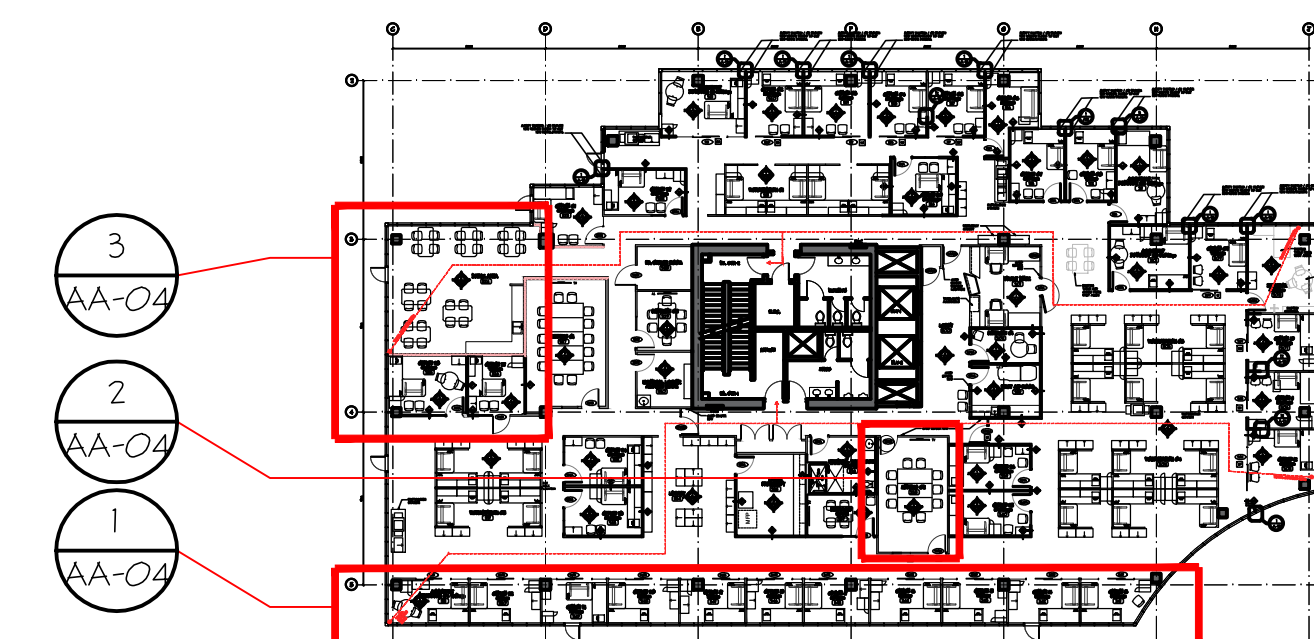


1 OFFICES SOUTH
AA-04 1:75

LEGEND:

- EXISTING WALL TO STAY
- EXISTING WALL UPGRADE TO SOUND PROOFING WALL (REFER DETAIL 7/A12)
- NEW STL STUD GWB WALL TO U/S OF CEILING

- EXISTING DOOR TO REMAIN
- NEW DOOR
- REUSE EXISTING DOOR LEAF, DOOR FRAME, AND HARDWARE. WALL THICKNESS TO MATCH EXISTING DOOR FRAMES. (REFER DEMOLITION PLAN FOR EX DOOR LOCATION THAT INDICATES THE SAME LEGEND)



No.	DATE	REVISION
3	01/05/19	ISSUED FOR TENDER
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1	01/03/19	ISSUED FOR CLIENTS REVIEW

PROJECT TITLE
TENANT FIT-OUT FOR ECHELON CENTRE
3F-575 8TH AVE WEST
VANCOUVER

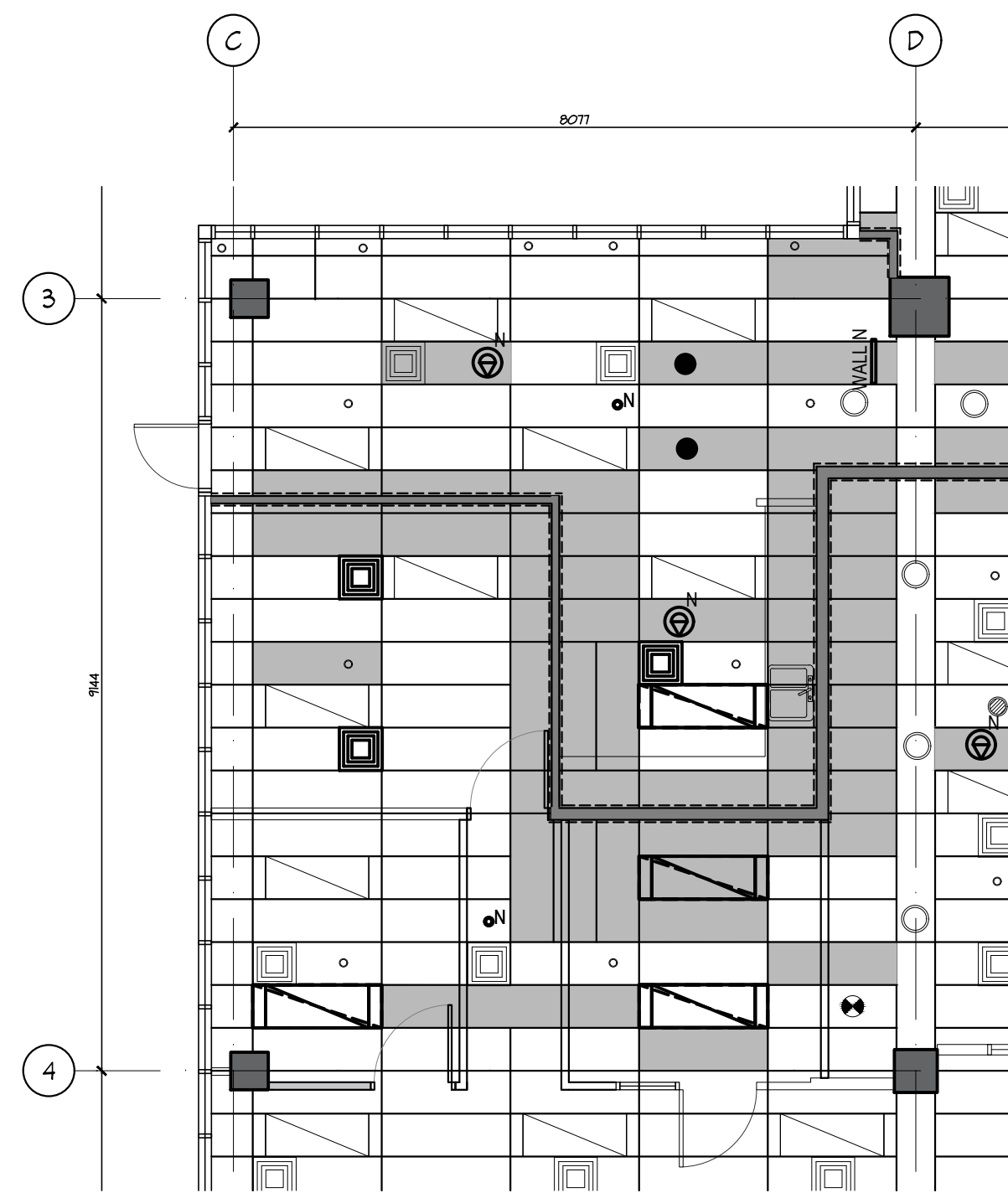
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SHEET TITLE
3RD FLOOR FLOOR PLAN NEW (ALTERNATE PRICE)

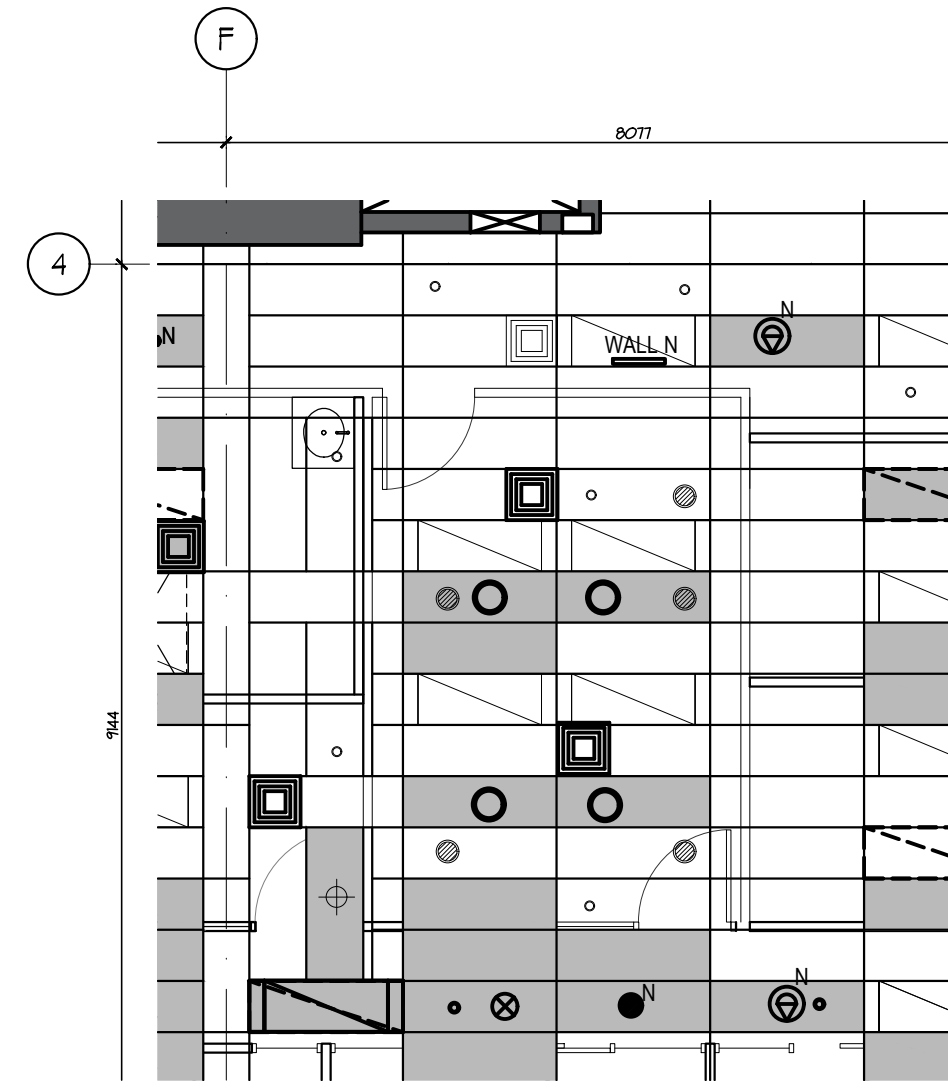
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SCALE 1:75 - U.N.O.
DATE 01/05/2019
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REVISION No. 3

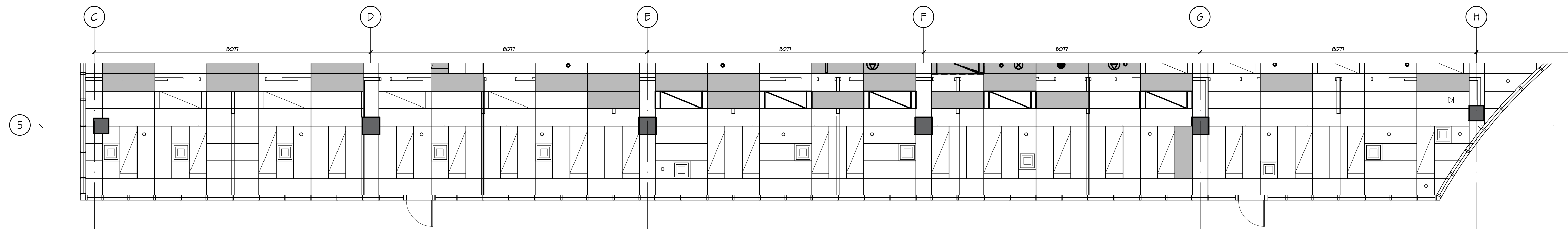
AA-04



3 OFFICE 28 & ASSISTANT DIRECTOR 05
AA-05 1:75



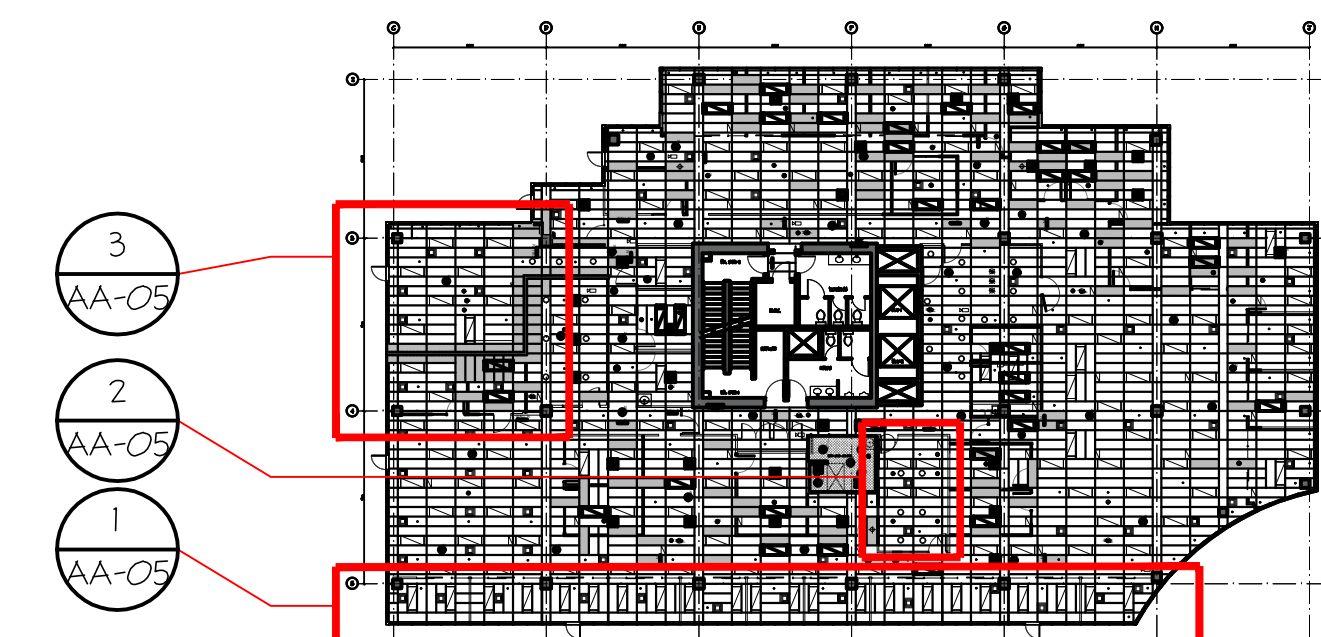
2 MEETING ROOM 02
AA-05 1:75



1 OFFICES SOUTH
AA-05 1:75

CEILING FIXTURE LEGEND:

- | | | | | | | | |
|---|--|----------------|---|-----|-------------------------------------|----------------|---------------------|
| ○ | EXISTING SPRINKLER TO STAY | ■ ^N | NEW CEILING DIFFUSER | ■ | NEW RETURN AIR VENT | WALL N | EXIT SIGN WALL NEW |
| ○ | EXISTING T-BAR LIGHT FIXTURE TO STAY | ■ | EXISTING RELOCATED CEILING DIFFUSER | —RL | EXISTING RELOCATED EXIT SIGN | —N | EXIT SIGN NEW |
| ▧ | EXISTING T-BAR LIGHT FIXTURE TO STAY | ○ ^N | POT LIGHT NEW | ■ | NEW CEILING TILES TO MATCH EXISTING | ● ^N | NEW SPEAKER |
| ▧ | EXISTING RELOCATED T-BAR LIGHT FIXTURE | ○ | EXISTING RELOCATED POT LIGHT | ▨ | NEW 16THK GWB CEILING | ● | RELOCATED SPEAKER |
| ○ | EXISTING SPEAKER TO STAY | ● ^N | NEW SPRINKLER HEAD | ⊙ | SMOKE DETECTOR | ⊙ ^N | NEW LIGHT SENSOR |
| ■ | EXISTING CEILING DIFFUSER TO STAY | ● | EXISTING RELOCATED SPRINKLER | ⊙ | SMOKE DETECTOR RELOCATED | ▭ | NEW RETURN AIR DUCT |
| ■ | NEW EXHAUST VENT | — | PROVIDE NEW T-BAR CEILING ANGLE TRIM ALONG NEW FULL HEIGHT WALL ON BOTH SIDES | | | | |



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1	01/03/19	ISSUED FOR CLIENTS REVIEW
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PROJECT TITLE
TENANT FIT-OUT FOR ECHELON CENTRE
575 8TH AVE WEST
VANCOUVER

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SHEET TITLE
3RD FLOOR REFLECTED CEILING NEW (ALTERNATE PRICE)

PROJECT No. 38017
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DATE 01/05/2019
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REVISION No. 3
AA-05

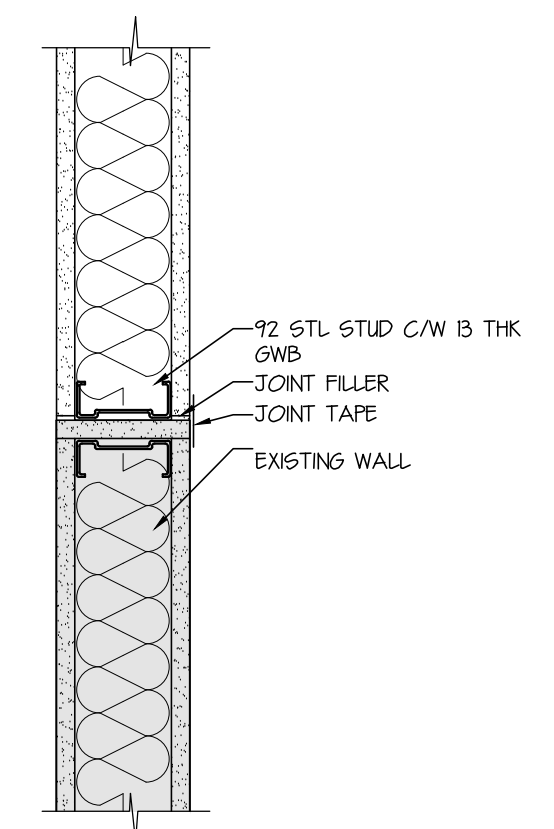
110-1281 WEST GEORGIA, VANCOUVER, B.C. V6E 3J5
TELEPHONE (604) 669-9460 FAX. (604) 683-7684

CHERNOFF THOMPSON ARCHITECTS

KEY ABBREVIATIONS:

- AP PAINTED EXISTING ACCESS PANEL
- DO DATA OUTLET
- DW DISHWASHER (SUPPLIED BY OWNER & INSTALLED BY CONTRACTOR)
- EB EPOXY INTEGRAL COVERED BASE
- EXS EXIT SIGN (REFER ELEC)
- EW EPOXY WALL COATING
- FE FIRE EXTINGUISHER
- FR FRIDGE (SUPPLIED & INSTALLED BY OWNER)
- FSS FOLDING SHOWER SEAT
- GB GRAB BAR (TYPE REFER SPEC)
- GF DIGITAL PRINTED SELF-ADHESIVE GRAPHIC FILM ON PAINTED WALL
- GL GLAZING
- TGL 10THK CLEAR TEMPERED GLASS
- OWB GYPSUM WALL BOARD
- HK COAT HOOK
- KEH KITCHEN EXHAUST HOOD (SUPPLIED AND INSTALLED BY CONTRACTOR)
- KP KICKPLATE
- LS LIGHT SWITCH (REFER ELEC)
- MR MIRROR
- MW MICROWAVE (SUPPLIED & INSTALLED BY OWNER)
- N NEW
- ND SANITARY NAPKIN DISPOSAL
- PL PLASTIC LAMINATE (REFER TO SPEC)
- PR POWER RECEPTACLE (REFER ELEC)
- FR-C PRINTER/COPPER (SUPPLIED & INSTALLED BY OWNER)
- PT- PAINTED COLOR (REFER FINISHES PLAN)
- PTD PAPER TOWEL DISPENSER AND DISPOSAL
- RB RUBBER BASE
- SC SHOWER CURTAIN AND SHOWER ROD
- SD SOAP DISPENSER
- SS SOLID SURFACING (REFER TO SPEC)
- SSL STAINLESS STEEL
- ST STROBE (REFER ELEC)
- STV STOVE (SUPPLIED BY OWNER & INSTALLED BY CONTRACTOR)
- THS THERMOSTAT / TEMPERATURE SENSOR (REFER MECH)
- TTD TOILET TISSUE DISPENSER
- TV TV MONITOR (SUPPLIED BY OWNER & INSTALLED BY CONTRACTOR)
- WS WRITABLE / MAGNETIC SURFACE

NOTE: REMOVE EX. RB FOR ALL WALL BASE INDICATED AS NEW RUBBER BASE RB (N)



6 TYPICAL INTERIOR WALL @ MULLION DETAIL OFFICE 341 -351
AA-06 1:5

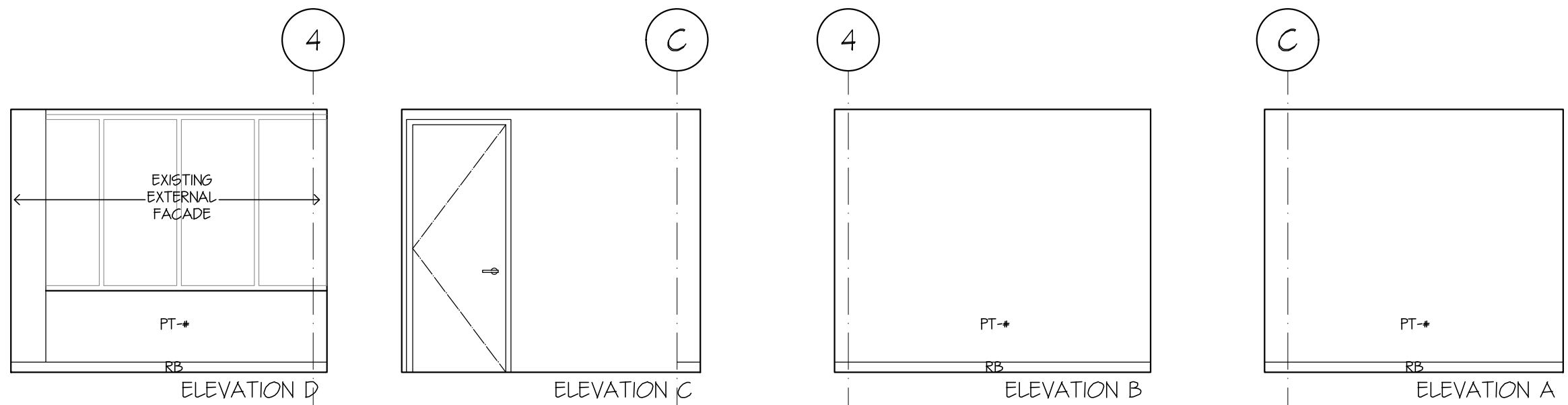
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No.	DATE	REVISION
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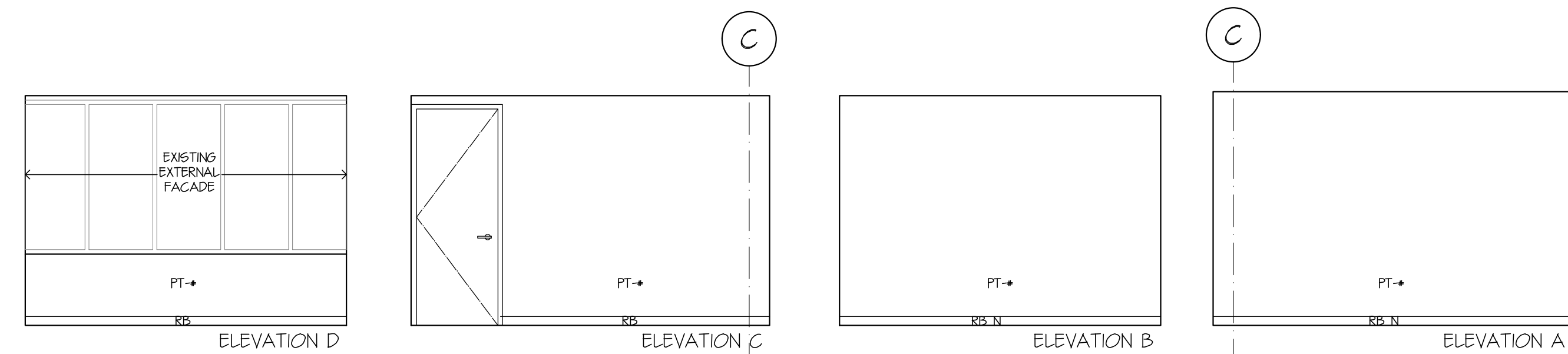
PROJECT TITLE
TENANT FIT-OUT FOR ECHELON CENTRE
575 8TH AVE WEST VANCOUVER

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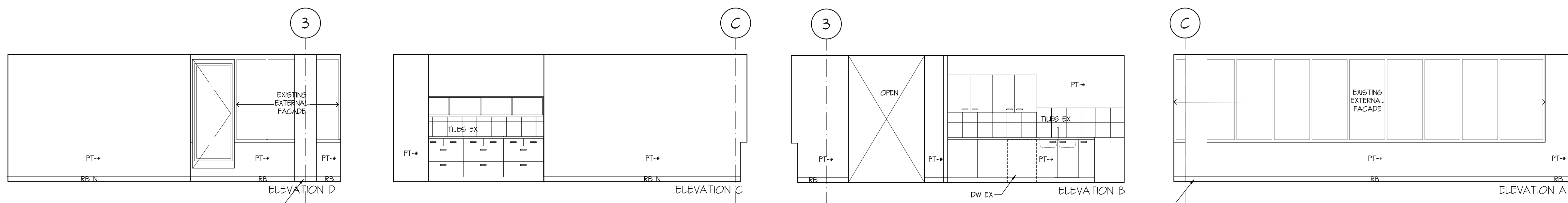
CHERNOFF THOMPSON ARCHITECTS



