



COV ENGAGEMENT VENUE: 511 WEST BROADWAY



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ISSUED FOR TENDER
SEPTEMBER 21, 2018

ISSUED FOR TENDER	2018 SEP 21
BUILDING PERMIT #4	2018 AUG 14
BUILDING PERMIT #5	2017 SEP 02
BUILDING PERMIT #2	2017 AUG 08
CHANGE OF USE BUILDING PERMIT	2017 JUN 02

REVISIONS

Carscadden

JOB TITLE
**COV ENGAGEMENT VENUE
511 WEST BROADWAY**

SHEET TITLE

COVER

DRAWN CHECKED
IRM IRM

JOB NO. DATE
1713 SEPT 2018

SCALE
1/8"=1'0"

SHEET
A0.0

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A0.0 COVER SHEET
A0.1 SCHEDULES AND ASSEMBLIES
A0.2 BUILDING CODE SYNOPSIS
A0.2T BUILDING CODE SYNOPSIS
TRANSPARENCY
A1.1 MATERIAL FINISHES
A2.1 EXISTING PLANS
A2.2 PROPOSED PLANS
A2.3 PROPOSED RCP
A3.1 PROPOSED SECTIONS
A4.1 BUILDING ELEVATIONS

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A6.1 MILLWORK DETAILS
A6.2 MILLWORK DETAILS
A6.3 MILLWORK DETAILS

MECHANICAL

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M0.01 SITE PLAN
M1.01 MAIN LEVEL DEMOLITION AND RENOVATION
M2.01 SPECIFICATIONS

ELECTRICAL

AES ENGINEERING
1330 GRANVILLE STREET,
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E0.0 TITLE PAGE, SYMBOL LEGEND AND DRAWING LIST
E0.1 DEMOLITION PLAN
E1.0 POWER AND LOW TENSION PLAN
E2.0 LIGHTING PLAN
E3.0 SCHEDULES AND DETAILS
E4.0 SPECIFICATION

DESCRIPTION OF WORK

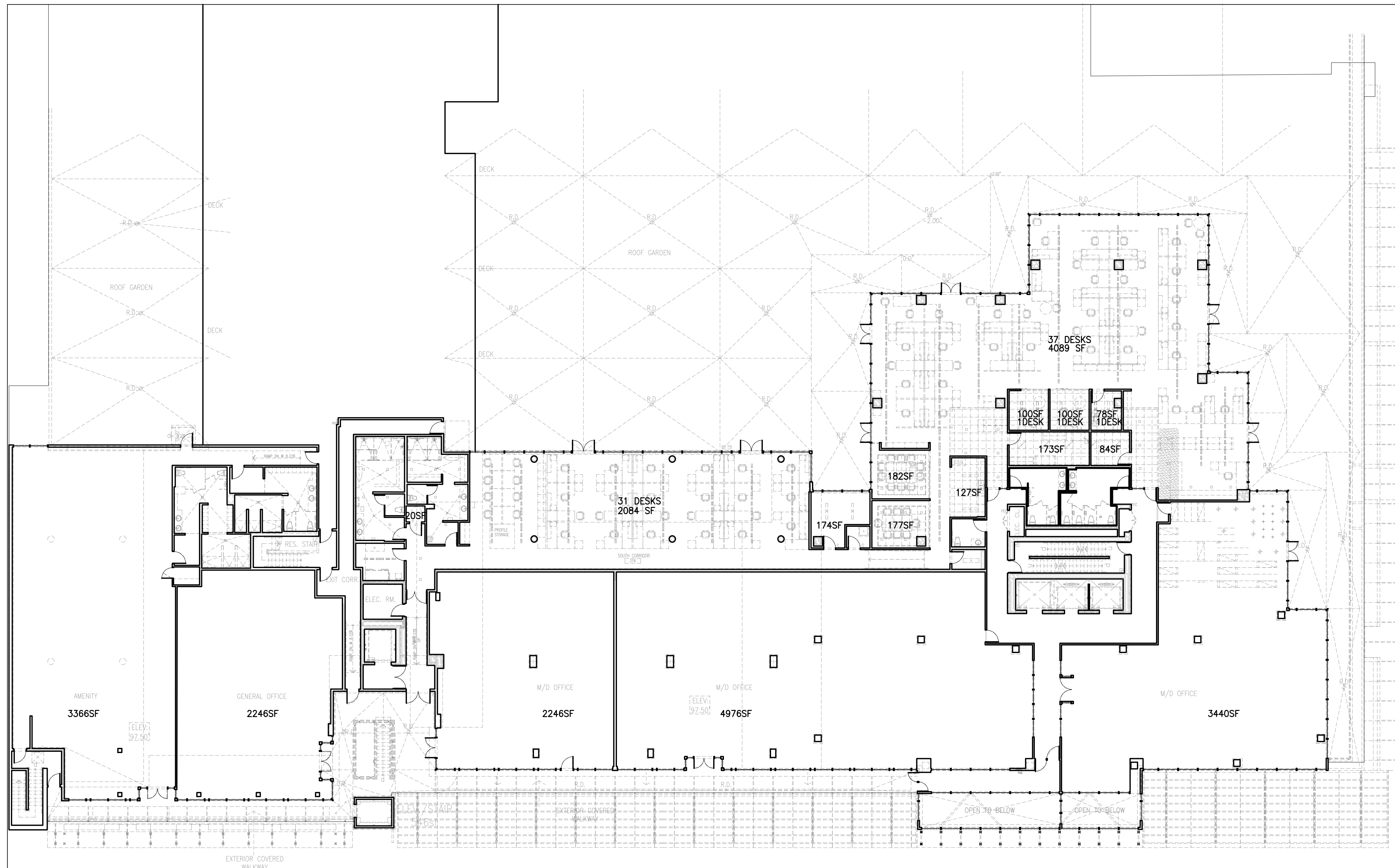
Renovated commercial retail space to provide capacity for various City of Vancouver departments to "hot-desk" for limited periods and also to accommodate general public viewing and engagement with City programming. Work includes limited demolition, new GWB partition walls, new carpet, acoustic baffles, millwork, new glazed entry doors, mechanical, and electrical work.