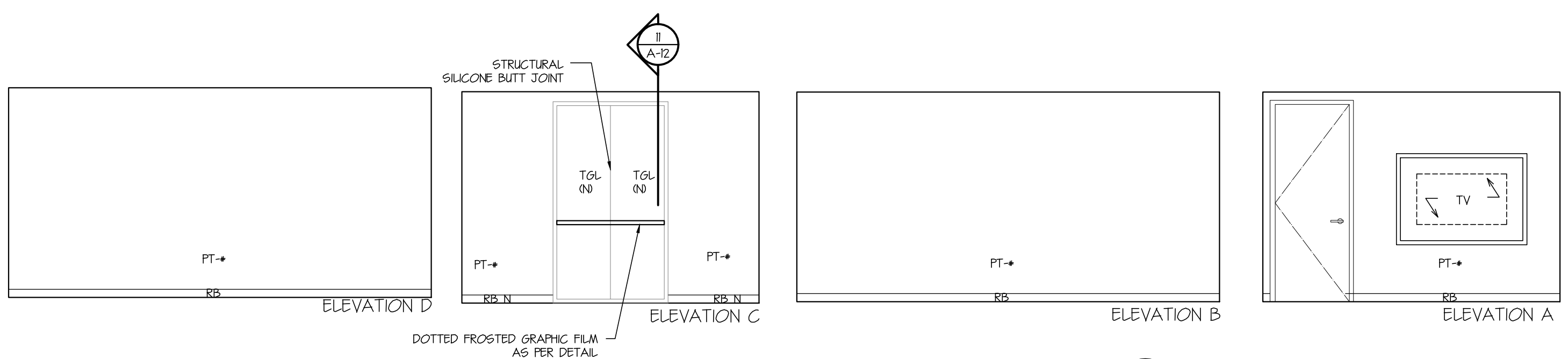
5 INTERIOR ELEVATION - OFFICE 28
AA-06 1:50



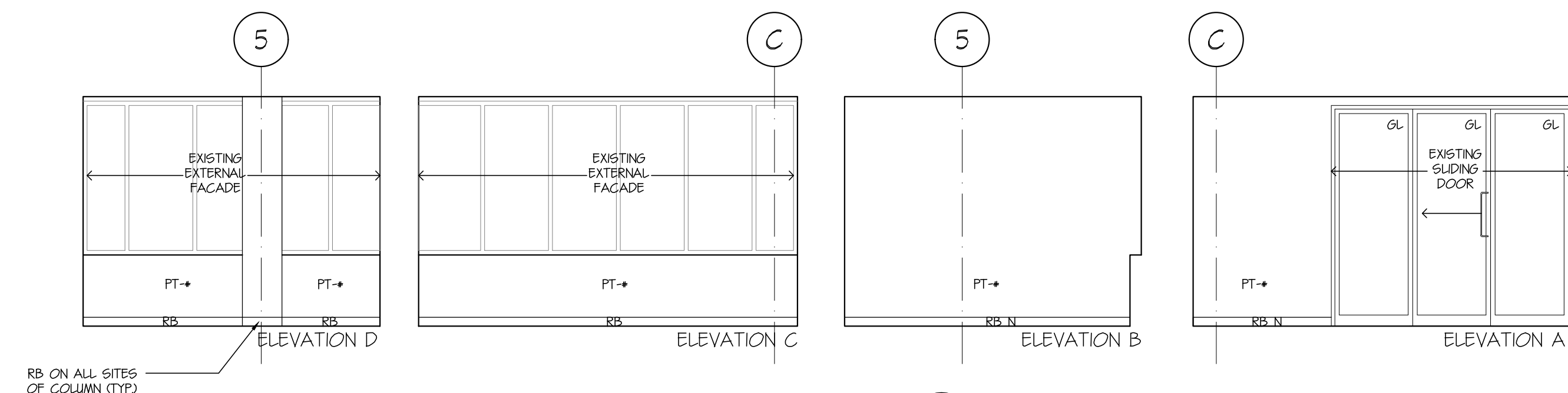
4 INTERIOR ELEVATION - ASSIST DIRECTOR OFFICE 05
AA-06 1:50



3 INTERIOR ELEVATION - BREAK ROOM
AA-06 1:50



2 INTERIOR ELEVATION - MEETING 2
AA-06 1:50



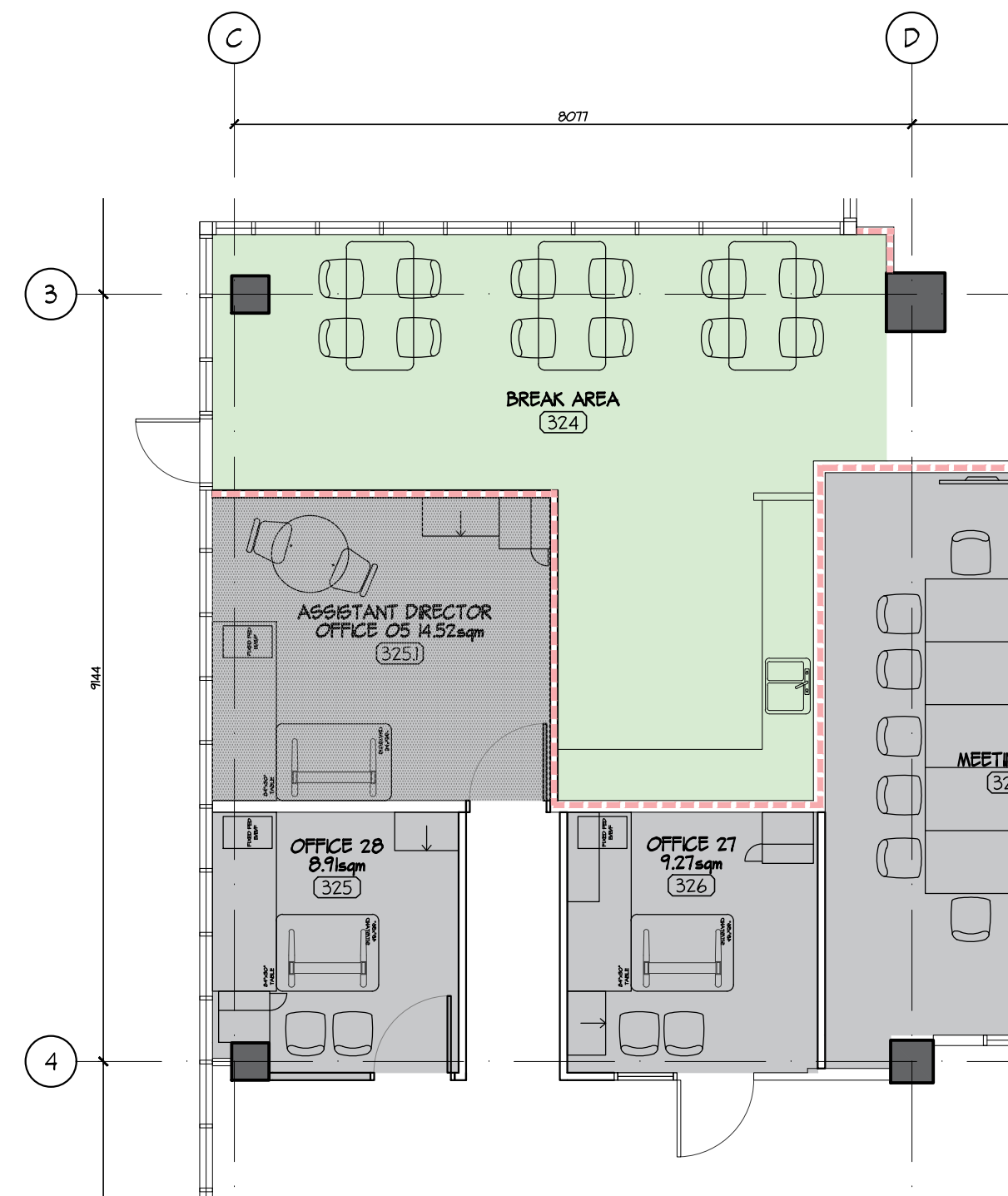
1 INTERIOR ELEVATION - TYPICAL SOUTH OFFICE
AA-06 1:50

SHEET TITLE
3RD FLOOR INTERIOR ELEVATIONS (ALTERNATE PRICE)

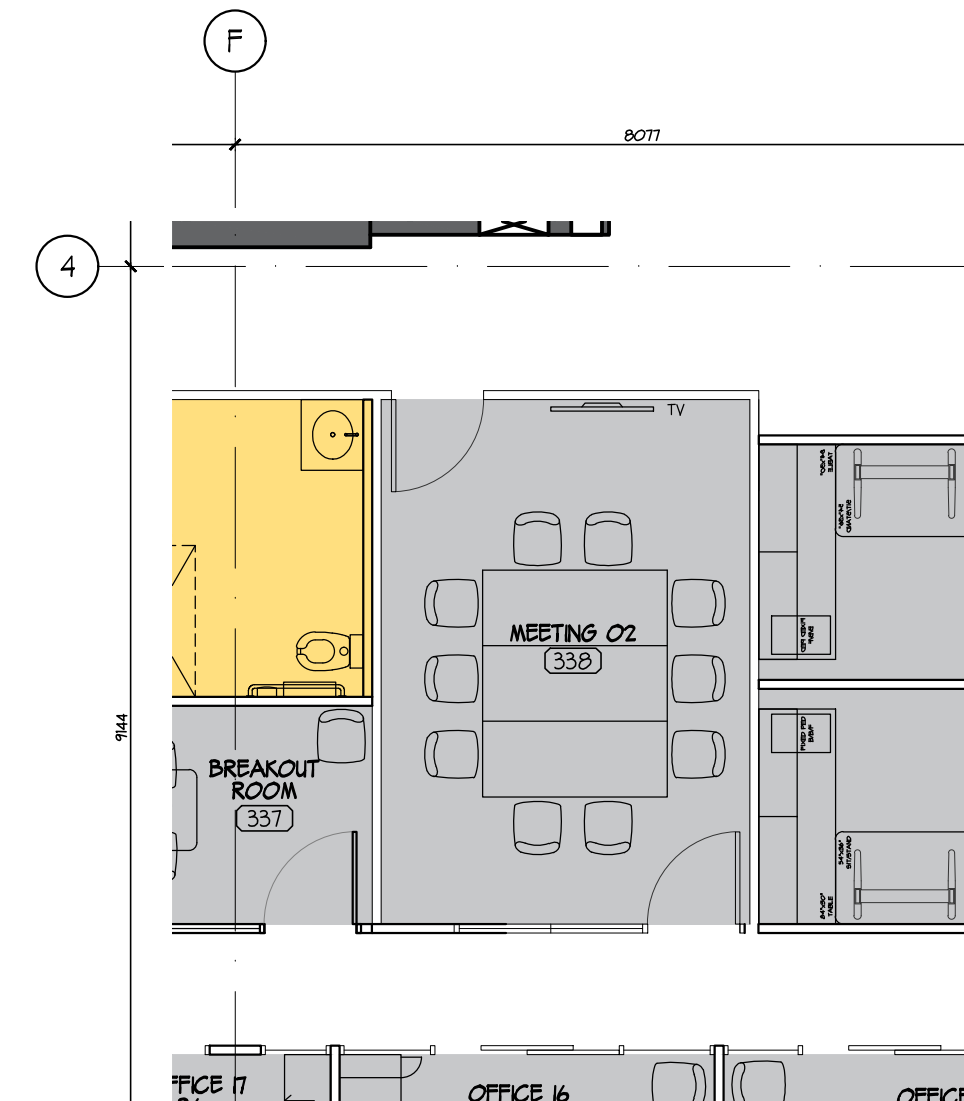
PROJECT No. 38017
DRAWN PM
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SCALE 1:75 - U.N.O.
DATE 01/05/2019
PRINTED 01/05/2019

REVISION No. 3

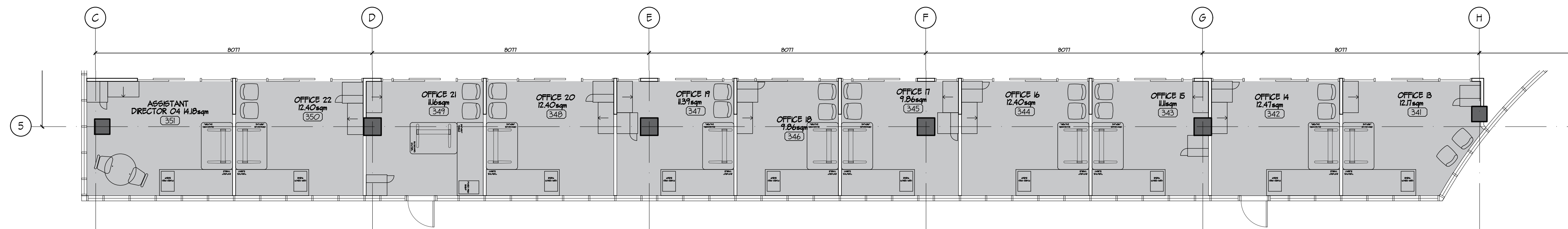
AA-06



3 OFFICE 28 & ASSISTANT DIRECTOR 05
AA-07 1:75



2 MEETING ROOM 02
AA-07 1:75



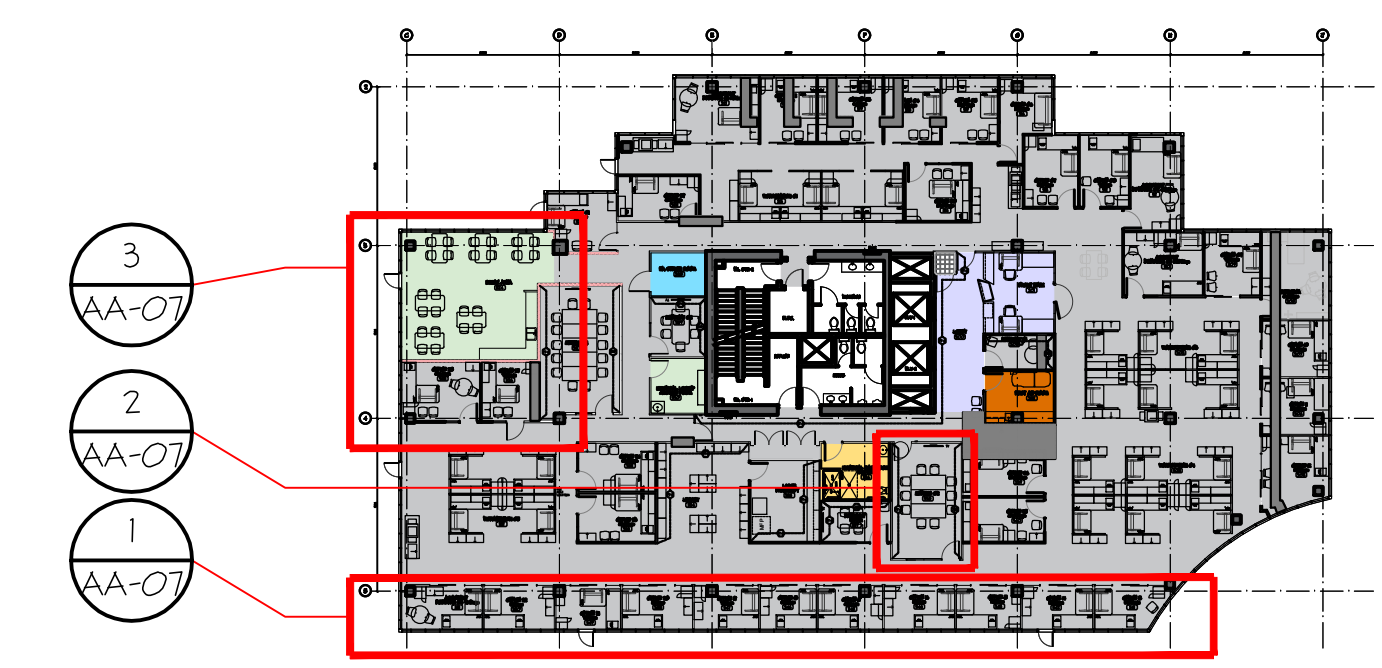
1 OFFICES SOUTH
AA-07 1:75

WALL PAINT LEGEND

- PT-X PAINT COLOR REFER SPECIFICATION
 - GP DIGITAL COLOR PRINT GRAPHIC SELF ADHESIVE FILM
 - WS WRITABLE/MAGNETIC SURFACE
- NOTE: ALL WALL PAINT TO BE PT-1 UNLESS NOTED OTHERWISE

FLOOR FINISHES LEGEND

- NEW EPOXY FLOORING (EF)
- NEW LINOLEUM SHEET FLOORING (LN)
- NEW CARPET TILES (CPT)
- EXISTING SHEET FLOORING
- EXISTING CARPET
- EXISTING FLOOR TILES
- EXISTING LINOLEUM SHEET FLOORING (LN)
- REUSE EXISTING CARPET



1 01/05/19 ISSUED FOR TENDER		
No.	DATE	REVISION
	(dd/mm/yy)	

PROJECT TITLE
TENANT FIT-OUT FOR ECHELON CENTRE
575 8TH AVE WEST
VANCOUVER

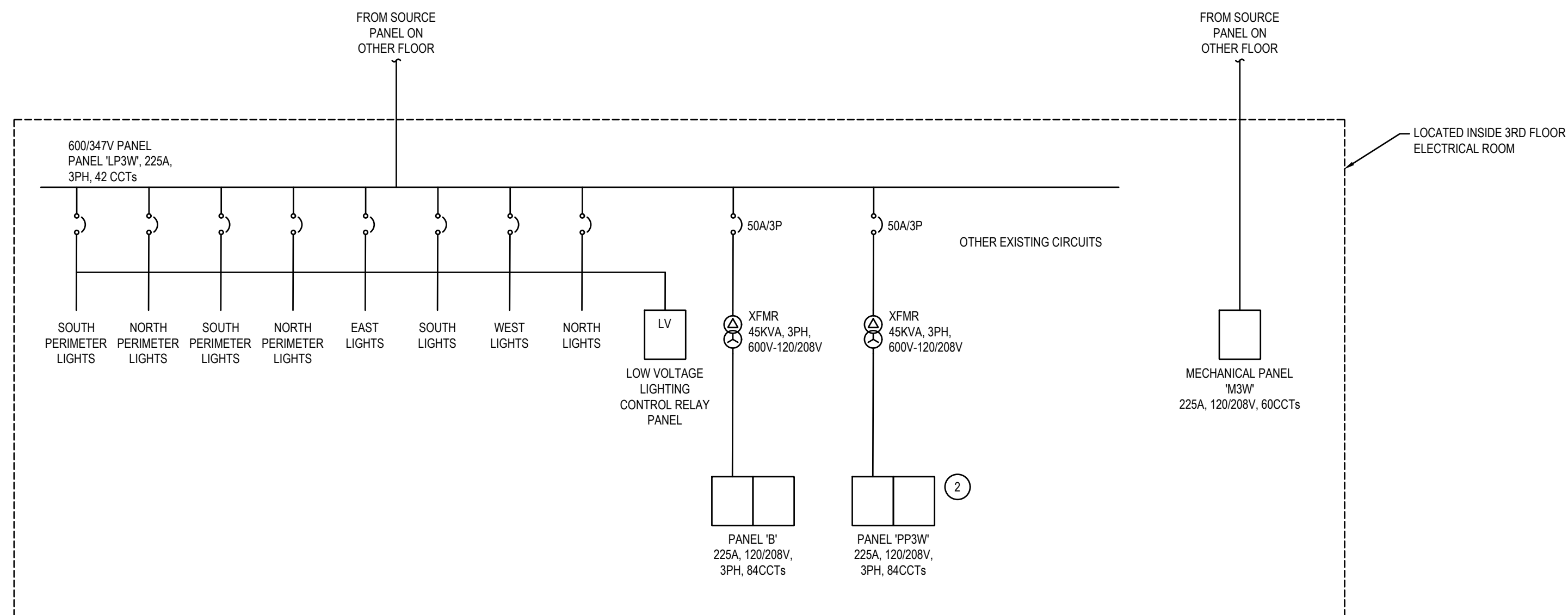
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SHEET TITLE
3RD FLOOR FINISHES PLAN (ALTERNATE PRICE)

PROJECT No. 38017
DRAWN PM
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DATE 01/05/2019
PRINTED 01/05/2019

REVISION No. 1

AA-07



SINGLE LINE NOTES	
1	ALL COMPONENTS SHOWN ON THIS SINGLE LINE DIAGRAM ARE EXISTING AND SHALL BE RETAINED OR MODIFIED AS NOTED.
2	REFER TO NOTES ON PANEL SCHEDULES.

1 EXISTING PARTIAL SINGLE LINE DIAGRAM
E602

LUMINAIRE SCHEDULE						
TAG	DESCRIPTION	SPECIFICATIONS		MOUNTING DETAIL	NOTES	
L1	4" LED down light (10W)	MAKE	Senso Latona 1		RECESSED IN CEILING	PROVIDE 347V RATED LUMINAIRE AND WIRE FROM 347V CIRCUIT(S)
		CODE	510-FL-83V-640-35-13-DL-01-920-LCS-347V			
L2	4" LED down light - WET RATED (7W)	MAKE	Senso Latona 1 - WET RATED		RECESSED IN CEILING	PROVIDE 347V RATED LUMINAIRE AND WIRE FROM 347V CIRCUIT(S)
		CODE	510-FL-83V-640-35-10-DL-01-920-LCS-347V			

4 LUMINAIRE SCHEDULE
E602

ECHELON OFFICE 208/120V LOADS												
Area Name	Approx. Floor Area (sqft)	Occupancy Type	CEC Table 14		Basic Load (Watts)	Connected Lighting Load (Watts)	Basic Load minus lighting loads (Watts)	Connected Mechanical loads (w/ Demand factor 80%)	Equipment Power Allowance (w/ Demand factor 80%)	Total Load (Watts)	Line Current (Amps @ 208V, 3ph)	Existing transformers serving 208V loads
			Power Density (Watts/sq meter)	Power Density (Watts/sqft)								
OFFICE (3RD LEVEL)	9,992	Office	50	4.65	46,414	13,120	33,294	277	8,000	41,572	115	
CORRIDORS (3RD LEVEL)	2,243	CORRIDORS	10	0.93	2,084					2,084	6	
Sub Total	12,235				48,498			277	8,000	43,656	121	Two x 45kVA

Notes:
 1. The general lighting for this project is existing and is served from 600/347V panel; therefore the lighting load is subtracted from the Basic Load.
 2. The existing heat pumps for this floor are served from a separate electrical panel and transformer.

2 TENANT ELECTRICAL LOAD CALCULATION
E602

MECHANICAL EQUIPMENT										PANEL		CIRCUIT		UNIT		DISCONNECT		NOTES				
TAG	QTY	DESCRIPTION	LOCATION / AREA SERVED	TYPE	LOAD	UNIT	KVA INPUT	VOLT	PH	NAME	CCT. NO.	BRKR AMPS	BRKR POLES	NO. OF WIRES	WIRE SIZE (AWG, MIN.)	CO. SIZE (mmØ, MIN.)	Supplied		Installed	Connected		
NEW FANS																						
EF-1	1	EXHAUST AIR FAN	BREAK AREA 324	M	82	W	0.082	120	1	SEE PANEL SCHEDULE	SEE PANEL SCHEDULE	15	1	2	#12	3/4	M	M	E	E	E	1
EF-2	1	EXHAUST AIR FAN	PRINT / COPY 508	M	54	W	0.054	120	1			15	1	2	#12	3/4	M	M	E	E	E	1
EF-3	1	EXHAUST AIR FAN	MEETING 02 (338)	M	82	W	0.082	120	1			15	1	2	#12	3/4	M	M	E	E	E	1
EF-4	1	EXHAUST AIR FAN	UNIVERSAL WASHROOM 336	M	100	W	0.100	120	1			15	1	2	#12	3/4	M	M	E	E	E	1
NEW HOT WATER TANKS																						
DHWT-1	1	DOMESTIC HOT WATER	UNIVERSAL WASHROOM 336	H	3000	W	0.014	208	1			20	2	2	#12	3/4	M	M	E	E	E	
DHWT-2	1	DOMESTIC HOT WATER	UNIVERSAL WASHROOM 336	H	3000	W	0.014	208	1			20	2	2	#12	3/4	M	M	E	E	E	

NOTES:
 GENERAL: PRIOR TO ROUGH-IN, ELECTRICAL CONTRACTOR TO COORDINATE AT SITE WITH MECHANICAL CONTRACTOR TO DETERMINE EXACT REQUIREMENTS AND LOCATIONS OF CONTROLS AND EQUIPMENT.
 1 WALL MOUNTED SPEED CONTROL SWITCH TO BE PROVIDED BY MECHANICAL AND SHALL BE WIRED BY ELECTRICAL.
 2
 3
 4
 5
 6

3 MECHANICAL EQUIPMENT LIST
E602

NORTH

3 01/05/2019 ISSUED FOR BUILDING PERMIT AND TENDER
 2 24/04/2019 REVIEW
 1 27/02/2019 REVIEW

No. DATE ISSUED FOR:
 (M/YY)

PROJECT TITLE
 TENANT FIT-OUT FOR ECHELON CENTRE
 3F-575 8TH AVE WEST VANCOUVER

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 1100 WEST 4TH AVE
 VANCOUVER BC V6H 3T5
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 www.williamsengineering.com

WE

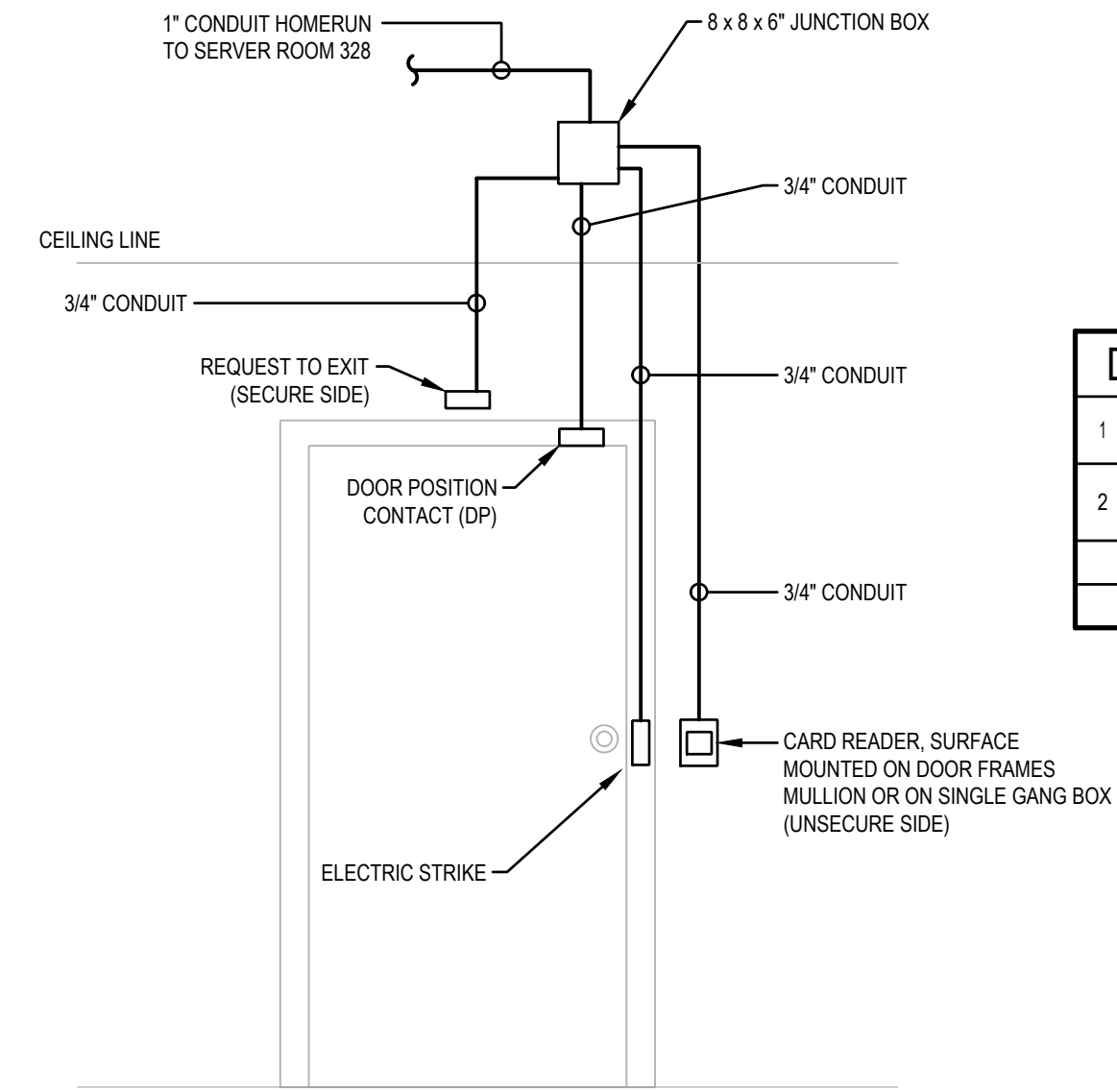
SHEET TITLE
 3RD FLOOR SINGLE LINE, CALCULATIONS & SCHEDULES

PROJECT No. 0030279.00
 DRAWN AG
 CHECKED -
 SCALE -
 DATE FEBRUARY 2019
 PRINTED MAY 2019

E602

110-1281 WEST GEORGIA, VANCOUVER, B.C. V6E 3J5
 TELEPHONE (604) 669-9460 FAX (604) 683-7684

CHERNOFF THOMPSON ARCHITECTS



DOOR ACCESS ROUGH-IN NOTES	
1	ALL JUNCTION BOXES AND CONDUITS SHALL BE CONCEALED. SIZE CONDUIT PER SYSTEM SUPPLIER REQUIREMENTS.
2	NOT ALL DEVICES SHOWN ARE TO BE PROVIDED FOR EACH DOOR. REFER TO LAYOUT FOR DEVICES TO BE PROVIDED.

1 TYPICAL DOOR ACCESS ROUGH-IN ELEVATION
E603 NTS

EXISTING PANEL 'B' (208/120V, 3PH)		LOCATION: 3RD FLOOR SERVER ROOM			
NOTE	DESCRIPTION	BRKR	PHASE	DESCRIPTION	NOTE
	BREAK AREA 324	1P20A	1 A	1P20A	A DIRECTOR OFFICE (325)
	BREAK AREA 324 - COUNTER REC	1P20A	3 B	1P20A	SERVER ROOM NEWQUAD OUTLET
	BREAK AREA 324 - COUNTER REC	1P20A	5 C		
	BREAK AREA 324 - FRIDGE	1P20A	7 A		
	BREAK AREA 324 - MICROWAVE	1P20A	9 B		
			11 C		
3	BREAK AREA 612 - DISHWASHER		13 A		
			15 B		
	BREAK AREA 324 - MICROWAVE	1P20A	17 C		
	EF-1, EF-2, EF-3, EF-4	1P15A	19 A		
			21 B		
			23 C		
			25 A		
	OFFICE 27 (326), 28 (325) RECS	1P20A	27 B		
	OFFICE 01 (327) RECS	1P20A	29 C		
	OFFICE 01 (327) RECS	1P20A	31 A		
	INTERVIEW 02 (329) RECS	1P20A	33 B		
	CHANGE ROOM (330) RECS	1P20A	35 C		
			37 A		
			39 B		
			41 C		
			43 A		
3	DHWT-1	2P20A	45 B		
			47 C		
3	DHWT-1	2P20A	49 A		
			51 B		
			53 C		
			55 A		
			57 B		
			59 C		
			61 A		
			63 B		
			65 C		
			67 A		
			69 B		
			71 C		
			73 A		
			75 B		
			77 C		
			79 A		
			81 B		
			83 C		
NOTE DESCRIPTION					
1					
2	IF CIRCUITS ARE OCCUPIED BY EXISTING EQUIPMENT, CONTRACTOR TO USE NEXT AVAILABLE CIRCUIT.				
3	COORDINATE WITH UNIT NAME PLATE FOR EXACT POWER REQUIREMENTS AND PROVIDE ACCORDINGLY.				
4	FOR ANY EXISTING BREAKERS LEFT UN-USED, SWITCH BREAKERS TO OFF POSITION AND LABEL AS "SPARE"				

2 PANEL SCHEDULE(S)
E603

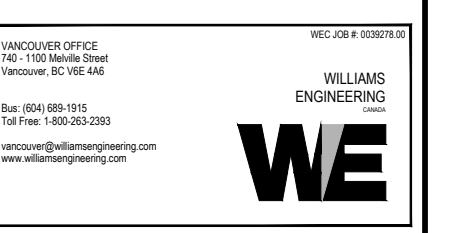
EXISTING PANEL 'PP3W' (208/120V, 3PH)		LOCATION: 3RD FLOOR ELECTRICAL ROOM			
NOTE	DESCRIPTION	BRKR	PHASE	DESCRIPTION	NOTE
	WORKSTATION 05 (331)	1P20A	1 A	1P20A	OFFICE 07 PHOTOCOPIER
	WORKSTATION 05 (331)	1P20A	3 B	1P20A	WORKSTATION 01 (315)
	OFFICE 23 (333), 24 (332) RECS	1P20A	5 C	1P20A	WORKSTATION 01 (315)
	LIBRARY (334) RECS	1P20A	7 A	1P20A	HOUSE KEEPING
	PRINT / COPY (335) RECS	1P20A	9 B	1P20A	HOUSE KEEPING
	PRINT / COPY (335) RECS	1P20A	11 C	1P20A	WORK STATION 03 PHOTOCOPIER
	PRINT / COPY (335) RECS	1P20A	13 A	1P20A	A DIRECTOR 310 CORRIDOR TABLE
	BREAKOUT ROOM (337) RECS	1P20A	15 B		
	MEETING 002 (338) RECS	1P20A	17 C		
	OFFICE 25 (340), 26 (339) RECS	1P20A	19 A		
	ASSISTANT DIRECTOR 04 (351) COPIER STATION	1P20A	21 B		
	A DIRECTOR 04 (351), OFFICE 22 (350) COMP RECS	1P20A	23 C		
	OFFICE GENERAL RECS	1P20A	25 A		
	OFFICE 21 (349), OFFICE 20 (348) COMP RECS	1P20A	27 B		
	OFFICE 18 (346), OFFICE 19 (347) COMP RECS	1P20A	29 C		
	OFFICE GENERAL RECS	1P20A	31 A		
	OFFICE 16 (344), OFFICE 17 (345) COMP RECS	1P20A	33 B		
	OFFICE 14 (342), OFFICE 15 (343) COMP RECS	1P20A	35 C		
	OFFICE GENERAL RECS	1P20A	37 A		
	OFFICE 13 (341) COMP RECS	1P20A	39 B		
	WORKSTATION 04 (304)	1P20A	41 C		
	WORKSTATION 04 (304)	1P20A	43 A		
	WORKSTATION 04 (304)	1P20A	45 B		
	WORKSTATION 03 (303)	1P20A	47 C		
	WORKSTATION 03 (303)	1P20A	49 A		
	WORKSTATION 03 (303)	1P20A	51 B		
	FIRST AID (330), INTERVIEW 01 (302) RECS	1P20A	53 C		
	OFFICE GENERAL RECS	1P20A	55 A		
	OFFICE 11 (306), OFFICE 12 (305) COMP RECS	1P20A	57 B		
	DIRECTOR (308), OFFICE 10 (307) COMP RECS	1P20A	59 C		
	FRONT DESK (301) RECS	1P20A	61 A		
	OFFICE 09 (309), A DIRECTOR 03 (310) COMP RECS	1P20A	63 B		
	OFFICE GENERAL RECS	1P20A	65 C		
	A DIRECTOR 02 (311), OFFICE 08 (312) COMP RECS	1P20A	67 A		
	OFFICE 07 (313), OFFICE 06 (316) COMP RECS	1P20A	69 B		
	OFFICE GENERAL RECS	1P20A	71 C		
	OFFICE 05 (317), OFFICE 04 (318) COMP RECS	1P20A	73 A		
	OFFICE 03 (319), OFFICE 02 (320) COMP RECS	1P20A	75 B		
	OFFICE GENERAL RECS	1P20A	77 C		
	A DIRECTOR 01 (3210), OFFICE 30 (314) COMP RECS	1P20A	79 A		
	OFFICE 01 (323), OFFICE 29 (322) COMP RECS	1P20A	81 B		
	OFFICE 29 PHOTOCOPIER	1P20A	83 C		
NOTE DESCRIPTION					
1					
2	IF CIRCUITS ARE OCCUPIED BY EXISTING EQUIPMENT, CONTRACTOR TO USE NEXT AVAILABLE CIRCUIT.				
3	COORDINATE WITH UNIT NAME PLATE FOR EXACT POWER REQUIREMENTS AND PROVIDE ACCORDINGLY.				
4	FOR ANY EXISTING BREAKERS LEFT UN-USED, SWITCH BREAKERS TO OFF POSITION AND LABEL AS "SPARE"				

NORTH	
3	01/05/2019 ISSUED FOR BUILDING PERMIT AND TENDER
2	24/04/2019 REVIEW
1	27/02/2019 REVIEW
No.	DATE ISSUED FOR:
	(M/YY/YY)

110-1281 WEST GEORGIA, VANCOUVER, B.C. V6E 3J5
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PROJECT TITLE
TENANT FIT-OUT FOR ECHELON CENTRE
3F-575 8TH AVE WEST VANCOUVER

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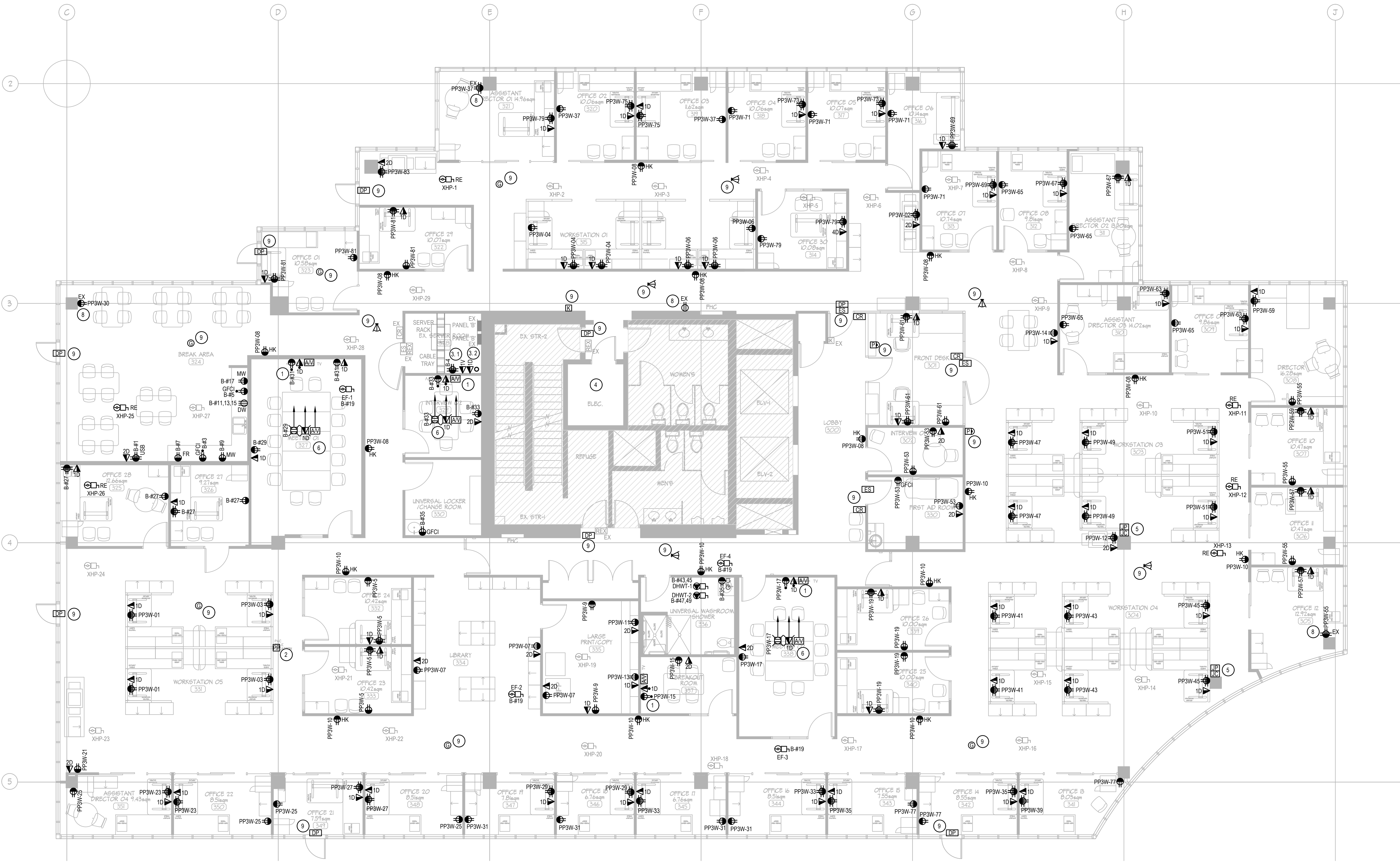


SHEET TITLE
3RD FLOOR ELECTRICAL DETAILS & PANEL SCHEDULES

PROJECT No.	0030279.00
DRAWN	AG
CHECKED	-
SCALE	-
DATE	FEBRUARY 2019
PRINTED	MAY 2019

E603

CHERNOFF THOMPSON ARCHITECTS



3	01/05/2019	ISSUED FOR BUILDING PERMIT AND TENDER
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1	27/02/2019	REVIEW
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SHEET TITLE
3RD FLOOR BASE PLAN NEW POWER & LOW TENSION PLAN

PROJECT No.	0030278.00
DRAWN	AG
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SCALE	
DATE	FEBRUARY 2019
PRINTED	MAY 2019

E700

1 NEW POWER & LOW TENSION PLAN
 E700 1/75

GENERAL NOTES

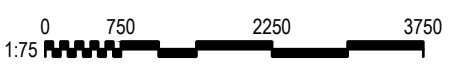
- A. FOR ALL WORK PERTAINING TO FIRE ALARM SYSTEM. CONTRACTOR MUST COORDINATE DIRECTLY WITH BASE BUILDING SUPERINTENDENT PRIOR TO STARTING WORK. CONTRACTOR MUST PROVIDE FIRE ALARM VERIFICATION FOR THE ENTIRE FLOOR TO BE DONE BY LANDLORD'S CONSULTANT. VERIFICATION COST TO BE CARRIED BY THIS CONTRACTOR.
- B. PROVIDE LABELS AT ALL OUTLET FACE PLATES INDICATING CIRCUIT NUMBERS OR DATA DROP PORT.
- C. CONTRACTOR SHALL PROVIDE FIRE-STOPPING ASSEMBLIES TO ALL PENETRATIONS IN FIRE RATED SEPARATIONS.
- D. PROVIDE POWER AND DISCONNECT TO NEW MECHANICAL EQUIPMENT. REFER TO MECHANICAL DRAWINGS FOR EXACT LOCATIONS AND TO UNITS' NAMEPLATES FOR EXACT POWER REQUIREMENTS. FOR ANY HEAT PUMPS THAT ARE BEING RE-LOCATED, CONTRACTOR MUST PROVIDE POWER TO NEW LOCATIONS.
- E. REFER TO ARCHITECTURAL DRAWINGS FOR MOUNTING HEIGHTS AND DETAILS.
- F. ALL WIRING FOR POWER, DATA AND AV SHALL BE IN SEPARATE RACEWAYS.
- G. 'D' BY DATA OUTLETS INDICATE NUMBER OF DATA DROPS. PROVIDE 3/4" CONDUIT INSIDE WALL FOR EACH DATA OUTLET.
- H. REPLACE ALL EXISTING 15A OUTLETS WITH OUTLETS RATED 20A (T-SLOT). REPLACE ASSOCIATED 15A BREAKER WITH 20A BREAKER.
- I. UNLESS NOTED OTHERWISE, WALL MOUNTED ELECTRICAL OUTLETS AND DATA OUTLETS ARE TO BE PROVIDED BY TENANT IMPROVEMENT CONTRACTOR.
- J. REFER TO MECHANICAL DRAWINGS TO DETERMINE WHICH MECHANICAL UNITS ARE TO REMAIN, TO BE RE-LOCATED OR TO BE REMOVED. ASSOCIATED ELECTRICAL POWER AND WIRING TO BE REMOVED OR RE-LOCATED ACCORDINGLY.

KEY NOTES

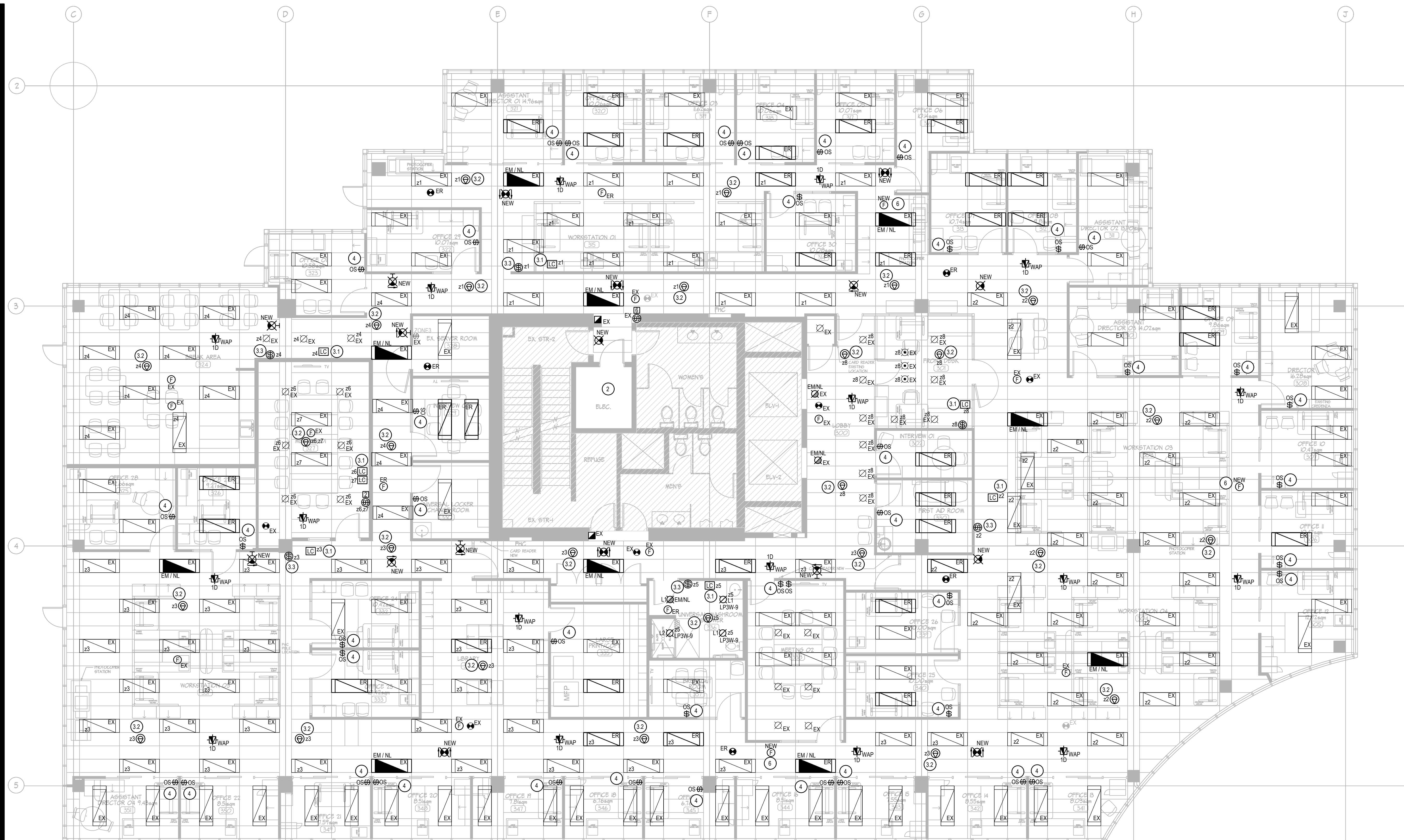
1. PROVIDE POWER, DATA AND AV OUTLETS MOUNTED BEHIND THE TV.
2. PAC POLES AND FURNITURE OUTLETS ARE TO BE PROVIDED BY FURNITURE CONTRACTOR.
- 2.1. TENANT IMPROVEMENT CONTRACTOR TO PROVIDE POWER CIRCUITS TO BE CONNECTED TO FURNITURE WHIP AND MUST BE COMPLETED FOR FINAL CONNECTIONS AFTER FURNITURES ARE INSTALLED. CONTRACTOR TO ENSURE CIRCUIT BREAKERS AMPERAGE RATING TO MATCH FURNITURE OUTLET AMPERAGE RATING.
- 2.2. DATA CABLES TO PASS THROUGH PAC POLES AND TERMINATE AT FURNITURE DATA OUTLETS.
3. PROVIDE THE FOLLOWING FOR SERVER ROOM:
 - 3.1. 1x 20A RATED QUADPLEX WITH 20A DEDICATED CIRCUIT FOR SECURITY PANEL MOUNTED @60" A.F.F.
 - 3.2. PROVIDE 2" CONDUIT TO RUN FROM SERVER ROOM TO DATA & TELEPHONE DEMARCATION POINT. PROVIDE 1 DATA DROP AND 1 ANALOG LINE FROM DEMARCATION POINT TO SERVER ROOM.
4. REFER TO KEYNOTES - ELECTRICAL ROOM ON DRAWING E703.
5. PROVIDE THE FOLLOWING:
 - 5.1. JUNCTION BOX FOR FURNITURE POWER WHIP CONNECTION.
 - 5.2. FEED-THRU JUNCTION BOX FOR DATA CABLES TO PASS THROUGH TO FEED THE DESKS.
 - 5.4. JUNCTION BOXES MUST BE RECESSED IN WALL AND CONCEALED.
 - 5.5. BASE FEED FURNITURE WHIPS & OUTLETS BY FURNITURE SUPPLIER.
 - 5.6. TENANT IMPROVEMENT CONTRACTOR TO PROVIDE POWER CIRCUITS TO BE CONNECTED TO FURNITURE WHIP AND MUST BE COMPLETED FOR FINAL CONNECTIONS.

KEY NOTES (CONTINUED)

6. FOR MEETING ROOM, PROVIDE THE FOLLOWING:
 - 6.1. FLOOR BOX: SURFACE MOUNTED UNDER THE TABLE TO HOUSE 1x 20A RATED DUPLEX RECEPTACLE, 1x DATA OUTLET AND AV CONNECTIONS.
 - 6.2. POWER, DATA AND AV WIRINGS TO RUN SURFACE ON FLOOR TO TV WALL. PROVIDE LOW PROFILE WIREMOLD FOR PHYSICAL PROTECTION OF WIRES. PROVIDE CONDUITS INSIDE WALL TO HOUSE THE WIRES TO BE 1" FOR DATA, 3/4" FOR POWER, 2" FOR AV.
 - 6.3. COORDINATE EXACT LOCATIONS & REQUIREMENTS WITH AV SUPPLIER.
 - 6.4. LOW PROFILE WIREMOLD TO BE EQUIVALENT TO LEGRAND WIREMOLD OFR SERIES OFR8C-8 AND OVERFLOOR RACEWAY 4-GANG BOX OFR48-4. PROVIDE DIVIDERS TO SEPARATE POWER, DATA, AV WIRINGS. PROVIDE ALL NECESSARY COMPONENTS SUCH AS TRANSITION FITTINGS, RACEWAY BASE & COVER, IN WALL ENTRANCE END FITTING, TRANSITION ELBOW, OUTLET FACE PLATES, POWER RECEPTACLE, DATA OUTLET, AV TERMINATION, ETC. FOR A COMPLETE INTEGRATED OFR SYSTEM. PROVIDE BIGGER WIREMOLD / FLOOR BOX AS NEEDED TO ACCOMMODATE ALL WIRING.
7. (NOT USED).
8. FOR OUTLETS LABELED EXISTING TO BE RE-USED, CONTRACTOR SHALL REPLACE ALL EXISTING 15A RATED OUTLETS WITH 20A RATED OUTLETS. REPLACE ASSOCIATED 15A BREAKER WITH 20A BREAKER.
9. CONTRACTOR TO PROVIDE ROUGH-INS, JUNCTION BOXES AND CONDUIT INFRASTRUCTURE FOR SECURITY DEVICES AS SHOWN ON LAYOUT. REFER TO DOOR ACCESS ELEVATION DETAIL ON DWG E603. HOME RUN CONDUITS TO TERMINATE IN SERVER ROOM 328.
 - 9.1. THIS CONTRACTOR TO PROVIDE ELECTRIC STRIKES COMPATIBLE WITH DOOR HARDWARE.
 - 9.2. ALL OTHER DEVICES AND WIRING TO BE PROVIDED BY ROSE SECURITY CONTRACTOR.
 - 9.3. ORIENTATION OF GLASS BREAK SENSORS AND MOTION SENSORS TO BE DETERMINED BY SECURITY CONTRACTOR.
10. FOR THE NEW ADDITIONAL SHUT-OFF VALVE BEING INSTALLED FOR FIRE PROTECTION OF SERVER ROOM:
 - 10.1. NEW VALVE TO BE WIRED TO FIRE ALARM SYSTEM FOR MONITORING. PROVIDE FIRE ALARM WIRING AND ISOLATION MODULES.
 - 10.2. FIRE ALARM TAMPER SWITCH OF THE VALVE TO BE ANNUNCIATED AS A TROUBLE SIGNAL AT THE BASE BUILDING CACF (ANNUNCIATOR PANEL).