TRADES

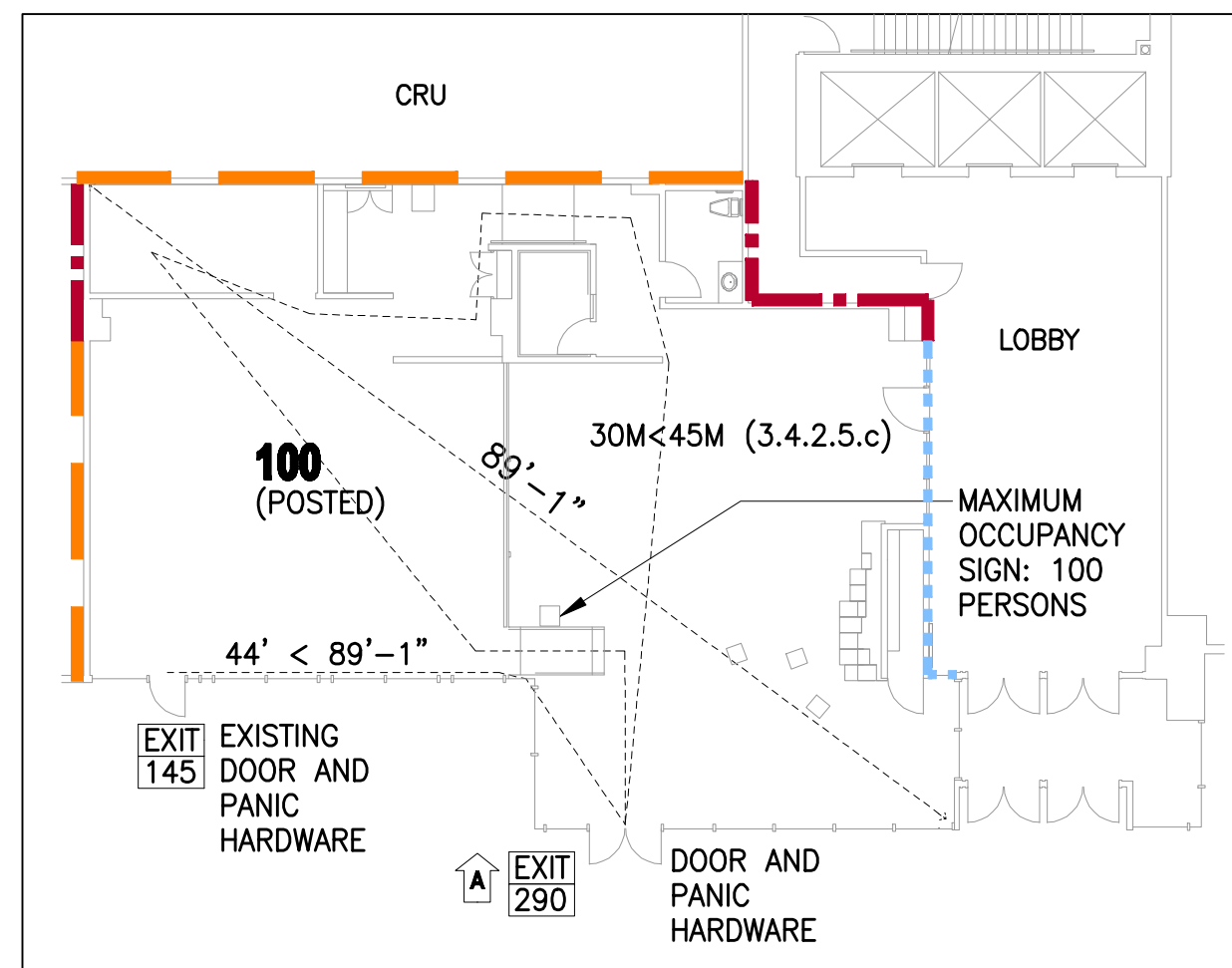
DIVISION	LOA	SIGNED BY	DATE
DATA HUB, ACOUSTIC BAFFLES	ENGINEER REGISTERED IN PROVINCE OF BC TO DESIGN, REVIEW AND PROVIDE LETTERS OF ASSURANCE FOR RELOCATED DATA HUB AND NEW ACOUSTIC BAFFLES.	B	TBD
ELECTRICAL	ENGINEER REGISTERED IN PROVINCE OF BC TO REVIEW AND PROVIDE LETTERS OF ASSURANCE FOR THE SEISMIC RESTRAINT DESIGN AND IMPLEMENTATION OF THE ELECTRICAL SYSTEMS	B	TBD
MECHANICAL	ENGINEER REGISTERED IN PROVINCE OF BC TO REVIEW AND PROVIDE LETTERS OF ASSURANCE FOR THE SEISMIC RESTRAINT DESIGN AND IMPLEMENTATION OF THE MECHANICAL SYSTEMS	B	TBD