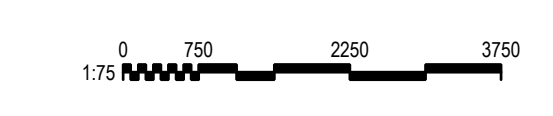
CHERNOFF THOMPSON ARCHITECTS



1 NEW LIGHTING PLAN
E701 1/75

- GENERAL NOTES**
- FOR ALL WORK PERTAINING TO FIRE ALARM SYSTEM, CONTRACTOR MUST COORDINATE DIRECTLY WITH BASE BUILDING SUPERINTENDENT PRIOR TO STARTING WORK. CONTRACTOR MUST PROVIDE FIRE ALARM VERIFICATION FOR THE ENTIRE FLOOR TO BE DONE BY LANDLORD'S CONSULTANT. VERIFICATION COST TO BE CARRIED BY THIS CONTRACTOR.
 - CONTRACTOR TO RE-USE EMERGENCY CIRCUITS FOR EXIT SIGNS AND EMERGENCY LIGHTS.
 - CONTRACTOR TO PROVIDE NEW EXIT SIGNS AS SHOWN ON LAYOUT. EXIT SIGNS TO BE LED GREEN RUNNING MAN PICTOGRAM. SELF-POWERED FOR 120 MINUTES, EQUIVALENT TO LUMACELL "LA" SERIES. RE-USE EXISTING EXIT SIGN CIRCUITS AND EXTEND TO NEW LOCATIONS. CONTRACTOR TO DETERMINE VOLTAGE USED FOR EXIT SIGN CIRCUIT(S) AND ENSURE NEW DEVICES MATCH THE VOLTAGE.
 - UNLESS NOTED OTHERWISE, ALL LIGHT FIXTURES MUST BE RE-WIRED AND RE-CIRCUITED TO BE TIED TO THE NEW LIGHTING CONTROLS SYSTEMS.
 - CONTRACTOR TO PROVIDE EMERGENCY LIGHTING LAYOUT AS SHOWN ON PLAN. RE-WIRE EXISTING EMERGENCY LIGHTING CIRCUITS TO ACHIEVE LAYOUT SHOWN. THESE LIGHTS TO SERVE AS NIGHT LIGHTS AND EMERGENCY LIGHTING THEREFORE MUST NOT BE PART OF SWITCHING.
 - ALL LIGHTS SHOWN ON NEW LIGHTING PLAN LOCATED INSIDE ENCLOSED ROOMS TO BE RE-WIRED SUCH THAT THESE LIGHT FIXTURES ARE CONTROLLED BY LOCAL OCCUPANCY SENSORS
 - ALL OTHER LIGHTS ARE TO BE RE-WIRED SUCH THAT THESE LUMINAIRES ARE CONTROLLED BY INDICATED OCCUPANCY SENSORS (AS SHOWN BY GROUPING).
 - CONTRACTOR TO VERIFY VOLTAGE OF EXISTING LUMINAIRES. ALL NEW OCCUPANCY SENSORS, LIGHT SWITCHES, DIMMERS TO MATCH VOLTAGE RATING OF LUMINAIRES.
 - CONTRACTOR MUST HIRE AND DIRECTLY INTERFACE WITH LIGHTING CONTROLS MANUFACTURER. PROVIDE ALL NECESSARY COMPONENTS, DEVICES, WIRING, PROGRAMMING FOR A FULLY FUNCTIONAL LIGHTING CONTROLS SYSTEMS.
 - CONTRACTOR SHALL PROVIDE AND PAY FOR COMMISSIONING AND PROGRAMMING OF TIME CLOCK AND LIGHTING CONTROLS DEVICES. COORDINATE DIRECTLY WITH CLIENT FOR HOURS TO BE USED FOR TIME CLOCK FUNCTION. CONTRACTOR MUST CARRY THE COST OF INDEPENDENT THIRD PARTY TO PERFORM THE COMMISSIONING. SUBMIT COMMISSIONING REPORT TO THE ELECTRICAL CONSULTANT UPON COMPLETION.
 - CONTRACTOR TO INSTALL WIRELESS ACCESS POINTS. DEVICES TO BE SUPPLIED BY OWNER.
 - CONTRACTOR SHALL NOTIFY CLIENT PRIOR TO STARTING ANY WORK IN THE 3RD FLOOR SERVER ROOM. THIS DATA ROOM IS CENTRAL HUB AND MUST NOT BE SHUT DOWN WITHOUT PERMISSION.

- KEY NOTES**
- SMALL-CASE LETTER 'Z#' ON LAYOUT INDICATE LOW VOLTAGE LIGHTING CONTROLS GROUPING.
 - REFER TO KEYNOTES - ELECTRICAL ROOM ON DRAWING E703.
 - PROVIDE LOW VOLTAGE CONTROLS SYSTEM TO BE nLIGHT CONTROLS. PROVIDE THE FOLLOWING:
 - nLIGHT LIGHTING CONTROLLERS (nLIGHT POWER PACKS) TO CONTROL THE LIGHTS PER GROUPING. POWER PACKS TO BE RATED 347V.
 - nLIGHT LOW VOLTAGE CEILING MOUNTED OCCUPANCY SENSORS. AS INDICATED BY THE LIGHTING CONTROLS GROUPING, LIGHTING CIRCUITS SHALL BE WIRED SUCH THAT WHEN ONE OF THE OCCUPANCY SENSORS DETECTS AN OCCUPANT, ALL ASSOCIATED LIGHTS SHALL TURN 'ON'.
 - nLIGHT LOW VOLTAGE WALL MOUNTED SWITCH.
 - ALL LOW VOLTAGE OCCUPANCY SENSORS TO AUTOMATICALLY TURN LIGHTS 'ON' UPON OCCUPANCY AND MUST AUTOMATICALLY TURN LIGHTS 'OFF' AFTER 30 MINUTES OF VACANCY IS DETECTED.
 - PROVIDE LINE VOLTAGE WALL MOUNTED OCCUPANCY SENSOR. CONFIRM VOLTAGE OF LIGHT CIRCUITS AT SITE AND MATCH EXISTING VOLTAGE.
 - ENSURE THAT ALL SENSORS ARE NOT OBSTRUCTED BY ANY OBJECT INCLUDING THE DOOR. MOUNT SENSORS 2' AWAY FROM DOOR SWING.
 - RE-WIRE ROOM LUMINAIRES TO BE CONTROLLED BY LOCAL SENSOR.
 - LINE VOLTAGE OCCUPANCY SENSORS TO BE CONFIGURED AS MANUAL 'ON' AND AUTO 'OFF' AFTER 30 MINUTES OF VACANCY IS DETECTED.
 - UTILIZE SENSOR SWITCH BRAND - WSX-PDT-SA-120V OR WSX-PDT-SA-347V, DUAL TECHNOLOGY.
 - (NOT USED).
 - PROVIDE NEW FIRE ALARM SPEAKERS AS SHOWN ON LAYOUT. SPEAKER BRAND AND TYPE TO MATCH EXISTING. EXTEND WIRING TO NEW DEVICES.



NORTH

3	01/05/2019	ISSUED FOR BUILDING PERMIT AND TENDER
2	24/04/2019	REVIEW
1	27/02/2019	REVIEW
No.	DATE	ISSUED FOR:
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TELEPHONE (604) 669-9460 FAX (604) 683-7684

PROJECT TITLE

10 TENANT FIT-OUT
FOR ECHELON
CENTRE

3F-575 8TH AVE WEST
VANCOUVER

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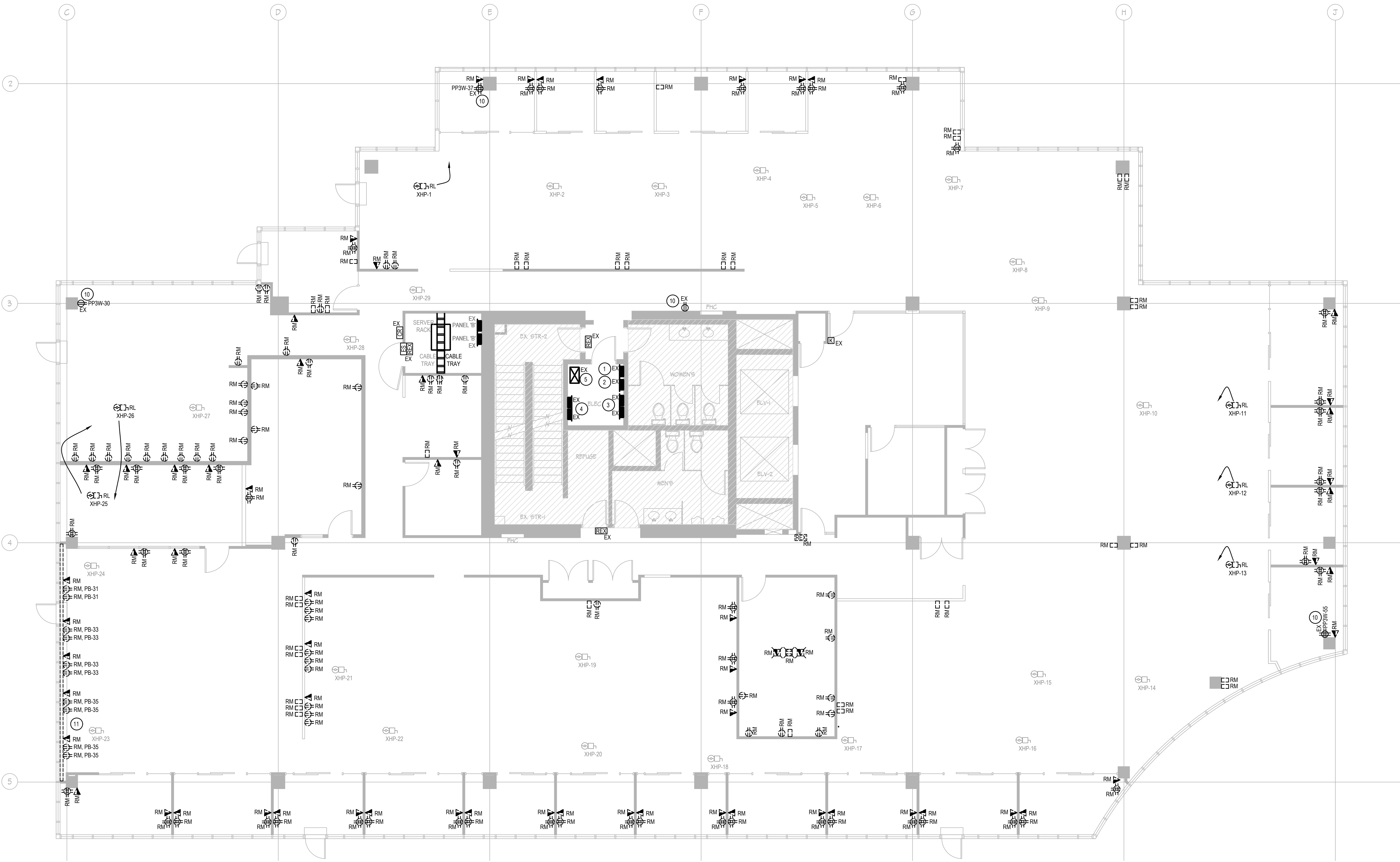
SHEET TITLE

3RD FLOOR
BASE PLAN
NEW LIGHTING
& FIRE ALARM
PLAN

PROJECT No.	0030278/00
DRAWN	AG
CHECKED	-
SCALE	-
DATE	FEBRUARY 2019
PRINTED	MAY 2019

E701

CHERNOFF THOMPSON ARCHITECTS



1 DEMOLITION POWER & LOW TENSION PLAN
E702 1/75

GENERAL NOTES

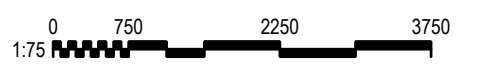
- A. CONTRACTOR MUST PERFORM A SITE VISIT AND BASE THE COUNT OF LUMINAIRES, OUTLETS, WIRING AND DEVICES TO BE REMOVED OR TO BE RE-LOCATED FROM THE SITE VISIT. INFORMATION SHOWN ON THESE LAYOUTS ARE ESTIMATED ONLY AND MAY NOT INCLUDE ALL EXISTING CONDITION.
- B. ALL DEMOLITION WORK MUST BE DONE AFTER HOURS UNLESS OTHERWISE PRE-APPROVED BY THE LANDLORD.
- C. FOR ALL WORK PERTAINING TO FIRE ALARM SYSTEM, CONTRACTOR MUST COORDINATE DIRECTLY WITH BASE BUILDING SUPERINTENDENT PRIOR TO STARTING WORK.
- D. NO ELECTRICAL CIRCUITS, FANS OR PUMPS ARE TO BE TURNED OFF WITHOUT PRIOR PERMISSION OF THE BASE BUILDING SUPERINTENDENT. CONTRACTOR MUST COORDINATE DIRECTLY PRIOR TO STARTING WORK.
- E. REFER TO MECHANICAL DRAWINGS TO DETERMINE WHICH MECHANICAL UNITS ARE TO REMAIN, TO BE RE-LOCATED OR TO BE REMOVED. ASSOCIATED ELECTRICAL POWER AND WIRING TO BE REMOVED OR RE-LOCATED ACCORDINGLY.
- F. UNLESS NOTED OTHERWISE, WHERE INDICATED AS 'RM' ON LAYOUT, CONTRACTOR TO REMOVE INDICATED EXISTING LUMINAIRES, OUTLETS, JUNCTION BOXES AND DEVICES THAT WILL NOT BE RE-USED. ASSOCIATED WIRING AND CONDUIT TO BE REMOVED BACK TO SOURCE. FIRE-STOP ALL OPENINGS ON FIRE RATED SEPARATIONS.
- G. EXISTING CEILING ZONE JUNCTION BOX SYSTEM TO REMAIN TO BE RE-USED. RE-LOCATE AS NEEDED.
- H. CONTRACTOR MAY RE-USE CIRCUITS OF OUTLETS BEING REMOVED IF EXISTING LOCATIONS ARE IN CLOSE PROXIMITY OF NEW OUTLETS SHOWN ON THE NEW POWER LAYOUT.

KEY NOTES - ELECTRICAL ROOM

1. APPROX. LOCATION OF EXISTING PANEL 'PP3W', 225A, 600/347V, 42CCTS.
2. APPROX. LOCATION OF EXISTING LIGHTING CONTROLS RELAY PANEL.
3. APPROX. LOCATION OF EXISTING PANEL 'M3W', 225A, 208/120V, 60CCTS.
4. APPROX. LOCATION OF EXISTING PANEL 'PP3W', 225A, 208/120V, 84CCTS.
5. APPROX. LOCATION OF EXISTING 45KVA TRANSFORMER.

KEY NOTES:

10. FOR OUTLETS LABELED EXISTING TO RE-USED, CONTRACTOR SHALL REPLACE ALL EXISTING 15A RATED OUTLETS WITH 20A RATED OUTLETS. REPLACE ASSOCIATED 15A BREAKER WITH 20A BREAKER.
11. EXISTING WIREMOLD TO BE REMOVED.



NORTH

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PROJECT TITLE
TENANT FIT-OUT
FOR ECHELON
CENTRE
3F-575 8TH AVE WEST
VANCOUVER

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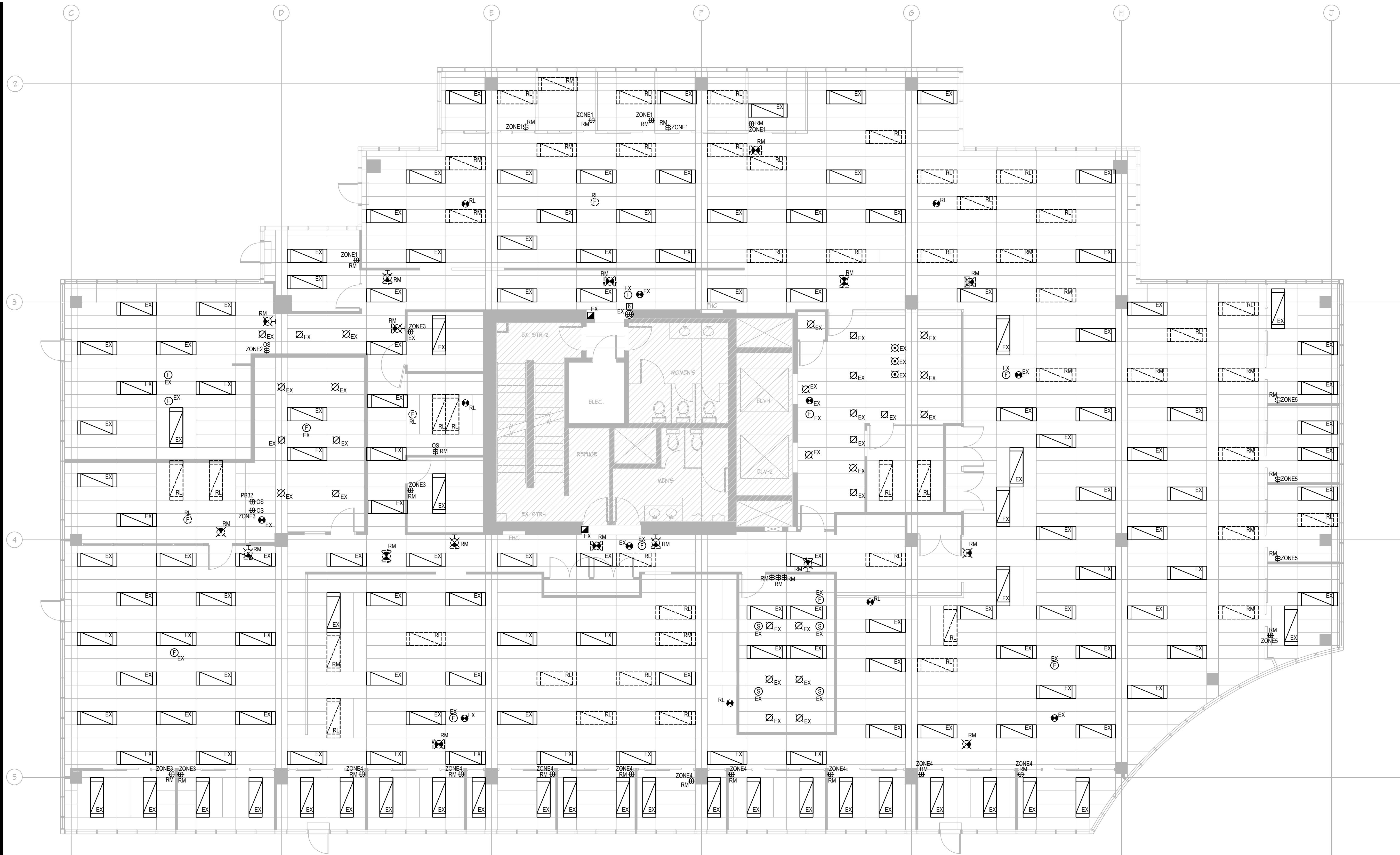


SHEET TITLE
3RD FLOOR
BASE PLAN
DEMOLITION
POWER & LOW
TENSION PLAN

PROJECT No. 0030278.00
DRAWN AG
CHECKED -
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PRINTED MAY 2019

E702

CHERNOFF THOMPSON ARCHITECTS



1 DEMOLITION LIGHTING & FIRE ALARM PLAN
E703 1/75

GENERAL NOTES

- A. CONTRACTOR MUST PERFORM A SITE VISIT AND BASE THE COUNT OF LUMINAIRES, OUTLETS, WIRING AND DEVICES TO BE REMOVED OR TO BE RE-LOCATED FROM THE SITE VISIT. INFORMATION SHOWN ON THESE LAYOUTS ARE ESTIMATED ONLY AND MAY NOT INCLUDE ALL EXISTING CONDITION.
- B. FOR ALL WORK PERTAINING TO FIRE ALARM SYSTEM, CONTRACTOR MUST COORDINATE DIRECTLY WITH BASE BUILDING SUPERINTENDENT PRIOR TO STARTING WORK.
- C. NO ELECTRICAL CIRCUITS, FANS OR PUMPS ARE TO BE TURNED OFF WITHOUT PRIOR PERMISSION OF THE BASE BUILDING SUPERINTENDENT. CONTRACTOR MUST COORDINATE DIRECTLY PRIOR TO STARTING WORK.
- D. REFER TO MECHANICAL DRAWINGS TO DETERMINE WHICH MECHANICAL UNITS ARE TO REMAIN, TO BE RE-LOCATED OR TO BE REMOVED. ASSOCIATED ELECTRICAL POWER AND WIRING TO BE REMOVED OR RE-LOCATED ACCORDINGLY.
- E. UNLESS NOTED OTHERWISE, WHERE INDICATED AS 'RM' ON LAYOUT, CONTRACTOR TO REMOVE INDICATED EXISTING LUMINAIRES, OUTLETS, JUNCTION BOXES AND DEVICES THAT WILL NOT BE RE-USED. ASSOCIATED WIRING AND CONDUIT TO BE REMOVED BACK TO SOURCE. FIRE-STOP ALL OPENINGS ON FIRE RATED SEPARATIONS.
- F. CONTRACTOR TO RE-USE EMERGENCY CIRCUITS FOR EXIT SIGNS AND EMERGENCY LIGHTS.
- G. CONTRACTOR TO RE-LOCATE EXISTING LIGHT FIXTURES AS INDICATED TO ACCOMMODATE NEW WALL PARTITION LAYOUT. LIGHTS LABELED AS 'RL' TO BE RE-LOCATED. REFER TO NEW LIGHTING LAYOUT FOR NEW LOCATIONS.
- H. CONTRACTOR TO REMOVE ALL EXISTING EXIT SIGNS TO BE REPLACED BY NEW GREEN RUNNING MAN TYPE EXIT SIGNS. REFER TO NEW LIGHTING LAYOUT FOR LOCATIONS AND SPECIFICATIONS OF NEW EXIT SIGNS. EXTEND EXISTING EMERGENCY CIRCUITS TO NEW LOCATIONS.
- I. CONTRACTOR SHALL NOTIFY CLIENT PRIOR TO STARTING ANY WORK IN THE 3RD FLOOR SERVER ROOM. THIS DATA ROOM IS CENTRAL HUB AND MUST NOT BE SHUT DOWN WITHOUT PERMISSION.

KEY NOTES

- 1. RE-WIRE INDICATED LIGHTS PREVIOUSLY LOCATED INSIDE OFFICE ROOMS TO BE PART OF THE OPEN OFFICE SPACE LIGHTING CIRCUIT(S) AND CONTROLS.
- 2. (NOT USED).



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1	27/02/2019	REVIEW
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PROJECT TITLE
TENANT FIT-OUT FOR ECHELON CENTRE
3F-575 8TH AVE WEST
VANCOUVER

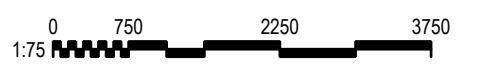
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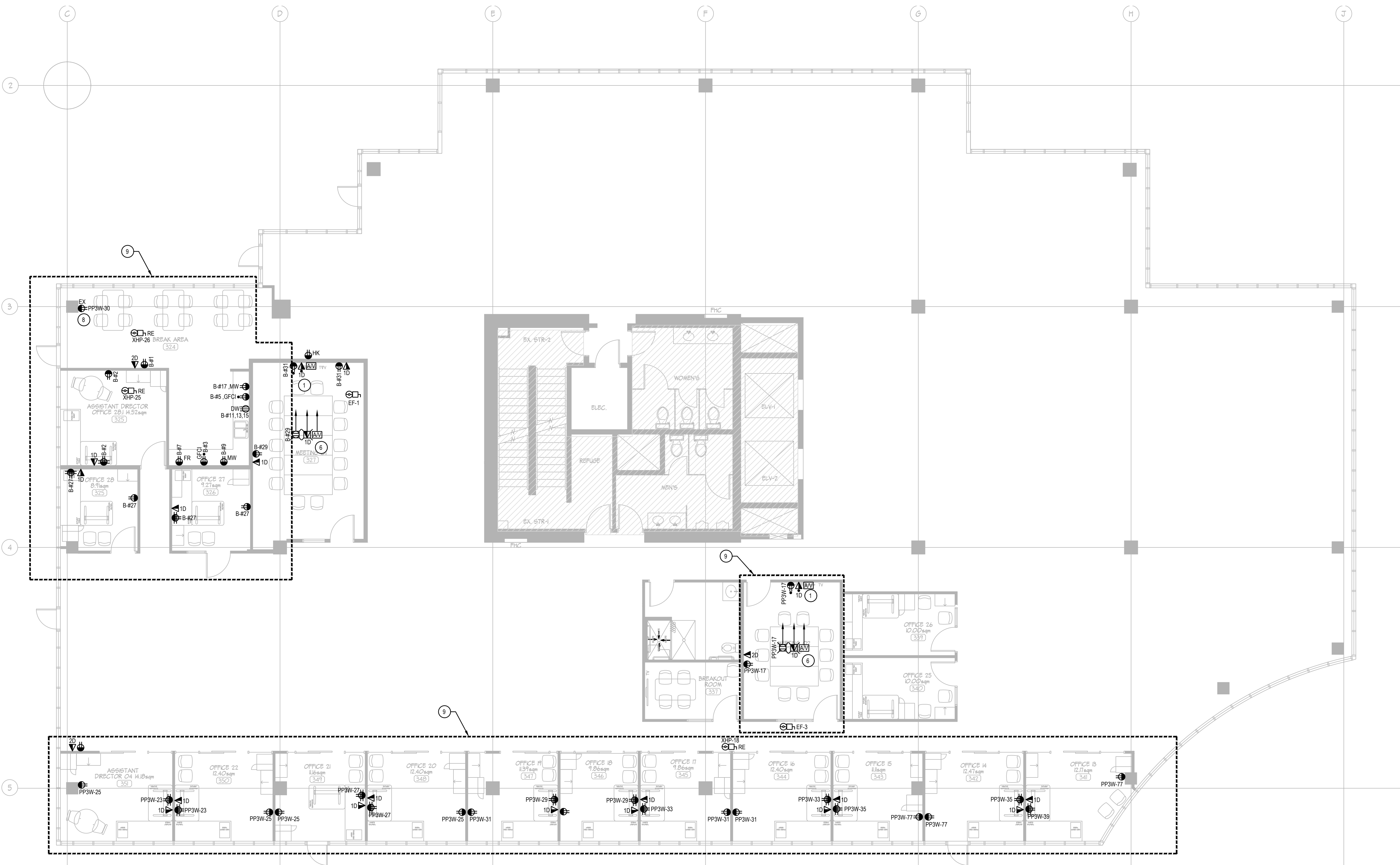
WILLIAM ENGINEERING
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SHEET TITLE
**3RD FLOOR
BASE PLAN
DEMOLITION
LIGHTING & FIRE
ALARM PLAN**

PROJECT No. 0030279.00
DRAWN AG
CHECKED -
SCALE -
DATE FEBRUARY 2019
PRINTED MAY 2019

E703





1 NEW POWER & LOW TENSION PLAN
E800 1/75

GENERAL NOTES

- A. FOR ALL WORK PERTAINING TO FIRE ALARM SYSTEM, CONTRACTOR MUST COORDINATE DIRECTLY WITH BASE BUILDING SUPERINTENDENT PRIOR TO STARTING WORK. CONTRACTOR MUST PROVIDE FIRE ALARM VERIFICATION FOR THE ENTIRE FLOOR TO BE DONE BY LANDLORD'S CONSULTANT. VERIFICATION COST TO BE CARRIED BY THIS CONTRACTOR.
- B. PROVIDE STICKERS AT ALL OUTLET FACE PLATES INDICATING CIRCUIT NUMBERS OR DATA DROP PORT.
- C. CONTRACTOR SHALL PROVIDE FIRE-STOPPING ASSEMBLIES TO ALL PENETRATIONS IN FIRE RATED SEPARATIONS.
- D. PROVIDE POWER AND DISCONNECT TO NEW MECHANICAL EQUIPMENT. REFER TO MECHANICAL DRAWINGS FOR EXACT LOCATIONS AND TO UNITS' NAMEPLATES FOR EXACT POWER REQUIREMENTS. FOR ANY HEAT PUMPS THAT ARE BEING RE-LOCATED, CONTRACTOR MUST PROVIDE POWER TO NEW LOCATIONS.
- E. REFER TO ARCHITECTURAL DRAWINGS FOR MOUNTING HEIGHTS AND DETAILS.
- F. ALL WIRING FOR POWER, DATA AND AV SHALL BE IN SEPARATE RACEWAYS.
- G. 'ID' BY DATA OUTLETS INDICATE NUMBER OF DATA DROPS. PROVIDE 3/4" CONDUIT INSIDE WALL FOR EACH DATA OUTLET.
- H. REPLACE ALL EXISTING 15A OUTLETS WITH OUTLETS RATED 20A (1-SLOT). REPLACE ASSOCIATED 15A BREAKER WITH 20A BREAKER.
- I. UNLESS NOTED OTHERWISE, WALL MOUNTED ELECTRICAL OUTLETS AND DATA OUTLETS ARE TO BE PROVIDED BY TENANT IMPROVEMENT CONTRACTOR.
- J. REFER TO MECHANICAL DRAWINGS TO DETERMINE WHICH MECHANICAL UNITS ARE TO REMAIN, TO BE RE-LOCATED OR TO BE REMOVED. ASSOCIATED ELECTRICAL POWER AND WIRING TO BE REMOVED OR RE-LOCATED ACCORDINGLY.

KEY NOTES

- 1. PROVIDE POWER, DATA AND AV OUTLETS MOUNTED BEHIND THE TV (1270mm A.F.F.)
- 2. PAC POLES AND FURNITURE OUTLETS ARE TO BE PROVIDED BY FURNITURE CONTRACTOR.
- 2.1. TENANT IMPROVEMENT CONTRACTOR TO PROVIDE POWER CIRCUITS TO BE CONNECTED TO FURNITURE WHIP AND MUST BE COMPLETED FOR FINAL CONNECTIONS AFTER FURNITURES ARE INSTALLED. CONTRACTOR TO ENSURE CIRCUIT BREAKERS AMPERAGE RATING TO MATCH FURNITURE OUTLET AMPERAGE RATING.
- 2.2. DATA CABLES TO PASS THROUGH PAC POLES AND TERMINATE AT FURNITURE DATA OUTLETS.
- 3. PROVIDE THE FOLLOWING FOR SERVER ROOM:
 - 3.1. 1X 20A RATED QUADPLEX WITH 20A DEDICATED CIRCUIT FOR SECURITY PANEL MOUNTED @+60" A.F.F.
 - 3.2. PROVIDE 2" CONDUIT TO RUN FROM SERVER ROOM TO DATA & TELEPHONE DEMARCATION POINT. PROVIDE 1 DATA DROP AND 1 ANALOG LINE FROM DEMARCATION POINT TO SERVER ROOM.
- 4. REFER TO KEYNOTES - ELECTRICAL ROOM ON DRAWING E803.
- 5. PROVIDE THE FOLLOWING:
 - 5.1. JUNCTION BOX FOR FURNITURE POWER WHIP CONNECTION.
 - 5.2. FEED-THRU JUNCTION BOX FOR DATA CABLES TO PASS-THROUGH TO FEED THE DESKS.
 - 5.4. JUNCTION BOXES MUST BE RECESSED IN WALL AND CONCEALED.
 - 5.5. BASE FEED FURNITURE WHIPS & OUTLETS BY FURNITURE SUPPLIER.
 - 5.6. TENANT IMPROVEMENT CONTRACTOR TO PROVIDE POWER CIRCUITS TO BE CONNECTED TO FURNITURE WHIP AND MUST BE COMPLETED FOR FINAL CONNECTION.

KEY NOTES (CONTINUED)

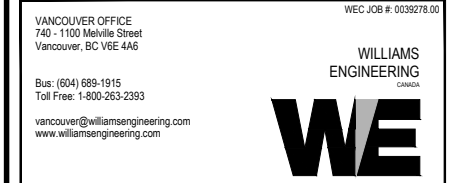
- 6. FOR MEETING ROOM, PROVIDE THE FOLLOWING:
 - 6.1. FLOOR BOX: SURFACE MOUNTED UNDER THE TABLE TO HOUSE 1x 20A RATED DUPLEX RECEPTACLE, 1x DATA OUTLET AND AV CONNECTIONS.
 - 6.2. POWER, DATA AND AV WIRINGS TO RUN SURFACE ON FLOOR TO TV WALL. PROVIDE LOW PROFILE WIREMOLD FOR PHYSICAL PROTECTION OF WIRES. PROVIDE CONDUITS INSIDE WALL TO HOUSE THE WIRES TO BE 1" C FOR DATA, 3/4" C FOR POWER, 2" C FOR AV.
 - 6.3. COORDINATE EXACT LOCATIONS & REQUIREMENTS WITH AV SUPPLIER.
 - 6.4. LOW PROFILE WIREMOLD TO BE EQUIVALENT TO LEGRAND WIREMOLD OFR SERIES OFRBC-8 AND OVERFLOOR RACEWAY 4-GANG BOX OFR4-4. PROVIDE DIVIDERS TO SEPARATE POWER, DATA, AV WIRINGS. PROVIDE ALL NECESSARY COMPONENTS SUCH AS TRANSITION FITTING, RACEWAY BASE & COVER, IN WALL ENTRANCE END FITTING, TRANSITION ELBOW, OUTLET FACE PLATES, POWER RECEPTACLE, DATA OUTLET, AV TERMINATION, ETC. FOR A COMPLETE INTEGRATED OFR SYSTEM. PROVIDE BIGGER WIREMOLD / FLOOR BOX AS NEEDED TO ACCOMMODATE ALL WIRING.
- 7. (NOT USED).
- 8. FOR OUTLETS LABELED EXISTING TO BE RE-USED, CONTRACTOR SHALL REPLACE ALL EXISTING 15A RATED OUTLETS WITH 20A RATED OUTLETS. REPLACE ASSOCIATED 15A BREAKER WITH 20A BREAKER.
- 9. PROVIDE ALTERNATE PRICE TO IMPLEMENT DESIGN AS SHOWN ON THE INDICATED AREAS. PROVIDE THE BASE PLAN DESIGN SHOWN ON DWG. E700 FOR THE ENTIRE FLOOR SPACE OUTSIDE OF THESE INDICATED AREAS.



3	01/05/2019	ISSUED FOR BUILDING PERMIT AND TENDER
2	24/04/2019	REVIEW
1	27/02/2019	REVIEW
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PROJECT TITLE
TENANT FIT-OUT FOR ECHELON CENTRE
3F-575 8TH AVE WEST
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SHEET TITLE
3RD FLOOR ALTERNATE PRICE NEW POWER & LOW TENSION PLAN

PROJECT No.	0030278/00
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E800



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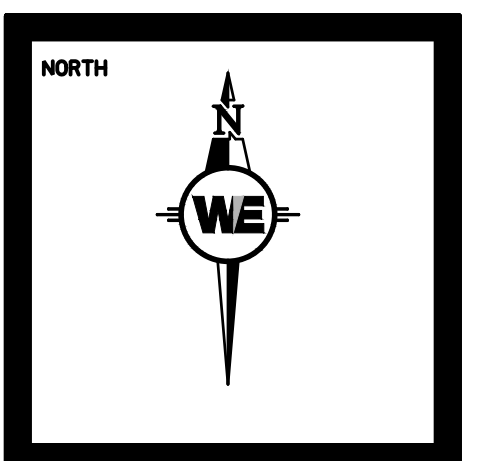
1 NEW LIGHTING PLAN
E801 1:75

GENERAL NOTES

- A. FOR ALL WORK PERTAINING TO FIRE ALARM SYSTEM, CONTRACTOR MUST COORDINATE DIRECTLY WITH BASE BUILDING SUPERINTENDENT PRIOR TO STARTING WORK. CONTRACTOR MUST PROVIDE FIRE ALARM VERIFICATION FOR THE ENTIRE FLOOR TO BE DONE BY LANDLORD'S CONSULTANT. VERIFICATION COST TO BE CARRIED BY THIS CONTRACTOR.
- B. CONTRACTOR TO RE-USE EMERGENCY CIRCUITS FOR EXIT SIGNS AND EMERGENCY LIGHTS.
- C. CONTRACTOR TO PROVIDE NEW EXIT SIGNS AS SHOWN ON LAYOUT. EXIT SIGNS TO BE LED GREEN RUNNING MAN PICTOGRAM, SELF-POWERED FOR 120 MINUTES, EQUIVALENT TO LUMACELL 'LA' SERIES. RE-USE EXISTING EXIT SIGN CIRCUITS AND EXTEND TO NEW LOCATIONS. CONTRACTOR TO DETERMINE VOLTAGE USED FOR EXIT SIGN CIRCUIT(S) AND ENSURE NEW DEVICES MATCH THE VOLTAGE.
- D. UNLESS NOTED OTHERWISE, ALL LIGHT FIXTURES MUST BE RE-WIRED AND RE-CIRCUITED TO BE TIED TO THE NEW LIGHTING CONTROLS SYSTEMS.
 - a. CONTRACTOR TO PROVIDE EMERGENCY LIGHTING LAYOUT AS SHOWN ON PLAN. RE-WIRE EXISTING EMERGENCY LIGHTING CIRCUITS TO ACHIEVE LAYOUT SHOWN. THESE LIGHTS TO SERVE AS NIGHT LIGHTS AND EMERGENCY LIGHTING THEREFORE MUST NOT BE PART OF SWITCHING.
 - b. ALL LIGHTS SHOWN ON NEW LIGHTING PLAN LOCATED INSIDE ENCLOSED ROOMS TO BE RE-WIRED SUCH THAT THESE LIGHT FIXTURES ARE CONTROLLED BY LOCAL OCCUPANCY SENSORS
 - c. ALL OTHER LIGHTS ARE TO BE RE-WIRED SUCH THAT THESE LUMINAIRES ARE CONTROLLED BY INDICATED OCCUPANCY SENSORS (AS SHOWN BY GROUPING).
- F. CONTRACTOR TO VERIFY VOLTAGE OF EXISTING LUMINAIRES. ALL NEW OCCUPANCY SENSORS, LIGHT SWITCHES, DIMMERS TO MATCH VOLTAGE RATING OF LUMINAIRES.
- G. CONTRACTOR MUST HIRE AND DIRECTLY INTERFACE WITH LIGHTING CONTROLS MANUFACTURER. PROVIDE ALL NECESSARY COMPONENTS, DEVICES, WIRING, PROGRAMMING FOR A FULLY FUNCTIONAL LIGHTING CONTROLS SYSTEMS.
- H. CONTRACTOR SHALL PROVIDE AND PAY FOR COMMISSIONING AND PROGRAMMING OF TIME CLOCK AND LIGHTING CONTROLS DEVICES. COORDINATE DIRECTLY WITH CLIENT FOR HOURS TO BE USED FOR TIME CLOCK FUNCTION. CONTRACTOR MUST CARRY THE COST OF INDEPENDENT THIRD PARTY TO PERFORM THE COMMISSIONING. SUBMIT COMMISSIONING REPORT TO THE ELECTRICAL CONSULTANT UPON COMPLETION.
- I. CONTRACTOR TO INSTALL WIRELESS ACCESS POINTS. DEVICES TO BE SUPPLIED BY OWNER.
- J. CONTRACTOR SHALL NOTIFY CLIENT PRIOR TO STARTING ANY WORK IN THE 3RD FLOOR SERVER ROOM. THIS DATA ROOM IS CENTRAL HUB AND MUST NOT BE SHUT DOWN WITHOUT PERMISSION.

KEY NOTES

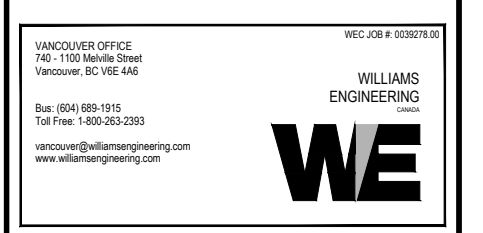
- 1. SMALL-CASE LETTER 'z#' ON LAYOUT INDICATE LOW VOLTAGE LIGHTING CONTROLS GROUPING.
- 2. REFER TO KEYNOTES - ELECTRICAL ROOM ON DRAWING E803.
- 3. PROVIDE LOW VOLTAGE CONTROLS SYSTEM TO BE rLIGHT CONTROLS. PROVIDE THE FOLLOWING:
 - 3.1 **LC** = INDICATES LIGHTING CONTROLLERS (rLIGHT POWER PACKS) TO CONTROL THE LIGHTS PER GROUPING. POWER PACKS TO BE RATED 347V.
 - 3.2 rLIGHT LOW VOLTAGE CEILING MOUNTED OCCUPANCY SENSORS. AS INDICATED BY THE LIGHTING CONTROLS GROUPING, LIGHTING CIRCUITS SHALL BE WIRED SUCH THAT WHEN ONE OF THE OCCUPANCY SENSORS DETECTS AN OCCUPANT, ALL ASSOCIATED LIGHTS SHALL TURN 'ON'.
 - 3.3 rLIGHT LOW VOLTAGE WALL MOUNTED SWITCH.
 - 3.4 LOW VOLTAGE OCCUPANCY SENSORS TO AUTOMATICALLY TURN LIGHTS 'ON' UPON OCCUPANCY AND MUST AUTOMATICALLY TURN LIGHTS 'OFF' AFTER 30 MINUTES OF VACANCY IS DETECTED.
- 4. PROVIDE LINE VOLTAGE WALL MOUNTED OCCUPANCY SENSOR. CONFIRM VOLTAGE OF LIGHT CIRCUITS AT SITE AND MATCH EXISTING VOLTAGE.
 - 4.1 ENSURE THAT ALL SENSORS ARE NOT OBSTRUCTED BY ANY OBJECT INCLUDING THE DOOR. MOUNT SENSORS 2" AWAY FROM DOOR SWING.
 - 4.2 RE-WIRE ROOM LUMINAIRES TO BE CONTROLLED BY LOCAL SENSOR.
 - 4.3 LINE VOLTAGE OCCUPANCY SENSORS TO BE CONFIGURED AS MANUAL 'ON' AND AUTO 'OFF' AFTER 30 MINUTES OF VACANCY IS DETECTED.
 - 4.4 UTILIZE SENSORSWITCH BRAND - WSX-PDT-SA-120V OR WSX-PDT-SA-347V, DUAL TECHNOLOGY.
- 5. RE-WIRE INDICATED LIGHTS PREVIOUSLY LOCATED INSIDE OFFICE ROOMS TO BE PART OF THE OPEN OFFICE SPACE LIGHTING CIRCUIT(S) AND CONTROLS.
- 6. PROVIDE NEW FIRE ALARM SPEAKERS AS SHOWN ON LAYOUT. SPEAKER BRAND AND TYPE TO MATCH EXISTING. EXTEND WIRING TO NEW DEVICES.
- 10. PROVIDE ALTERNATE PRICE TO IMPLEMENT DESIGN AS SHOWN ON THE INDICATED AREAS. PROVIDE THE BASE PLAN DESIGN SHOWN ON DWG. E701 FOR THE ENTIRE FLOOR SPACE OUTSIDE OF THESE INDICATED AREAS.



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 3F-575 8TH AVE WEST
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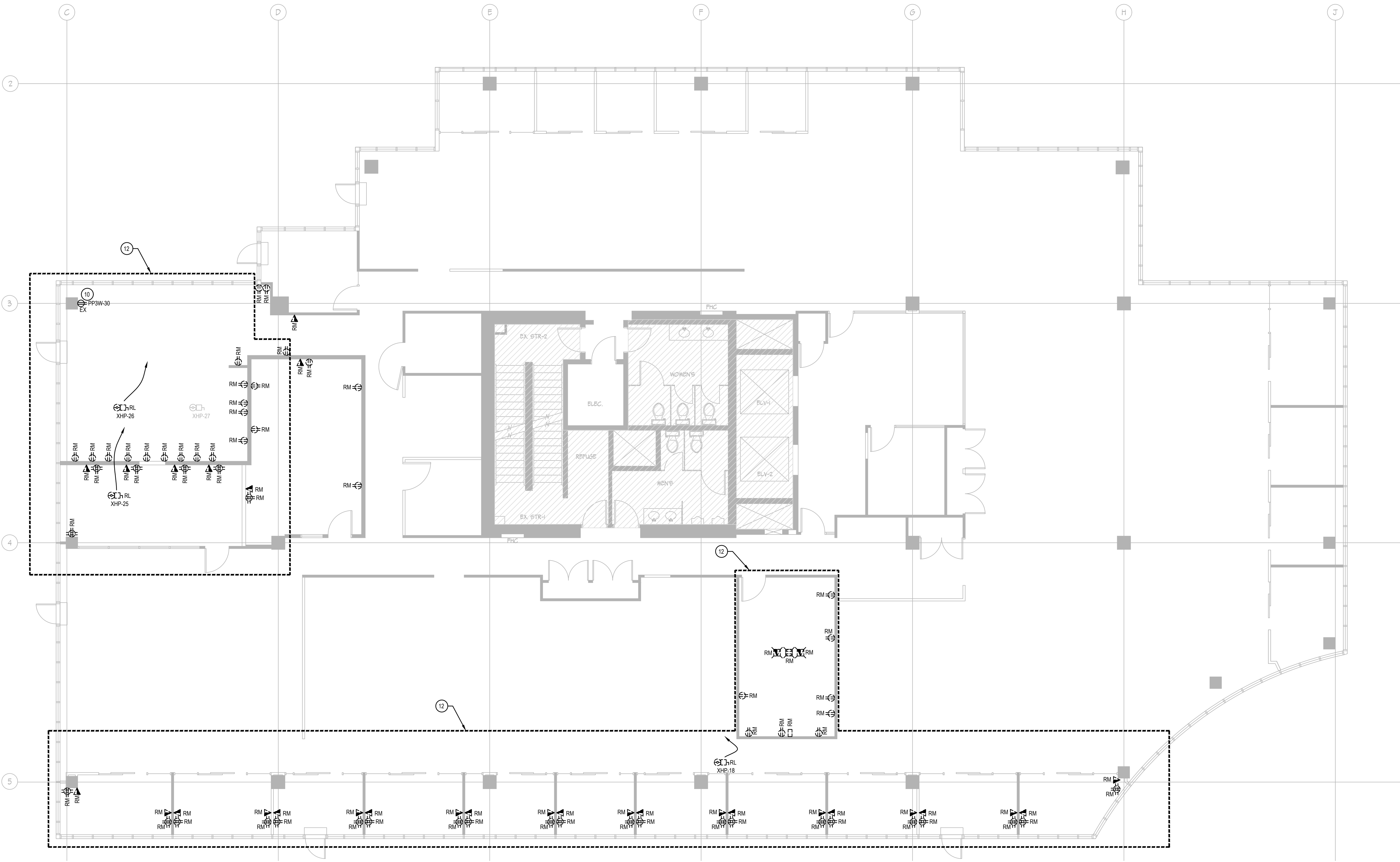
SHEET TITLE
 3RD FLOOR ALTERNATE PRICE NEW LIGHTING & FIRE ALARM PLAN

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E801

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CHERNOFF THOMPSON ARCHITECTS



1 DEMOLITION POWER & LOW TENSION PLAN
E802 1:75

GENERAL NOTES

- A. CONTRACTOR MUST PERFORM A SITE VISIT AND BASE THE COUNT OF LUMINAIRES, OUTLETS, WIRING AND DEVICES TO BE REMOVED OR TO BE RE-LOCATED FROM THE SITE VISIT. INFORMATION SHOWN ON THESE LAYOUTS ARE ESTIMATED ONLY AND MAY NOT INCLUDE ALL EXISTING CONDITION.
- B. ALL DEMOLITION WORK MUST BE DONE AFTER HOURS UNLESS OTHERWISE PRE-APPROVED BY THE LANDLORD.
- C. FOR ALL WORK PERTAINING TO FIRE ALARM SYSTEM, CONTRACTOR MUST COORDINATE DIRECTLY WITH BASE BUILDING SUPERINTENDENT PRIOR TO STARTING WORK.
- D. NO ELECTRICAL CIRCUITS, FANS OR PUMPS ARE TO BE TURNED OFF WITHOUT PRIOR PERMISSION OF THE BASE BUILDING SUPERINTENDENT. CONTRACTOR MUST COORDINATE DIRECTLY PRIOR TO STARTING WORK.
- E. REFER TO MECHANICAL DRAWINGS TO DETERMINE WHICH MECHANICAL UNITS ARE TO REMAIN, TO BE RE-LOCATED OR TO BE REMOVED. ASSOCIATED ELECTRICAL POWER AND WIRING TO BE REMOVED OR RE-LOCATED ACCORDINGLY.
- F. UNLESS NOTED OTHERWISE, WHERE INDICATED AS 'RM' ON LAYOUT, CONTRACTOR TO REMOVE INDICATED EXISTING LUMINAIRES, OUTLETS, JUNCTION BOXES AND DEVICES THAT WILL NOT BE RE-USED. ASSOCIATED WIRING AND CONDUIT TO BE REMOVED BACK TO SOURCE. FIRE-STOP ALL OPENINGS ON FIRE RATED SEPARATIONS.
- G. EXISTING CEILING ZONE JUNCTION BOX SYSTEM TO REMAIN TO BE RE-USED. RE-LOCATE AS NEEDED.
- H. CONTRACTOR MAY RE-USE CIRCUITS OF OUTLETS BEING REMOVED IF EXISTING LOCATIONS ARE IN CLOSE PROXIMITY OF NEW OUTLETS SHOWN ON THE NEW POWER LAYOUT.

KEY NOTES - ELECTRICAL ROOM

- 1. APPROX. LOCATION OF EXISTING PANEL LP3W, 225A, 600/347V, 42CCTS.
- 2. APPROX. LOCATION OF EXISTING LIGHTING CONTROLS RELAY PANEL.
- 3. APPROX. LOCATION OF EXISTING PANEL M3W, 225A, 208/120V, 60CCTS
- 4. APPROX. LOCATION OF EXISTING PANEL PP3W, 225A, 208/120V, 84CCTS
- 5. APPROX. LOCATION OF EXISTING 45KVA TRANSFORMER.

KEY NOTES:

- 10. FOR OUTLETS LABELED EXISTING TO RE-USED, CONTRACTOR SHALL REPLACE ALL EXISTING 15A RATED OUTLETS WITH 20A RATED OUTLETS. REPLACE ASSOCIATED 15A BREAKER WITH 20A BREAKER.
- 11. EXISTING WIREMOLD TO BE REMOVED.
- 12. PROVIDE ALTERNATE PRICE TO IMPLEMENT DEMOLITION DESIGN AS SHOWN ON THE INDICATED AREAS. PROVIDE THE BASE PLAN DEMOLITION DESIGN SHOWN ON DWG. E702 FOR THE ENTIRE FLOOR SPACE OUTSIDE OF THESE INDICATED AREAS.