SEPARATE PRICES

SP-1. HISTORIC PHOTO WALL.	IN LIEU OF HISTORIC PHOTO WALL, PAINT NORTH WALL OF STAFF [01] PT-1.
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1 THIRD FLOOR PLAN - SUPPLEMENTARY WASHROOMS
SCALE 1/16" = 1'0"



2 GROUND FLOOR SUITE
SCALE 1/16" = 1'0"

NOTES

- DRAWINGS BASED ON OWNER'S PROVIDED DRAWINGS BY B+H ARCHITECTS AND BKA ARCHITECTS, "LULULEMON ATHLETICA CROSSROADS", BUSBY PERKINS + WILL "CROSSROADS", PCI "CROSSROADS", NEMETZ (S/A) & ASSOCIATES "CROSSROADS", GLOTTMAN SIMPSON "CROSSROADS"
- NO CHANGES TO EXISTING EXIT STAIRS PROPOSED.
- ALL PUBLIC CORRIDORS ARE MINIMUM 4' (1220 MM) WIDE CLEAR
- ALL NEW INTERIOR GLAZING TO BE TEMPERED TO MEET VBBL REQUIREMENTS.
- ALL DOOR HARDWARE TO BE ACCESSIBLE AND ALLOW FOR EGRESS TO COMPLY WITH VBBL

CODE DIAGRAM KEY

- 12** OCCUPANT LOAD
- EXIT** EXIT
- 150** EXIT CAPACITY
- ACCESSIBLE ROUTE**
- 0 MIN FRR FIRE SEPARATION**
- 45 MIN FRR FIRE SEPARATION**
- 60 MIN FRR FIRE SEPARATION**
- 120 MIN FRR FIRE SEPARATION**