3	01/05/2019	ISSUED FOR BUILDING PERMIT AND TENDER
2	24/04/2019	REVIEW
1	27/02/2019	REVIEW
No.	DATE	ISSUED FOR:
	(dd/mm/yr)	

PROJECT TITLE
TENANT FIT-OUT FOR ECHELON CENTRE
3F-575 8TH AVE WEST
VANCOUVER

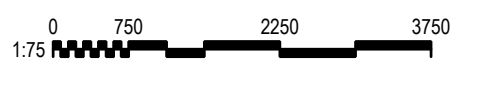
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SHEET TITLE
3RD FLOOR
ALTERNATE PRICE
DEMOLITION
POWER & LOW
TENSION PLAN

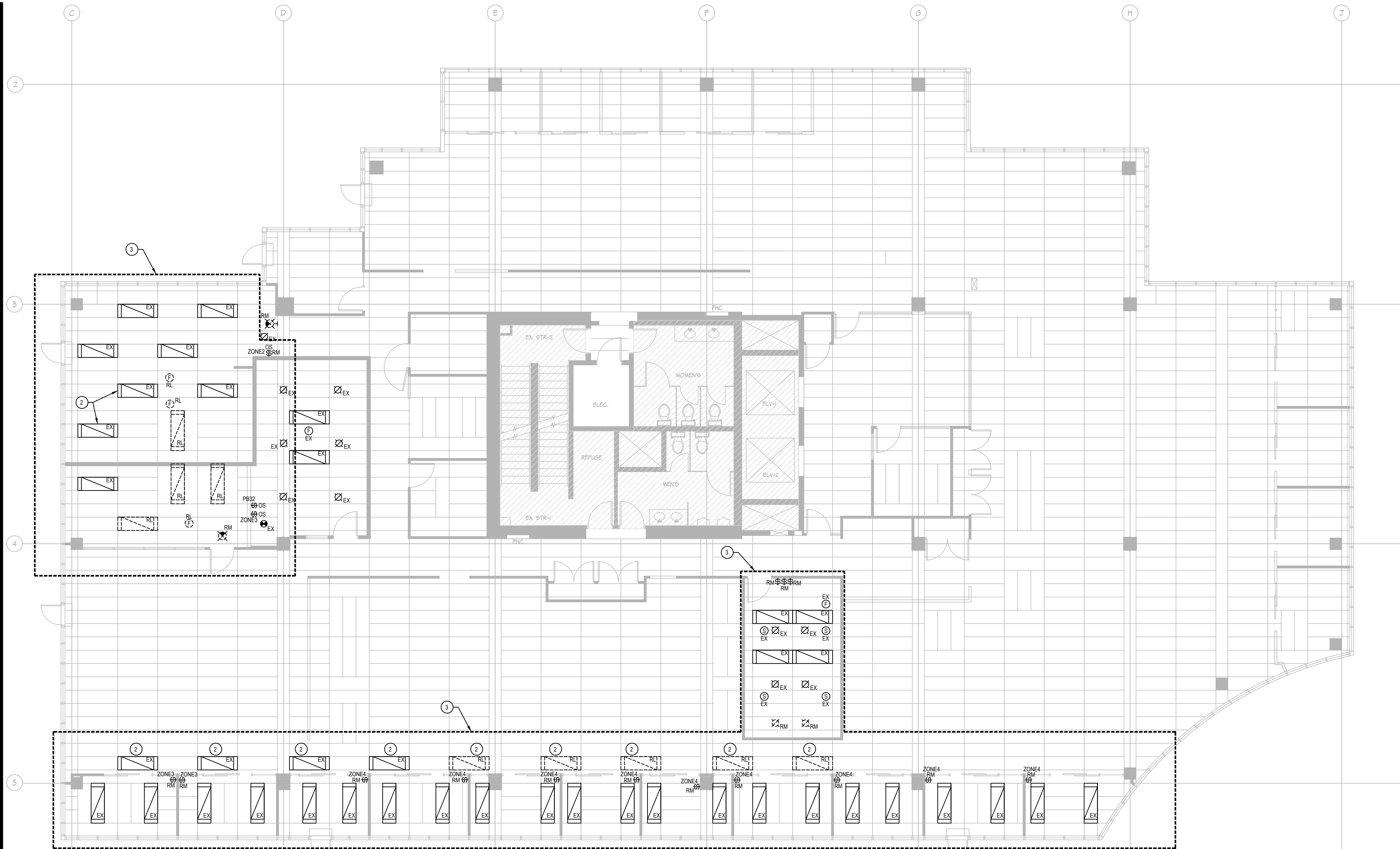
PROJECT No.	0030278.00
DRAWN	AG
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SCALE	-
DATE	FEBRUARY 2019
PRINTED	MAY 2019

E802



CHERNOFF THOMPSON ARCHITECTS

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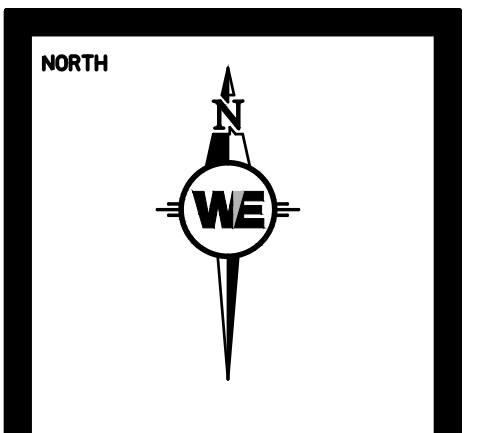
1 DEMOLITION LIGHTING & FIRE ALARM PLAN
E803 1:75

GENERAL NOTES

- A. CONTRACTOR MUST PERFORM A SITE VISIT AND BASE THE COUNT OF LUMINAIRES, OUTLETS, WIRING AND DEVICES TO BE REMOVED OR TO BE RE-LOCATED FROM THE SITE VISIT. INFORMATION SHOWN ON THESE LAYOUTS ARE ESTIMATED ONLY AND MAY NOT INCLUDE ALL EXISTING CONDITION.
- B. FOR ALL WORK PERTAINING TO FIRE ALARM SYSTEM, CONTRACTOR MUST COORDINATE DIRECTLY WITH BASE BUILDING SUPERINTENDENT PRIOR TO STARTING WORK.
- C. NO ELECTRICAL CIRCUITS, FANS OR PUMPS ARE TO BE TURNED OFF WITHOUT PRIOR PERMISSION OF THE BASE BUILDING SUPERINTENDENT. CONTRACTOR MUST COORDINATE DIRECTLY PRIOR TO STARTING WORK.
- D. REFER TO MECHANICAL DRAWINGS TO DETERMINE WHICH MECHANICAL UNITS ARE TO REMAIN, TO BE RE-LOCATED OR TO BE REMOVED. ASSOCIATED ELECTRICAL POWER AND WIRING TO BE REMOVED OR RE-LOCATED ACCORDINGLY.
- E. UNLESS NOTED OTHERWISE, WHERE INDICATED AS 'RM' ON LAYOUT, CONTRACTOR TO REMOVE INDICATED EXISTING LUMINAIRES, OUTLETS, JUNCTION BOXES AND DEVICES THAT WILL NOT BE RE-USED. ASSOCIATED WIRING AND CONDUIT TO BE REMOVED BACK TO SOURCE. FIRE-STOP ALL OPENINGS ON FIRE RATED SEPARATIONS.
- F. CONTRACTOR TO RE-USE EMERGENCY CIRCUITS FOR EXIT SIGNS AND EMERGENCY LIGHTS.
- G. CONTRACTOR TO RE-LOCATE EXISTING LIGHT FIXTURES AS INDICATED TO ACCOMMODATE NEW WALL PARTITION LAYOUT. LIGHTS LABELED AS 'RL' TO BE RE-LOCATED. REFER TO NEW LIGHTING LAYOUT FOR NEW LOCATIONS.
- H. CONTRACTOR TO REMOVE ALL EXISTING EXIT SIGNS TO BE REPLACED BY NEW GREEN RUNNING MAN TYPE EXIT SIGNS. REFER TO NEW LIGHTING LAYOUT FOR LOCATIONS AND SPECIFICATIONS OF NEW EXIT SIGNS. EXTEND EXISTING EMERGENCY CIRCUITS TO NEW LOCATIONS.
- I. CONTRACTOR SHALL NOTIFY CLIENT PRIOR TO STARTING ANY WORK IN THE 3RD FLOOR SERVER ROOM. THIS DATA ROOM IS CENTRAL HUB AND MUST NOT BE SHUT DOWN WITHOUT PERMISSION.

KEY NOTES

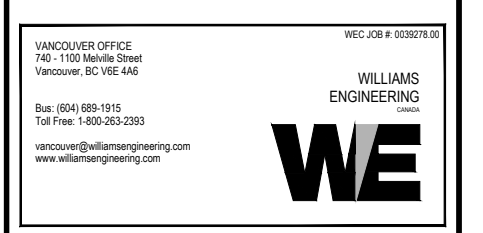
- 1. (NOT USED).
- 2. RE-WIRE INDICATED LIGHTS TO BE TIED TO NEW LOCAL OCCUPANCY SENSOR.
- 3. PROVIDE ALTERNATE PRICE TO IMPLEMENT DEMOLITION DESIGN AS SHOWN ON THE INDICATED AREAS. PROVIDE THE BASE PLAN DEMOLITION DESIGN SHOWN ON DWG. E703 FOR THE ENTIRE FLOOR SPACE OUTSIDE OF THESE INDICATED AREAS.



3	01/05/2019	ISSUED FOR BUILDING PERMIT AND TENDER
2	24/04/2019	REVIEW
1	27/02/2019	REVIEW
No.	DATE	ISSUED FOR:
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PROJECT TITLE
TENANT FIT-OUT FOR ECHELON CENTRE
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VANCOUVER

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SHEET TITLE
3RD FLOOR
ALTERNATE PRICE
DEMOLITION
LIGHTING & FIRE
ALARM PLAN

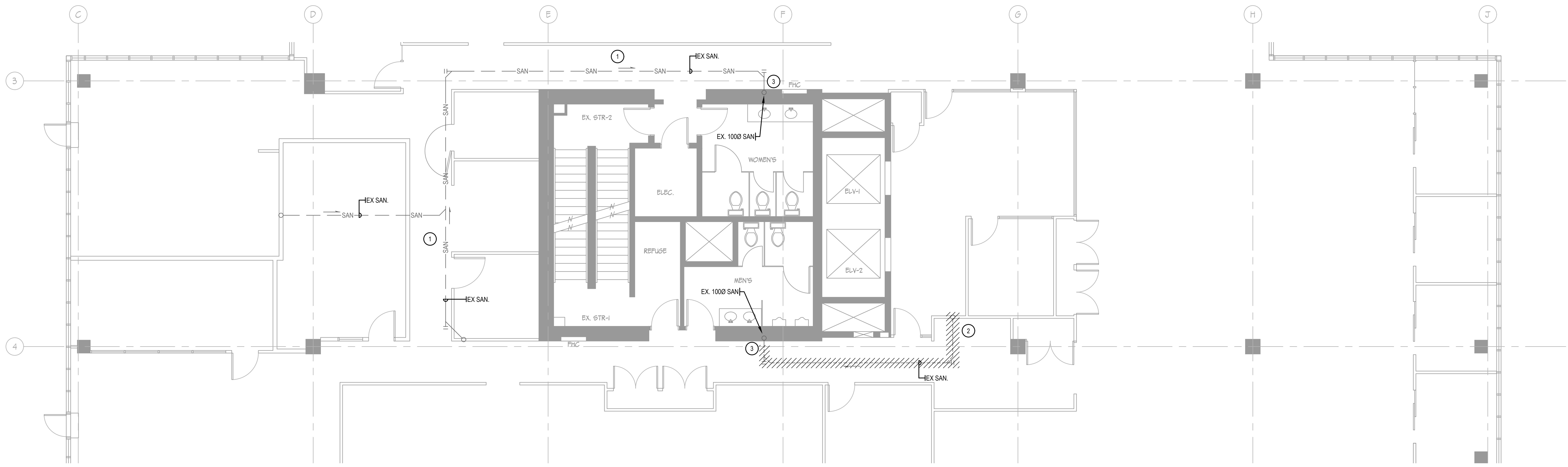
PROJECT No.	0030279.00
DRAWN	AG
CHECKED	-
SCALE	-
DATE	FEBRUARY 2019
PRINTED	MAY 2019

E803

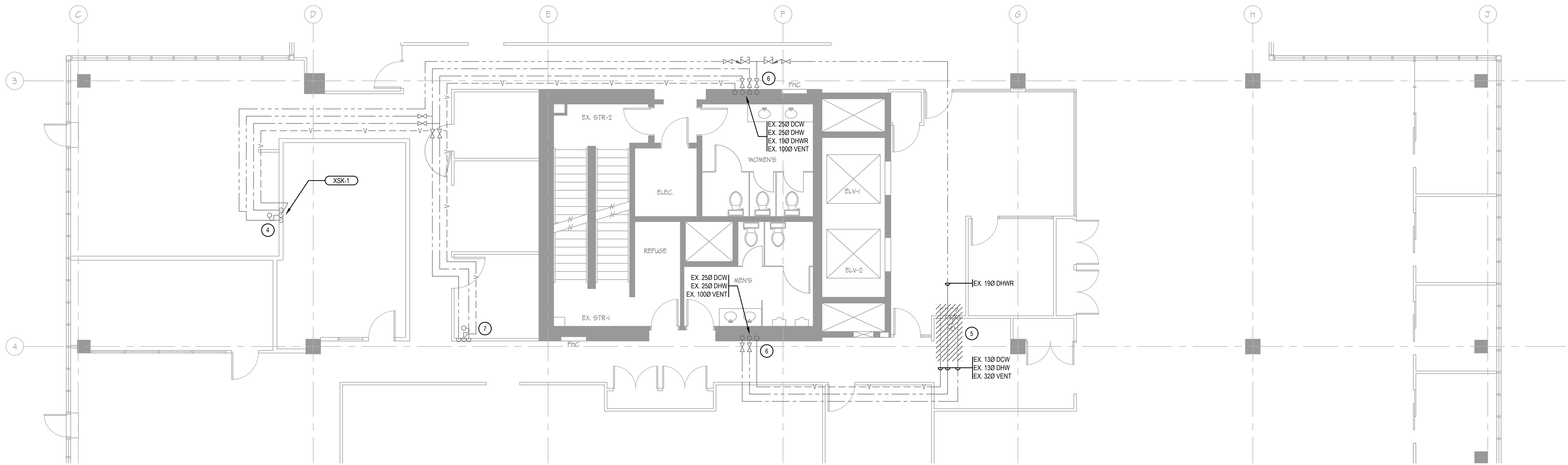


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A SANITARY DEMOLITION PLAN
M-2.0 SCALE = 1/75



B PLUMBING DEMOLITION PLAN
M-2.0 SCALE = 1/75



3	01/05/19	BUILDING PERMIT & TENDER
2	24/04/19	REVIEW
1	27/02/19	REVIEW
No.	DATE	ISSUED FOR:
	(dd/mm/yy)	

PROJECT TITLE
TENANT FIT-OUT
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www.williamsengineering.com

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INC.
WE

SHEET TITLE
SANITARY & PLUMBING
DEMOLITION PLANS

PROJECT No.	030278.00
DRAWN	VR
CHECKED	FK
SCALE	1/75
DATE	MAY 2019
PRINTED	MAY 1, 2019

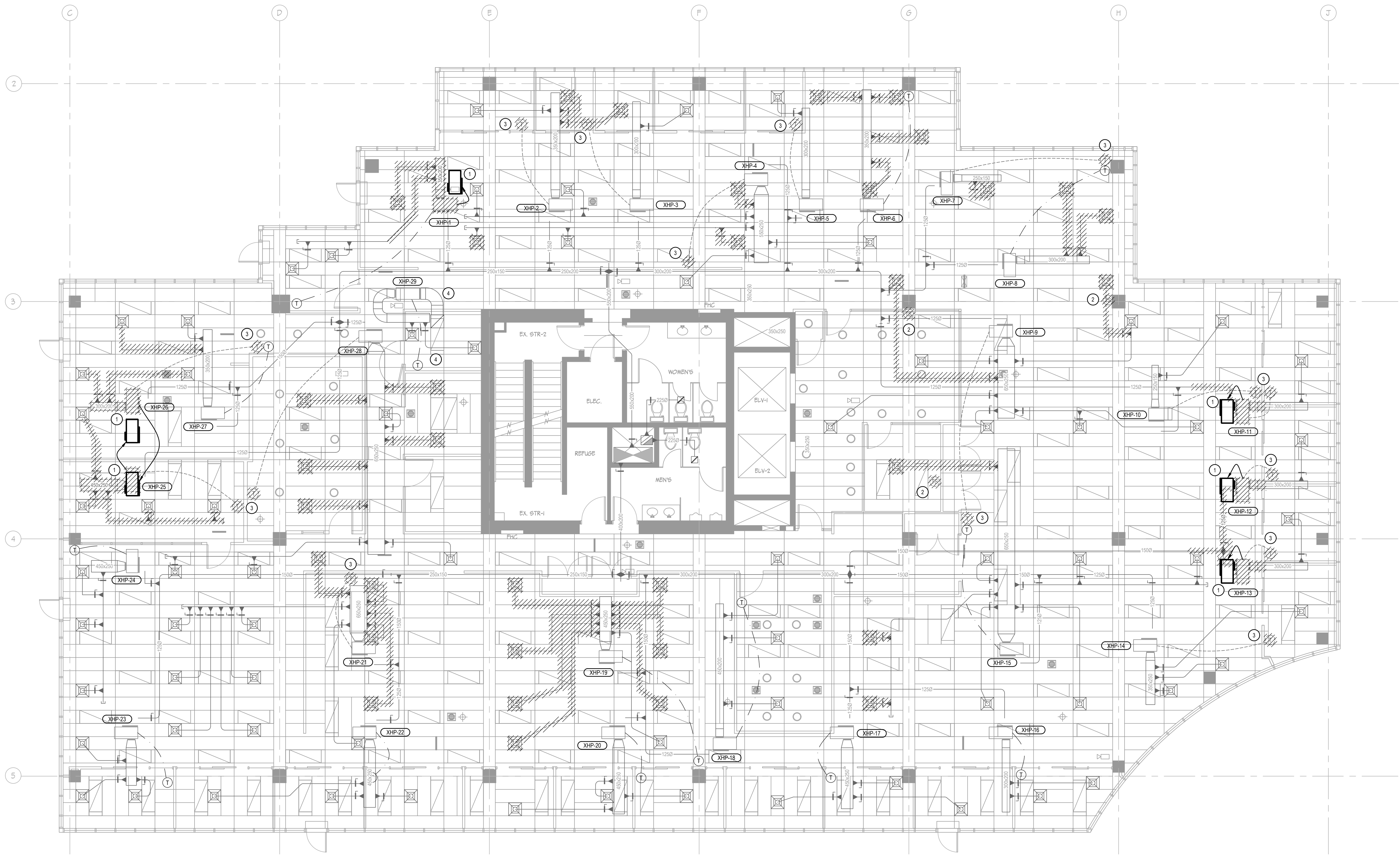
DRAWING NOTES

- RETAIN EXISTING SANITARY DRAIN PIPES IN CEILING SPACE OF LEVEL BELOW. CONTRACTOR TO CONFIRM SANITARY ROUTE ON SITE PRIOR TO START OF WORK.
- SANITARY DRAIN PIPE FROM SINK ABOVE TO BE DISCONNECTED AND REMOVED UP TO BASE BUILDING CONNECTION. RETAIN 1000 SANITARY MAIN FOR RECONNECTION TO NEW. SEAL PIPE PENETRATION AT FLOOR AND MATCH EXISTING FLOOR FIRE RATING.
- CONTRACTOR TO CONFIRM LOCATION OF SANITARY MAIN AND CONNECTION PRIOR TO START OF WORK.
- RETAIN EXISTING PLUMBING FIXTURES AND ASSOCIATED DOMESTIC WATER, DRAIN AND VENT PIPE FOR REUSE.
- DISCONNECT AND REMOVE EXISTING SINK AND ASSOCIATED DOMESTIC WATER, DRAIN AND VENT PIPES WHERE INDICATED HATCHED. RETAIN WATER AND VENT MAINS IN CEILING SPACE FOR RECONNECTION TO NEW SINK.
- CONTRACTOR TO CONFIRM LOCATION OF PLUMBING SERVICE MAINS AND CONNECTIONS PRIOR TO START OF WORK.
- RETAIN EXISTING DOMESTIC WATER, DRAIN AND VENT PIPE ROUGH-INS FOR REUSE.

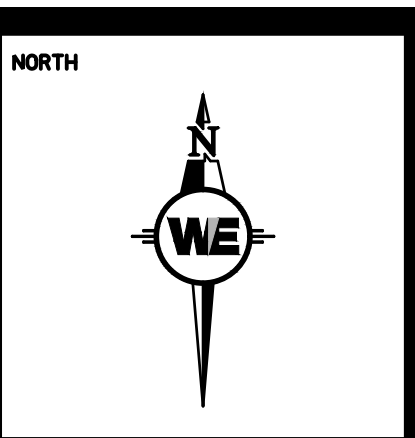
M-2.0

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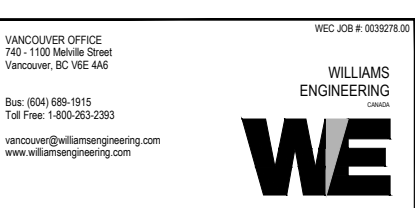
A MECHANICAL DEMOLITION PLAN
M-2.1A SCALE = 1:75



3	01/05/19	BUILDING PERMIT & TENDER
2	24/04/19	REVIEW
1	27/02/19	REVIEW
No.	DATE	ISSUED FOR:
	04/05/19	

PROJECT TITLE
 TENANT FIT-OUT
 FOR ECHELON
 CENTRE
 3F-575 8TH AVE WEST
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SHEET TITLE
 BASE MECHANICAL
 DEMOLITION PLAN

PROJECT No.	0330278.00
DRAWN	VR
CHECKED	FK
SCALE	1:75
DATE	MAY 2019
PRINTED	MAY 1, 2019

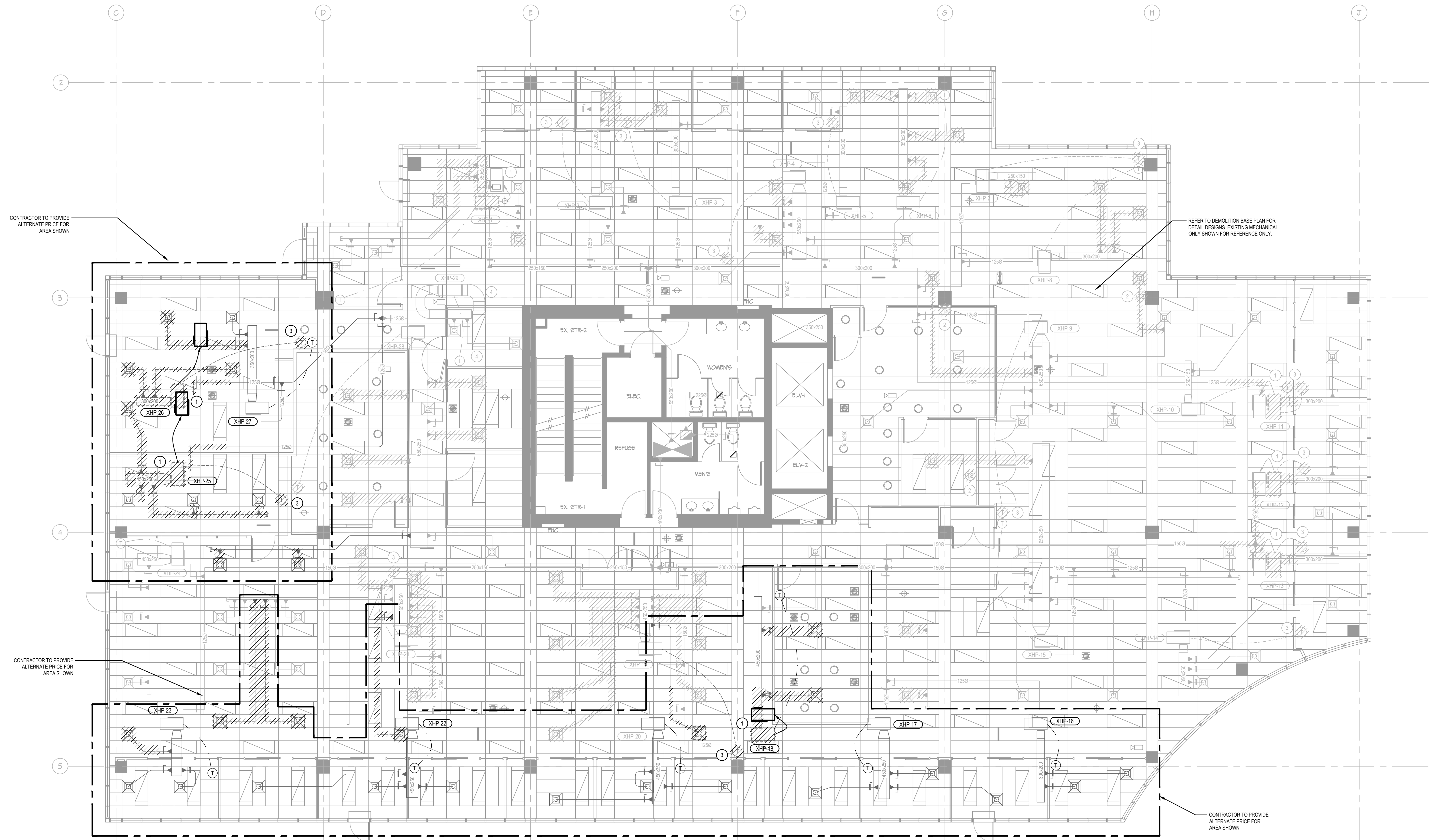
M-2.1A

- DRAWING NOTES**
- 1 RELOCATE EXISTING HEAT PUMP UNIT TO NEW LOCATION SHOWN. CONTRACTOR TO ALLOW FOR RE AND RE OF HEAT PUMP INCLUDING, BUT NOT LIMITED TO, EXTENDING CONDENSER WATER LINES, EXTENDING CONDENSATE DRAINS, CONTROLS, SEISMIC RESTRAINTS, DUCT WORK REINSTALLATIONS, ETC. CONFIRM LOCATION OF CONDENSER WATER PIPES AND CONDENSATE DRAINS ON SITE.
 - 2 EXISTING TEMPERATURE SENSORS TO BE DISCONNECTED AND REMOVED.
 - 3 EXISTING THERMOSTAT TO BE REMOVED FROM WALL AND RETAINED FOR RELOCATION. COIL UP THERMOSTAT NEXT TO ASSOCIATED HEAT PUMP AND WRAP IN POLY DURING CONSTRUCTION.
 - 4 EXISTING AIR CONDITIONING UNIT AND ASSOCIATED CONDENSING UNIT, CONTROLS, DUCT WORK AND DIFFUSERS SERVING EXISTING SERVER ROOM TO REMAIN.

- DEMOLITION GENERAL NOTES**
- 1 CONTRACTOR SHALL REVIEW AND CONFIRM ON SITE LOCATION OF ALL HVAC EQUIPMENT AND DUCTS PRIOR TO START OF WORK.
 - 2 DISCONNECT AND REMOVE EXISTING SUPPLY AIR DIFFUSER AND ASSOCIATED DUCT WORK WHERE INDICATED HATCHED.
 - 3 RETAIN AND CLEAN ALL SUPPLY AIR DIFFUSERS FOR REUSE. CONTRACTOR TO RECORD QUANTITY OF RETAINED DIFFUSERS AND PROVIDE NEW DIFFUSERS TO MATCH EXISTING AS REQUIRED.
 - 4 REMOVE EXISTING RETURN AIR GRILLES WHERE INDICATED.
 - 5 EXISTING THERMOSTATS TO BE REMOVED FROM WALL AND RELOCATED. EXISTING THERMOSTATS TO BE COILED UP NEXT TO ASSOCIATED HEAT PUMP AND WRAPPED IN POLY DURING CONSTRUCTION. REFER TO NEW MECHANICAL PLAN FOR LOCATION OF NEW THERMOSTAT.
 - 6 RETAIN ALL EXISTING HEAT PUMPS, SUPPLY AIR MAINS, CONDENSER WATER PIPES AND CONDENSATE DRAINS.
 - 7 ALL BASE BUILDING EXHAUST AND OUTDOOR AIR DUCTS TO REMAIN.
 - 8 ALL OPEN ENDED DUCTS AND BRANCH TAKE OFFS FROM DEMOLITION WORK TO BE CAPPED OFF UNLESS NOTED OTHERWISE.

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A MECHANICAL DEMOLITION PLAN
M-2.1B SCALE = 1:75

DRAWING NOTES

- 1 RELOCATE EXISTING HEAT PUMP UNIT TO NEW LOCATION SHOWN. CONTRACTOR TO ALLOW FOR RE AND RE OF HEAT PUMP INCLUDING, BUT NOT LIMITED TO, EXTENDING CONDENSER WATER LINES, EXTENDING CONDENSATE DRAINS, CONTROLS, SEISMIC RESTRAINTS, DUCT WORK REINSTALLATIONS, ETC. CONFIRM LOCATION OF CONDENSER WATER PIPES AND CONDENSATE DRAINS ON SITE.
- 2 NOTE REMOVED.
- 3 EXISTING THERMOSTAT TO BE REMOVED FROM WALL AND RETAINED FOR RELOCATION. COIL UP THERMOSTAT NEXT TO ASSOCIATED HEAT PUMP AND WRAP IN POLY DURING CONSTRUCTION.
- 4 NOTE REMOVED.

DEMOLITION GENERAL NOTES

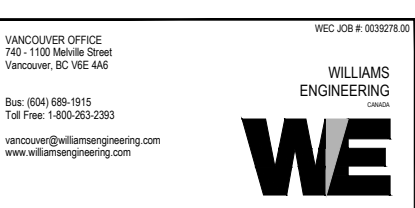
- 1 CONTRACTOR SHALL REVIEW AND CONFIRM ON SITE LOCATION OF ALL HVAC EQUIPMENT AND DUCTS PRIOR TO START OF WORK.
- 2 DISCONNECT AND REMOVE EXISTING SUPPLY AIR DIFFUSER AND ASSOCIATED DUCT WORK WHERE INDICATED HATCHED.
- 3 RETAIN AND CLEAN ALL SUPPLY AIR DIFFUSERS FOR REUSE. CONTRACTOR TO RECORD QUANTITY OF RETAINED DIFFUSERS AND PROVIDE NEW DIFFUSERS TO MATCH EXISTING AS REQUIRED.
- 4 REMOVE EXISTING RETURN AIR GRILLES WHERE INDICATED.
- 5 EXISTING THERMOSTATS TO BE REMOVED FROM WALL AND RELOCATED. EXISTING THERMOSTATS TO BE COILED UP NEXT TO ASSOCIATED HEAT PUMP AND WRAPPED IN POLY DURING CONSTRUCTION. REFER TO NEW MECHANICAL PLAN FOR LOCATION OF NEW THERMOSTAT.
- 6 RETAIN ALL EXISTING HEAT PUMPS, SUPPLY AIR MAINS, CONDENSER WATER PIPES AND CONDENSATE DRAINS.
- 7 ALL BASE BUILDING EXHAUST AND OUTDOOR AIR DUCTS TO REMAIN.
- 8 ALL OPEN ENDED DUCTS AND BRANCH TAKE OFFS FROM DEMOLITION WORK TO BE CAPPED OFF UNLESS NOTED OTHERWISE.



3	01/05/19	BUILDING PERMIT & TENDER
2	24/04/19	REVIEW
1	27/02/19	REVIEW
No.	DATE	ISSUED FOR:
	04/05/19	

PROJECT TITLE
TENANT FIT-OUT
FOR ECHELON
CENTRE
3F-575 8TH AVE WEST
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SHEET TITLE
ALTERNATE PRICE
MECHANICAL
DEMOLITION PLAN

PROJECT No.	0330278.00
DRAWN	VR
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SCALE	1:75
DATE	MAY 2019
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M-2.1B

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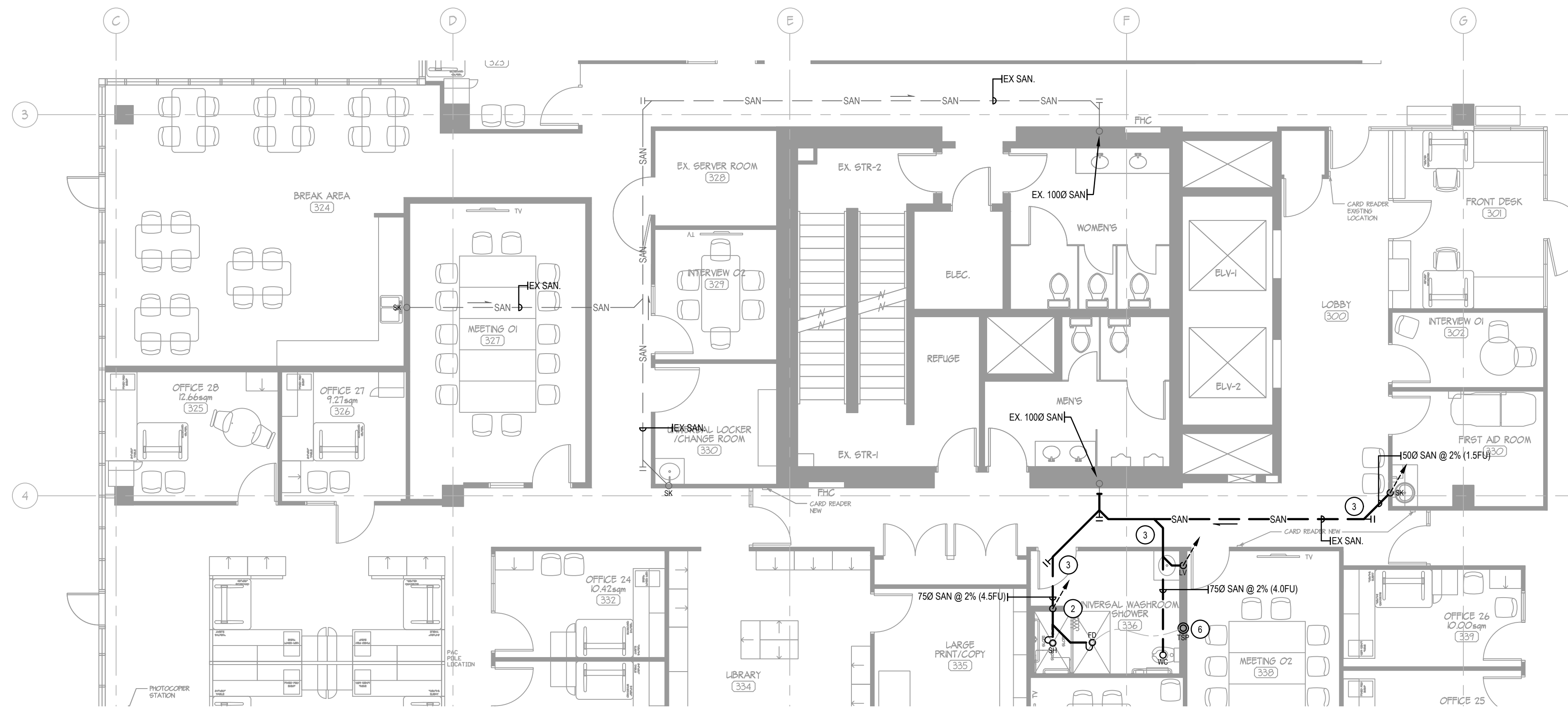
- ### PLUMBING GENERAL NOTES
- ALL PLUMBING REVISIONS AND INSTALLATIONS SHALL BE IN ACCORDANCE WITH THE 2014 VANCOUVER PLUMBING BY-LAW AND TO THE APPROVAL OF AUTHORITIES HAVING JURISDICTION.
 - COORDINATE ALL PLUMBING WORK WITH ALL OTHER TRADES PRIOR TO START OF WORK.
 - PROVIDE AND INSTALL NEW PLUMBING FIXTURES AS SPECIFIED AND PROVIDE NEW PLUMBING SERVICES TO SUIT AND CONNECT TO BASE BUILDING CONNECTIONS. CONTRACTOR TO VERIFY LOCATIONS OF BASE BUILDING SERVICES ON SITE.
 - COORDINATE PLUMBING FIXTURE ROUGH-IN REQUIREMENTS WITH PLUMBING FIXTURE SHOP DRAWINGS AND INSTALLATION MANUALS AS REQUIRED PRIOR TO START OF WORK.
 - CORE HOLE REQUIREMENTS SHALL BE X-RAYED OR GPR SCANNED PRIOR TO CORING. COORDINATE ALL X-RAY AND CORING REQUIREMENTS WITH BASE BUILDING STRUCTURAL ENGINEER PRIOR TO START OF WORK.
 - ALL DOMESTIC HOT AND COLD WATER PIPES SHALL BE PROVIDED WITH INSULATION AND VAPOUR SEAL AS PER MECHANICAL SPECIFICATIONS.
 - FIXTURE INSTALLATIONS SHALL INCLUDE ALL ASSOCIATED FLANGES, BALL VALVES, ANGLE STOPS, BRAIDED FLEX SUPPLIES, ESCUTCHEONS, ETC.
 - ALL PIPE PENETRATIONS SHALL BE FIRESTOPPED WHERE PASSING THROUGH A RATED SEPARATION. CONFIRM SEPARATION RATING OF WALL AND FLOOR PRIOR TO START OF WORK. ALL FIRE STOPPING WORK SHALL BE INSTALLED AS PER FIRE STOP MANUFACTURER'S RECOMMENDATIONS AND PRODUCT LISTING FOR ASSOCIATED APPLICATION. FIRE STOP INSTALLATION SHALL ONLY BE CARRIED OUT BY QUALIFIED TECHNICIANS CERTIFIED TO INSTALL THE APPLICABLE FIRE STOP PRODUCT. FIRE STOP PRODUCT SHALL BE ULC LISTED AND SUBMITTED TO THE ENGINEER FOR REVIEW / COMMENT PRIOR TO START OF WORK.
 - PROVIDE AND INSTALL TRAP SEAL PRIMER FOR ALL FLOOR DRAINS. DISTRIBUTION UNIT TO BE USED WHEN CONNECTING TO MULTIPLE FLOOR DRAINS. REFER TO TRAP PRIMER DETAIL AND MANUFACTURER'S INSTALLATION REQUIREMENTS.

- ### SPECIFIC NOTES
- SINK AND FAUCET IN EXISTING BREAK ROOM TO BE RETAINED FOR REUSE. SINK AND FAUCET TO BE CLEANED AND MADE LIKE NEW. PROVIDE NEW HOT WATER CONNECTION TO DISHWASHER.
 - VENT PIPE UP TO LEVEL ABOVE THROUGH WALL.
 - CONTRACTOR TO COORDINATE SANITARY INSTALLATIONS WITH EXISTING EQUIPMENT, STRUCTURAL BEAMS AND TENANT ROOMS ON SITE. DRAIN PIPES IN LEVEL BELOW SHALL NOT BE INSTALLED ABOVE EXISTING SERVER AND ELECTRICAL ROOMS.
 - INSTALL TWO NEW DOMESTIC HOT WATER TANKS IN CEILING SPACE OF WASHROOM. DRAIN PAN FROM HOT WATER TANKS TO DRAIN TO LAVATORY. REFER TO HOT WATER TANK DETAIL.
 - NEW SINK TO BE CONNECTED TO EXISTING DOMESTIC WATER, SANITARY AND VENT PLUMBING SERVICES.
 - TRAP SEAL PRIMER TO CONNECT TO WASHROOM FLOOR DRAIN.
 - CONNECT NEW DOMESTIC COLD WATER LINE TO EXISTING 250 WATER CONNECTION.

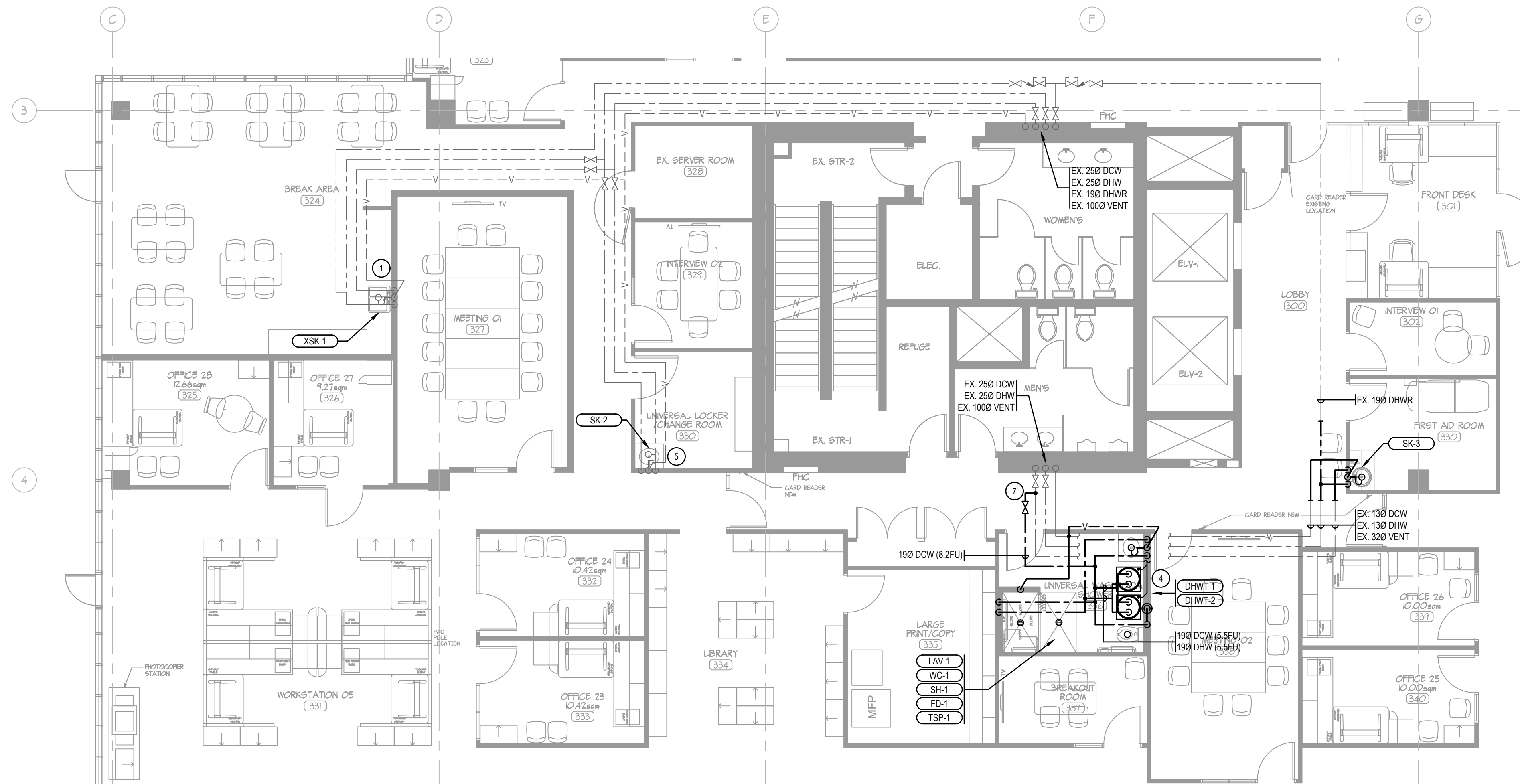
PLUMBING FIXTURE UNITS & MINIMUM PIPE CONNECTIONS

FIXTURE	TAG	QTY	CW	HW	SAN	VENT	COLD FU	HOT FU	COMBINE	TOTAL FU	SAN FU
LAVATORY	LAV-1	1	130	130	380	500	2.0	2.0	2.0	2.0	1.5
WATER CLOSET (FLUSH TANK)	WC-1	1	130	-	750	380	2.2	-	2.2	2.2	4.0
SHOWER	SH-1	1	130	130	500	380	4.0	4.0	4.0	4.0	1.5
EXISTING KITCHEN SINK	XSK-1	1	130	130	380	380	1.4	1.4	1.4	1.4	1.5
CHANGE ROOM SINK	SK-2	1	130	130	380	380	1.4	1.4	1.4	1.4	1.5
FIRST AID SINK	SK-3	1	130	130	380	380	1.4	1.4	1.4	1.4	1.5
DISHWASHER	DW-1	1	130	130	270	-	-	1.4	1.4	1.4	-
TRAP SEAL PRIMER	TSP-1	1	130	-	-	-	-	-	-	-	-
FLOOR DRAIN	FD-1	1	-	-	750	-	-	-	-	-	3.0

PLUMBING LINES ARE DESIGNED BASED ON A DETAILED ENGINEERING DESIGN METHOD AS PER THE VANCOUVER BUILDING BY-LAW 2014



A NEW SANITARY PLAN
SCALE = 1:75



A NEW PLUMBING PLAN
SCALE = 1:75

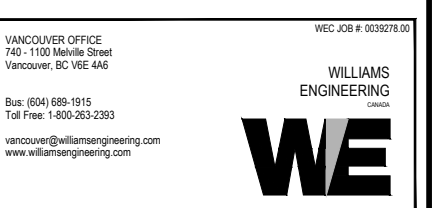


3	01/05/19	BUILDING PERMIT & TENDER
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No. DATE ISSUED FOR:
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PROJECT TITLE
TENANT FIT-OUT
FOR ECHOLON
CENTRE
3F-575 8TH AVE WEST
VANCOUVER

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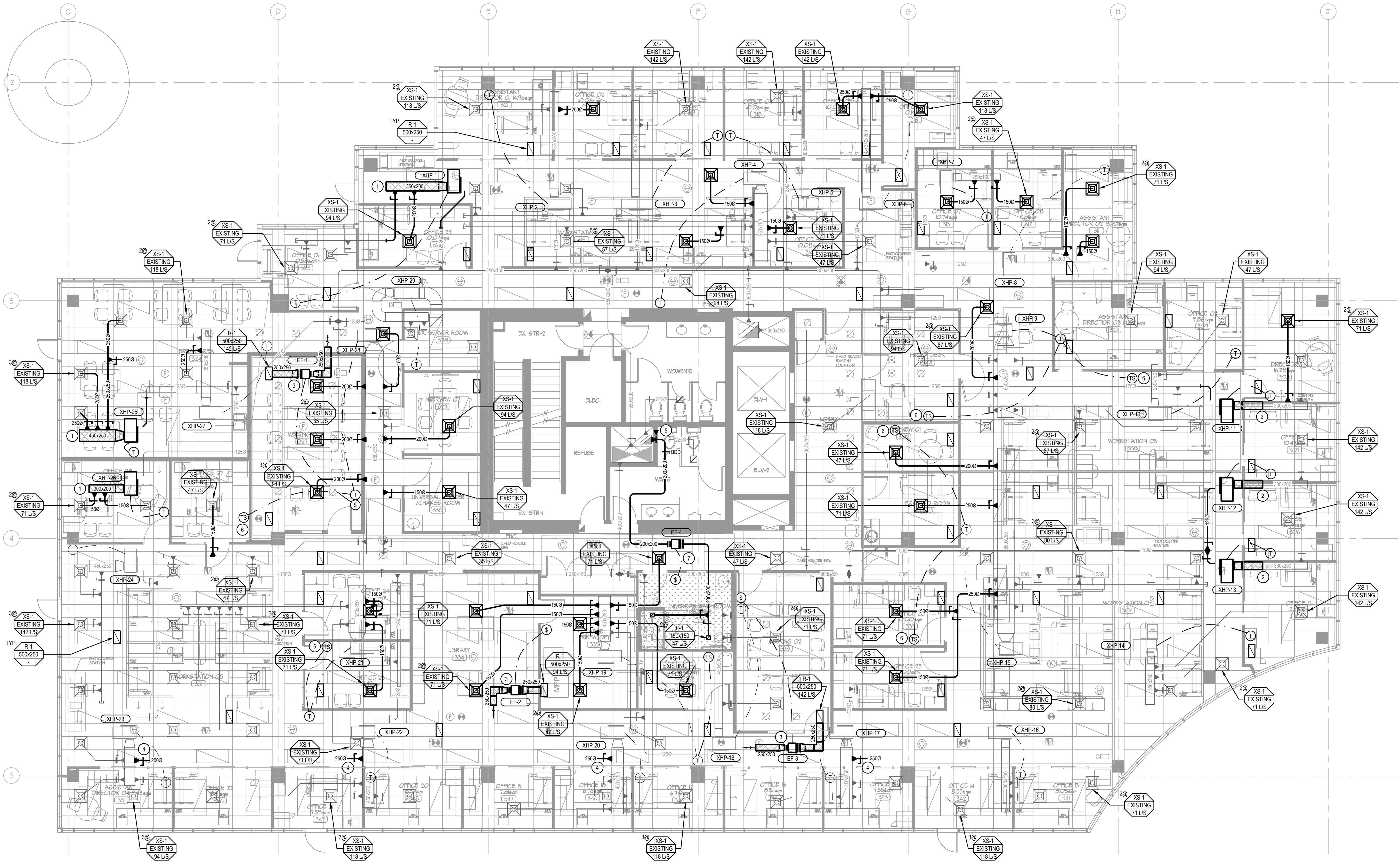
SHEET TITLE
NEW SANITARY & PLUMBING PLANS

PROJECT No. 0330278.00
DRAWN VR
CHECKED FK
SCALE 1:75
DATE MAY 2019
PRINTED MAY 1, 2019

M-3.0

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A NEW MECHANICAL PLAN
M-3.1A SCALE = 1/75

DRAWING NOTES

1. INSTALL NEW INTERNALLY LINED SUPPLY AIR MAIN FROM HEAT PUMP.
2. EXTEND NEW SUPPLY AIR DUCT FROM HEAT PUMP AND CONNECT TO EXISTING. DUCT SIZE TO MATCH EXISTING. PROVIDE INTERNAL INSULATION TO MATCH.
3. PROVIDE AND INSTALL NEW TRANSFER AIR FAN IN CEILING SPACE COMPLETE WITH WALL SWITCH, INTERNALLY LINED DUCT WORK, AND TRANSFER AIR GRILLE.
4. PROVIDE NEW SUPPLY AIR BLEED DUCT FOR BALANCING.
5. INSTALL NEW EXHAUST AIR DUCT FOR NEW WASHROOM AND ROUTE DUCT TO EXISTING CORE WASHROOM EXHAUST. CONNECT TO MAIN EXHAUST DUCT IN SHAFT AND PROVIDE NEW FIRE DAMPER AT SHAFT WALL AND GRAVITY BACK DRAFT DAMPER IN DUCT WORK. CONTRACTOR TO COORDINATE INSTALLATIONS ON SITE.
6. INSTALL NEW AVERAGING TEMPERATURE SENSOR ON WALL WHERE INDICATED AND CONNECT TO ASSOCIATED HEAT PUMP UNIT.
7. INSTALL NEW WASHROOM EXHAUST FAN IN CEILING SPACE. PROVIDE WALL SWITCH INSIDE WASHROOM.

HVAC GENERAL NOTES

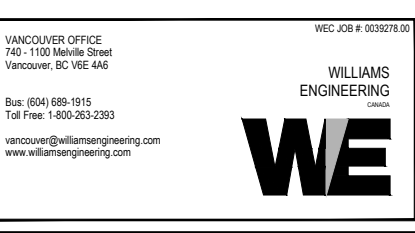
1. COORDINATE MECHANICAL INSTALLATIONS WITH ALL OTHER TRADES PRIOR TO COMMENCEMENT OF WORK.
2. SUPPLY AIR DIFFUSERS SHOWN AS NEW ARE REUSED DIFFUSERS FROM DEMOLITION. CLEAN ALL DIFFUSERS. CONTRACTOR TO RECORD QUANTITY OF REUSED DIFFUSERS. PROVIDE NEW DIFFUSERS (S-2) TO MATCH EXISTING WHERE QUANTITY OF REUSED IS LESS THAN REQUIRED.
3. EXTEND SUPPLY AIR BRANCH DUCT WHERE INDICATED CW INSULATION AND SUPPORTS AS PER SPECIFICATIONS AND MATCH EXISTING SIZE. EXTENDED DUCT FROM EXISTING SHALL BE HARD DUCT.
4. PROVIDE NEW SUPPLY AIR BRANCH DUCT WHERE INDICATED CW INSULATION AND SUPPORTS AS PER SPECIFICATIONS AND MATCH EXISTING SIZE.
5. PROVIDE FLEXIBLE DUCT TO DIFFUSER AND SHALL HAVE A MAXIMUM STRETCHED LENGTH OF 1500MM.
6. PROVIDE AND INSTALL NEW SUPPLY AIR DUCTS FROM EXISTING MAINS. DUCTS, DIFFUSERS AND HVAC EQUIPMENT SHALL BE INSTALLED ACCORDING TO SMACNA STANDARDS.
7. SEISMICALLY SECURE ALL NEW AND RELOCATED HVAC EQUIPMENT.
8. ALL INTERNALLY INSULATED DUCTS SIZES ARE INTERNALLY CLEAR DIMENSIONS.
9. BALANCE DIFFUSERS AND GRILLES TO NOTED AIR VOLUMES.
10. PROVIDE BALANCE DAMPERS ON BRANCH DUCTS TO DIFFUSERS. ENSURE BALANCE DAMPERS ARE ACCESSIBLE.
11. ALL NEW DUCT JOINT SEAMS SHALL BE SEALED ALL AROUND WITH MEDIUM PRESSURE DUCT SEALANT. USE OF DUCT TAPE SHALL NOT BE PERMITTED.
12. RELOCATE EXISTING THERMOSTATS TO NEW LOCATION SHOWN. MOUNT THERMOSTAT AT 1500MM ABOVE FINISHED FLOOR. COORDINATE MOUNTING LOCATION WITH FURNITURE PLAN. CLEAN AND VACUUM ALL EXISTING THERMOSTATS.
13. CONTRACTOR TO INSULATE ALL NEW AND EXISTING DUCT WORK WHERE NOT CURRENTLY INSULATED. CONTRACTOR TO CONFIRM ON SITE. INSULATE ALL DUCT WORK AS PER MECHANICAL SPECIFICATIONS.
14. BALANCE OUTDOOR AIR DUCTS TO BACK OF HEAT PUMP UNIT TO NOTED VOLUMES IN EXISTING HEAT PUMP SCHEDULE.
15. PROVIDE RETURN AIR GRILLE WHERE INDICATED.



3	01/05/19	BUILDING PERMIT & TENDER
2	24/04/19	REVIEW
1	27/02/19	REVIEW
No.	DATE	ISSUED FOR:
		(44/rev/yr)

PROJECT TITLE
TENANT FIT-OUT
FOR ECHOLON
CENTRE
3F-575 8TH AVE WEST
VANCOUVER

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cls: date:



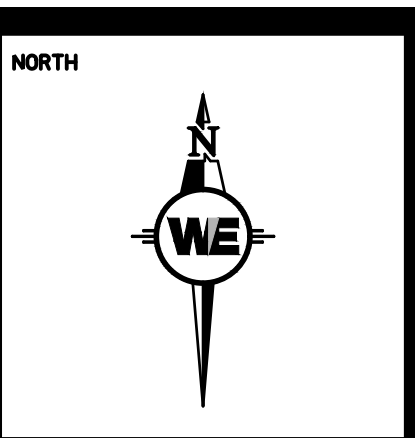
SHEET TITLE
BASE NEW
MECHANICAL PLAN

PROJECT No.	0330278.00
DRAWN	VR
CHECKED	FK
SCALE	1/75
DATE	MAY 2019
PRINTED	MAY 1, 2019

M-3.1A

CHERNOFF THOMPSON ARCHITECTS

110-1281 WEST GEORGIA, VANCOUVER, B.C. V6E 3J5
TELEPHONE (604) 689-9460 FAX (604) 683-7684

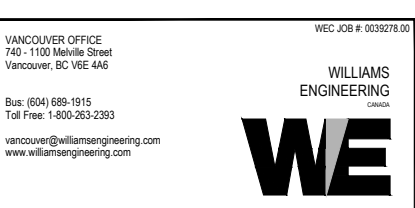


3	01/05/19	BUILDING PERMIT & TENDER
2	24/04/19	REVIEW
1	27/02/19	REVIEW
No.	DATE	ISSUED FOR:
	04/05/19	

110-1281 WEST GEORGIA, VANCOUVER, B.C. V6E 3J5
 TELEPHONE (604) 689-9460 FAX (604) 683-7684

PROJECT TITLE
 TENANT FIT-OUT
 FOR ECHELON
 CENTRE
 3F-575 8TH AVE WEST
 VANCOUVER

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 cta: date:

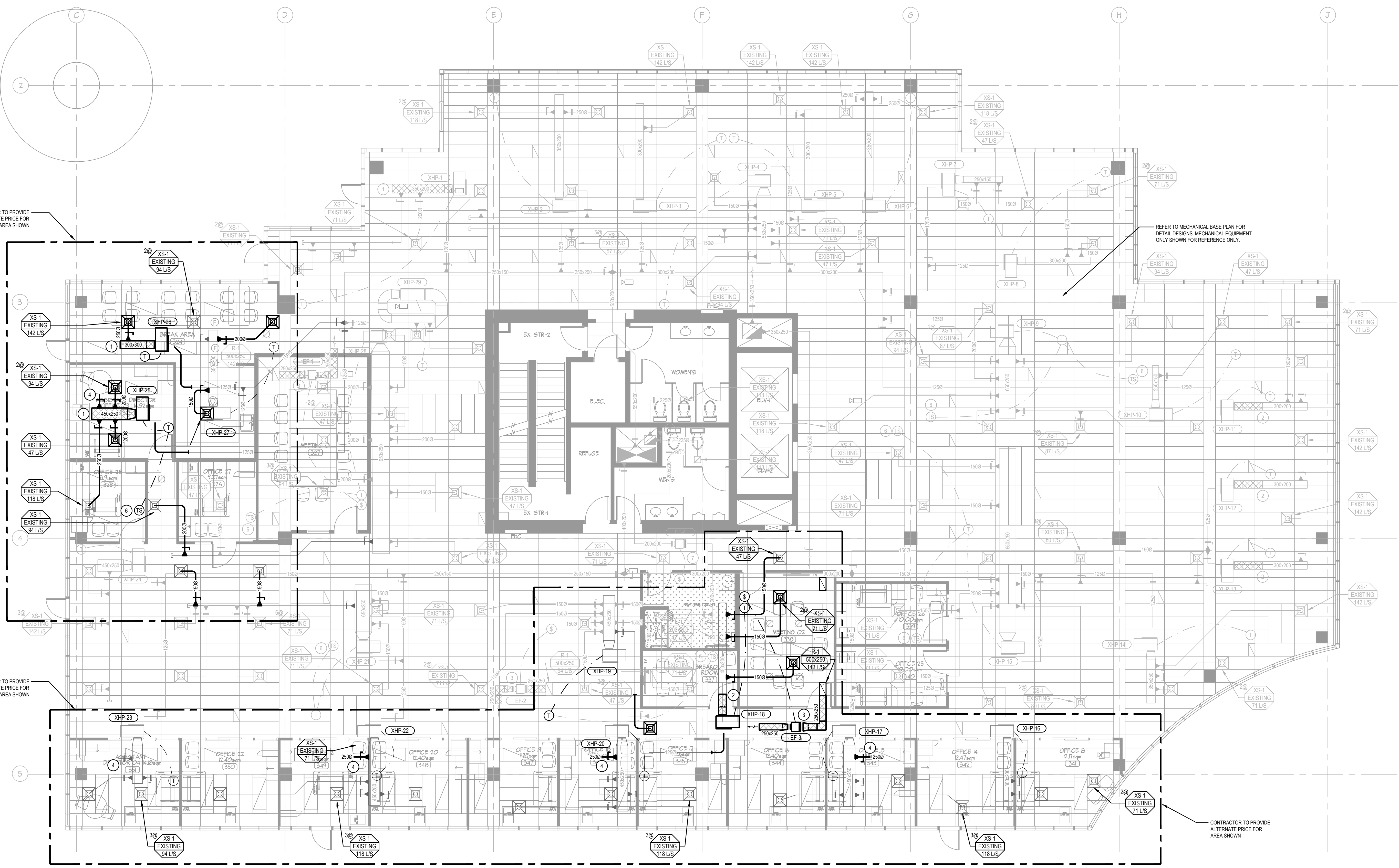


SHEET TITLE
 ALTERNATE PRICE
 NEW MECHANICAL PLAN

PROJECT No.	0330278.00
DRAWN	VR
CHECKED	FK
SCALE	1/75
DATE	MAY 2019
PRINTED	MAY 1, 2019

M-3.1B

CHERNOFF THOMPSON ARCHITECTS



CONTRACTOR TO PROVIDE ALTERNATE PRICE FOR AREA SHOWN

REFER TO MECHANICAL BASE PLAN FOR DETAIL DESIGNS. MECHANICAL EQUIPMENT ONLY SHOWN FOR REFERENCE ONLY.

CONTRACTOR TO PROVIDE ALTERNATE PRICE FOR AREA SHOWN

CONTRACTOR TO PROVIDE ALTERNATE PRICE FOR AREA SHOWN

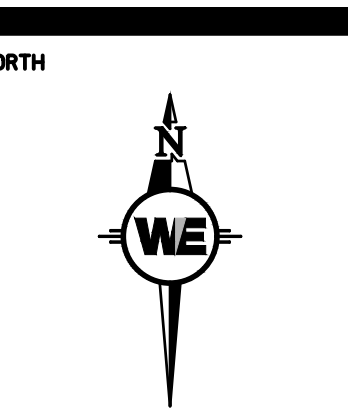
A NEW MECHANICAL PLAN
 M-3.1B SCALE = 1/75

DRAWING NOTES

1. INSTALL NEW INTERNALLY LINED SUPPLY AIR MAIN FROM HEAT PUMP.
2. EXTEND NEW SUPPLY AIR DUCT FROM HEAT PUMP AND CONNECT TO EXISTING. DUCT SIZE TO MATCH EXISTING. PROVIDE INTERNAL INSULATION TO MATCH.
3. PROVIDE AND INSTALL NEW TRANSFER AIR FAN IN CEILING SPACE COMPLETE WITH WALL SWITCH, INTERNALLY LINED DUCT WORK, AND TRANSFER AIR GRILLE.
4. PROVIDE NEW SUPPLY AIR BLEED DUCT FOR BALANCING.
5. NOTE REMOVED.
6. INSTALL NEW AVERAGING TEMPERATURE SENSOR ON WALL WHERE INDICATED AND CONNECT TO ASSOCIATED HEAT PUMP UNIT.

HVAC GENERAL NOTES

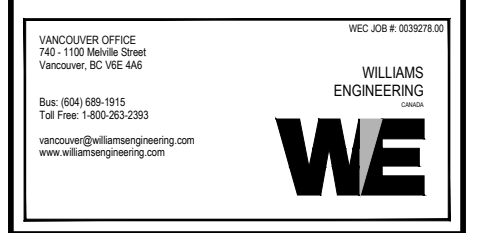
1. COORDINATE MECHANICAL INSTALLATIONS WITH ALL OTHER TRADES PRIOR TO COMMENCEMENT OF WORK.
2. SUPPLY AIR DIFFUSERS SHOWN AS NEW ARE REUSED DIFFUSERS FROM DEMOLITION. CLEAN ALL DIFFUSERS. CONTRACTOR TO RECORD QUANTITY OF REUSED DIFFUSERS. PROVIDE NEW DIFFUSERS (S-2) TO MATCH EXISTING WHERE QUANTITY OF REUSED IS LESS THAN REQUIRED.
3. EXTEND SUPPLY AIR BRANCH DUCT WHERE INDICATED CW INSULATION AND SUPPORTS AS PER SPECIFICATIONS AND MATCH EXISTING SIZE. EXTENDED DUCT FROM EXISTING SHALL BE HARD DUCT.
4. PROVIDE NEW SUPPLY AIR BRANCH DUCT WHERE INDICATED CW INSULATION AND SUPPORTS AS PER SPECIFICATIONS.
5. PROVIDE FLEXIBLE DUCT TO DIFFUSER AND SHALL HAVE A MAXIMUM STRETCHED LENGTH OF 1500MM.
6. PROVIDE AND INSTALL NEW SUPPLY AIR DUCTS FROM EXISTING MAINS. DUCTS, DIFFUSERS AND HVAC EQUIPMENT SHALL BE INSTALLED ACCORDING TO SMACNA STANDARDS.
7. SEISMICALLY SECURE ALL NEW AND RELOCATED HVAC EQUIPMENT.
8. ALL INTERNALLY INSULATED DUCTS SIZES ARE INTERNALLY CLEAR DIMENSIONS.
9. BALANCE DIFFUSERS AND GRILLES TO NOTED AIR VOLUMES.
10. PROVIDE BALANCE DAMPERS ON BRANCH DUCTS TO DIFFUSERS. ENSURE BALANCE DAMPERS ARE ACCESSIBLE.
11. ALL NEW DUCT JOINT SEAMS SHALL BE SEALED ALL AROUND WITH MEDIUM PRESSURE DUCT SEALANT. USE OF DUCT TAPE SHALL NOT BE PERMITTED.
12. RELOCATE EXISTING THERMOSTATS TO NEW LOCATION SHOWN. MOUNT THERMOSTAT AT 1500MM ABOVE FINISHED FLOOR. COORDINATE MOUNTING LOCATION WITH FURNITURE PLAN. CLEAN AND VACUUM ALL EXISTING THERMOSTATS.
13. CONTRACTOR TO INSULATE ALL NEW AND EXISTING DUCT WORK WHERE NOT CURRENTLY INSULATED. CONTRACTOR TO CONFIRM ON SITE. INSULATE ALL DUCT WORK AS PER MECHANICAL SPECIFICATIONS.
14. BALANCE OUTDOOR AIR DUCTS TO BACK OF HEAT PUMP UNIT TO NOTED VOLUMES IN EXISTING HEAT PUMP SCHEDULE.
15. PROVIDE RETURN AIR GRILLE WHERE INDICATED.



3	01/05/19	BUILDING PERMIT & TENDER
2	24/04/19	REVIEW
1	27/02/19	REVIEW
No.	DATE	ISSUED FOR:
		(447/mm/yj)

PROJECT TITLE
TENANT FIT-OUT FOR ECHELON CENTRE
 3F-575 8TH AVE WEST VANCOUVER

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 cto: _____ date: _____



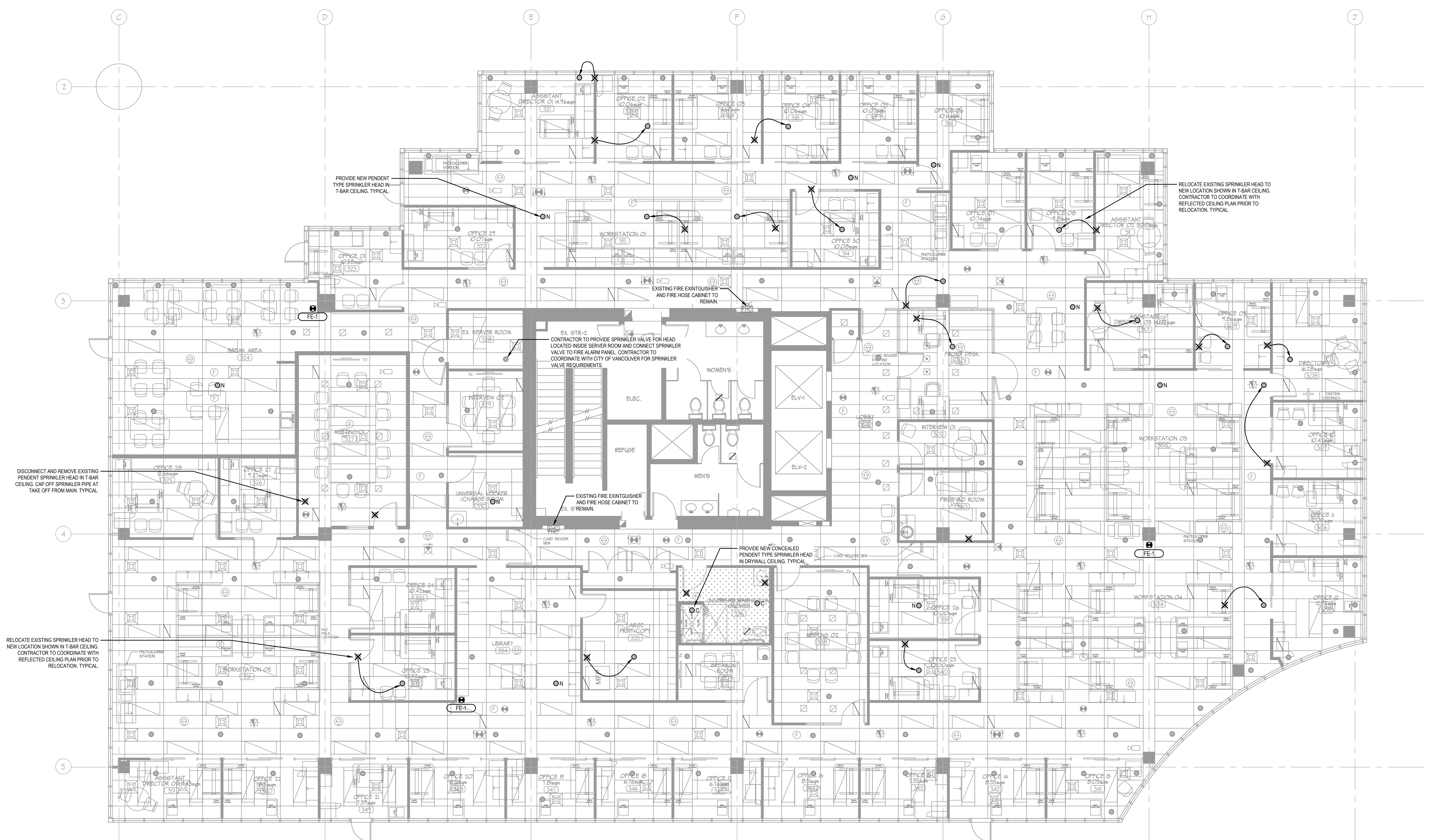
SHEET TITLE
BASE FIRE SUPPRESSION PLAN

PROJECT No.	0330278.00
DRAWN	VR
CHECKED	FK
SCALE	1/75
DATE	MAY 2019
PRINTED	MAY 1, 2019

M-3.2A

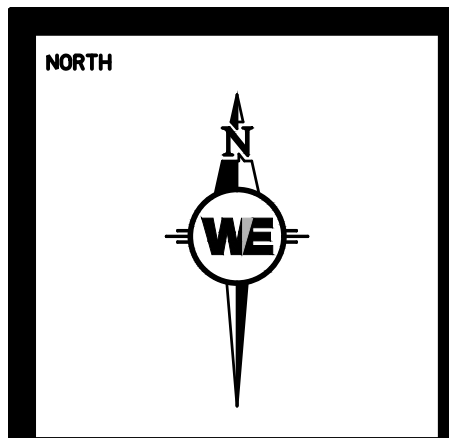
CHERNOFF THOMPSON ARCHITECTS

110-1281 WEST GEORGIA, VANCOUVER, B.C. V6E 3J5
 TELEPHONE (604) 689-9460 FAX (604) 683-7684



A NEW FIRE SUPPRESSION PLAN
 M3.2A SCALE = 1/75

- FIRE SUPPRESSION GENERAL NOTES**
- ALL SPRINKLER WORK AND REVISIONS SHALL BE PERFORMED BY BASE BUILDING APPROVED SPRINKLER CONTRACTOR.
 - COORDINATE SPRINKLER INSTALLATIONS AND PROPOSED LAYOUT WITH HVAC AND LIGHTING LAYOUT PRIOR TO START OF WORK. FINAL LAYOUT AND QUANTITIES MEETING NFPA 13 REQUIREMENTS SHALL BE CONSIDERED AS PART OF THE CONTRACT. PROVIDE SCHEDULES B & C-B FROM B.G. REGISTERED SPRINKLER ENGINEER.
 - RELOCATE EXISTING SPRINKLER HEAD TO NEW LOCATION SHOWN. CONTRACTOR TO COORDINATE WITH REFLECTED CEILING PLAN PRIOR TO RELOCATION.
 - ALL NEW SPRINKLER HEADS SHALL BE SEMI-RECESSED TYPE WITH ESCUTCHEON PLATES FOR AREAS WITH T-BAR CEILING TO MATCH EXISTING.
 - CONTRACTOR SHALL COORDINATE ALL SPRINKLER PIPE ROUTING AND REVISIONS SO AS TO NOT IMPEDE EQUIPMENT OR CODE REQUIRED SERVICE ACCESSES OR CLEARANCES.
 - DIFFUSERS AND GRILLES SHOWN FOR REFERENCE ONLY. REFER TO MECHANICAL PLANS FOR HVAC DETAILS.
 - RELOCATE EXISTING WALL MOUNTED FIRE EXTINGUISHERS TO NEW LOCATIONS SHOWN.
 - EXISTING FIRE HOSE CABINET TO REMAIN.
 - PROVIDE NEW WALL MOUNTED FIRE EXTINGUISHER (FE-1) TO LOCATION SHOWN. FIRE EXTINGUISHER TO BE 5LB ABC TYPE. FIRE EXTINGUISHERS TO BE INSTALLED WITH A MAXIMUM HEIGHT OF 1500MM FROM FINISHED FLOOR TO TOP OF EXTINGUISHER. COORDINATE WITH GENERAL CONTRACTOR FOR BACKING BOARD PROVISIONS FOR FIRE EXTINGUISHERS.
 - TEST AND TAG ALL NEW AND EXISTING FIRE EXTINGUISHERS.

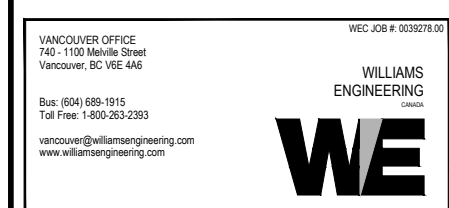


3	01/05/19	BUILDING PERMIT & TENDER
2	24/04/19	REVIEW
1	27/02/19	REVIEW
No.	DATE	ISSUED FOR:
	04/05/19	

110-1281 WEST GEORGIA, VANCOUVER, B.C. V6E 3J5
 TELEPHONE (604) 669-9460 FAX (604) 683-7684

PROJECT TITLE
**TENANT FIT-OUT
 FOR ECHELON
 CENTRE**
 3F-575 8TH AVE WEST
 VANCOUVER

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 cto: _____ date: _____

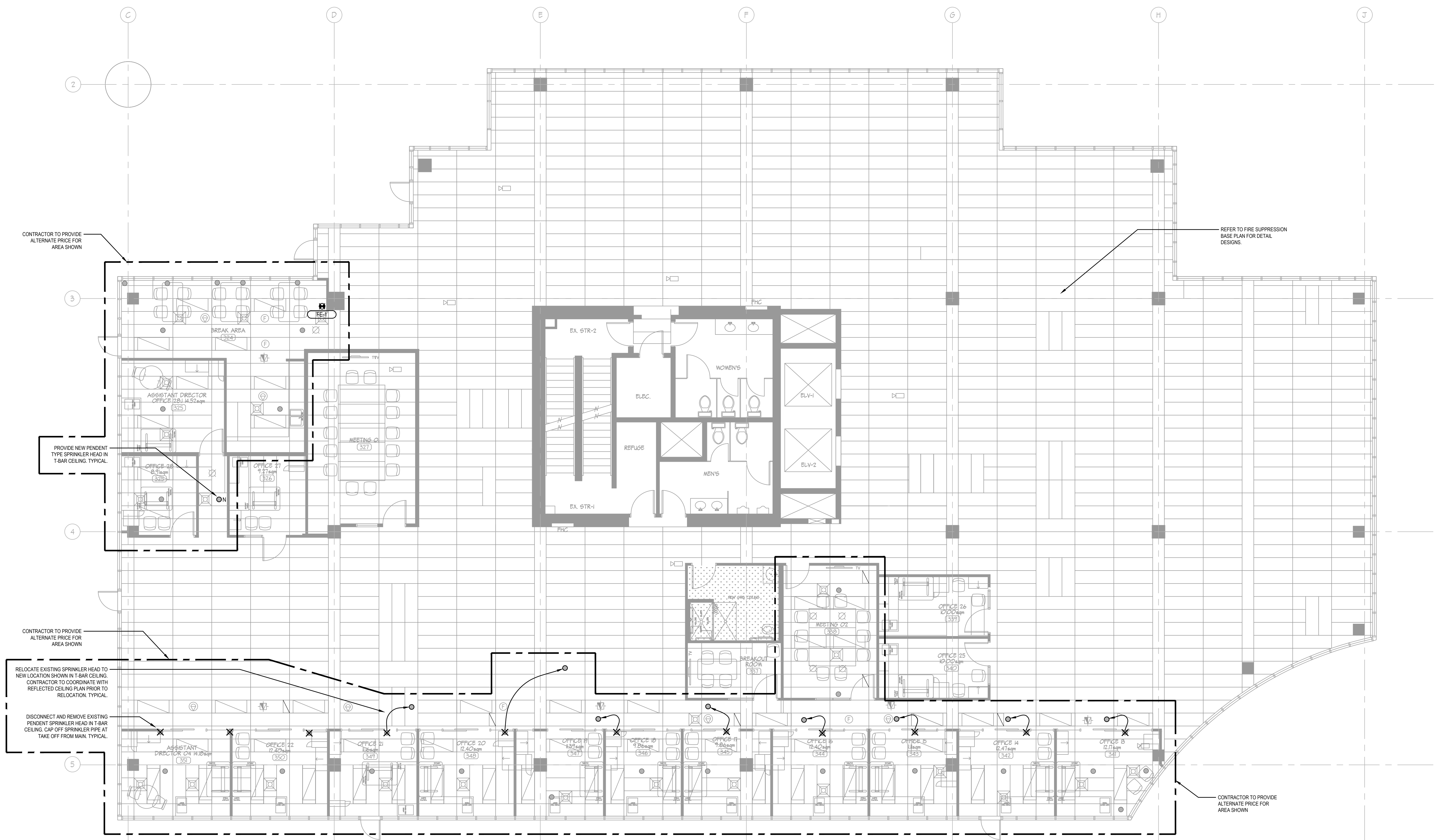


SHEET TITLE
**ALTERNATE PRICE
 NEW FIRE
 SUPPRESSION PLAN**

PROJECT No.	0030278.00
DRAWN	VR
CHECKED	FK
SCALE	1/75
DATE	MAY 2019
PRINTED	MAY 1, 2019

M-3.2B

CHERNOFF THOMPSON ARCHITECTS



A NEW FIRE SUPPRESSION PLAN
 M-3.2B SCALE = 1/75

- FIRE SUPPRESSION GENERAL NOTES**
- ALL SPRINKLER WORK AND REVISIONS SHALL BE PERFORMED BY BASE BUILDING APPROVED SPRINKLER CONTRACTOR.
 - COORDINATE SPRINKLER INSTALLATIONS AND PROPOSED LAYOUT WITH HVAC AND LIGHTING LAYOUT PRIOR TO START OF WORK. FINAL LAYOUT AND QUANTITIES MEETING NFPA 13 REQUIREMENTS SHALL BE CONSIDERED AS PART OF THE CONTRACT. PROVIDE SCHEDULES B & C-B FROM B.G. REGISTERED SPRINKLER ENGINEER.
 - RELOCATE EXISTING SPRINKLER HEAD TO NEW LOCATION SHOWN. CONTRACTOR TO COORDINATE WITH REFLECTED CEILING PLAN PRIOR TO RELOCATION.
 - ALL NEW SPRINKLER HEADS SHALL BE SEMI-RECESSED TYPE WITH ESCUTCHEON PLATES FOR AREAS WITH T-BAR CEILING TO MATCH EXISTING.
 - CONTRACTOR SHALL COORDINATE ALL SPRINKLER PIPE ROUTING AND REVISIONS SO AS TO NOT IMPEDE EQUIPMENT OR CODE REQUIRED SERVICE ACCESSSES OR CLEARANCES.
 - DIFFUSERS AND GRILLES SHOWN FOR REFERENCE ONLY. REFER TO MECHANICAL PLANS FOR HVAC DETAILS.
 - RELOCATE EXISTING WALL MOUNTED FIRE EXTINGUISHERS TO NEW LOCATIONS SHOWN.
 - EXISTING FIRE HOSE CABINET TO REMAIN.
 - PROVIDE NEW WALL MOUNTED FIRE EXTINGUISHER (FE-1) TO LOCATION SHOWN. FIRE EXTINGUISHER TO BE 5LB ABC TYPE. FIRE EXTINGUISHERS TO BE INSTALLED WITH A MAXIMUM HEIGHT OF 1500MM FROM FINISHED FLOOR TO TOP OF EXTINGUISHER. COORDINATE WITH GENERAL CONTRACTOR FOR BACKING BOARD PROVISIONS FOR FIRE EXTINGUISHERS.
 - TEST AND TAG ALL NEW AND EXISTING FIRE EXTINGUISHERS.

W:\m3\2b