PART 11 TRIGGERS

TABLE A-11.2.1.2.A

REHABILITATION - FLOW CHART 1
MINOR RENOVATION
F1 S2 N1 A2 E2

CHANGE OF MAJOR OCCUPANCY - FLOW CHART 2
NOT APPLICABLE

ADDITION PROJECTS - FLOW CHART 3
NOT APPLICABLE

- F1** EXISTING TO BE REVIEWED TO ENSURE THAT THE EXITS DO NOT PRESENT AN UNSAFE CONDITION.
PROJECT AREA - EXITS TO BE UPGRADED WITH RESPECT TO NUMBER, CAPACITY, AND FIRE SEPARATIONS ONLY.
- S2** LIMITED STRUCTURAL UPGRADE REQUIRED IN ORDER TO PROVIDE MINIMUM PROTECTION TO BUILDING OCCUPANTS DURING A SEISMIC EVENT WITHIN THE PROJECT AREA.
PROJECT AREA: NON-STRUCTURAL ELEMENTS AND FALLING HAZARDS MUST BE RESTRAINED TO RESIST LATERAL LOADS DUE TO EARTHQUAKE WITHIN PROJECT AREA.
- N1** PROJECT AREA TO BE REVIEWED TO ENSURE SAFETY FROM OVERHEAD FALLING HAZARDS.
PROJECT AREA: RESTRAIN ALL CEILING SUPPORTING FRAMES, T-BAR ASSEMBLIES, CEILING GYPSUM WALL BOARDS, ALL OVERHEAD MECHANICAL DUCTS, AND EQUIPMENT, OVERHEAD ELECTRICAL CONDUITS AND LIGHTS.
- A2** A LIMITED LEVEL OF UPGRADE SHALL BE PROVIDED WITHIN THE PROJECT AREA TO ENSURE ACCESS FOR PERSONS WITH DISABILITIES.
PROJECT AREA: DOOR CLEARANCES, DOOR HARDWARE, AND AREAS OF REFUGE.
- E2** REVIEW AND MAINTAIN, OR UPGRADE A BASIC ENERGY EFFICIENCY SUBSYSTEMS, LIMIT THE PROBABILITY OF INEFFICIENT ENERGY PERFORMANCE OF BUILDINGS OR BUILDING COMPONENTS.
PROJECT AREA: 1-L2 IN TABLE 1-11.2.1.2.D
L2 HVAC (1) CLEAN AND BALANCE ALL AIR SYSTEMS (PER 6.7.2.3.2 OF ASHRAE 90.1 - 2010)

BUILDING CODE SYNOPSIS

PROJECT ADDRESS	511 WEST BROADWAY, VANCOUVER, BC
LEGAL ADDRESS	LOT 37 PLAN BCS3307 DISTRICT LOT 526 NWD GROUP 1, TOGETHER WITH AN INTEREST IN THE COMMON PROPERTY IN PROPORTION TO THE UNIT ENTITLEMENT OF THE STRATA LOT AS SHOWN ON FORM
BUILDING CODE	VANCOUVER BUILDING BYLAW
GOVERNING CODE	PART 3
MAJOR OCCUPANCY	A-2 (ASSEMBLY) D (BUSINESS) E (MERCANTILE)
BUILDING AREA	-
BUILDING HEIGHT	7 STOREYS
CODE CLASSIFICATION	3.2.2.23 (A2) ANY HEIGHT, ANY AREA, SPRINKLERED NON-COMBUSTIBLE CONSTRUCTION, SPRINKLERED THROUGHOUT, FLOOR ASSEMBLIES REQUIRE FRR NOT LESS THAN 2H, MEZZANINES REQUIRE FRR NOT LESS THAN 1H, AND LOAD BEARING WALLS, COLUMNS, ARCHES SUPPORTING AN ASSEMBLY REQUIRE FRR NOT LESS THAN THAT FOR THE REQUIRED ASSEMBLY. 3.2.2.57 (D) ANY HEIGHT, ANY AREA, SPRINKLERED NON-COMBUSTIBLE CONSTRUCTION, SPRINKLERED THROUGHOUT, FLOOR ASSEMBLIES REQUIRE FRR NOT LESS THAN 2H, MEZZANINES REQUIRE FRR NOT LESS THAN 1H, AND LOAD BEARING WALLS, COLUMNS, ARCHES SUPPORTING AN ASSEMBLY REQUIRE FRR NOT LESS THAN THAT FOR THE REQUIRED ASSEMBLY. 3.2.2.62 (E) ANY HEIGHT, ANY AREA, SPRINKLERED: NON-COMBUSTIBLE CONSTRUCTION, SPRINKLERED THROUGHOUT, FLOOR ASSEMBLIES REQUIRE FRR NOT LESS THAN 2H, MEZZANINES REQUIRE FRR NOT LESS THAN 1H, AND LOAD BEARING WALLS, COLUMNS, ARCHES SUPPORTING AN ASSEMBLY REQUIRE FRR NOT LESS THAN THAT FOR THE REQUIRED ASSEMBLY.
FIRE SEPARATION BETWEEN MAJOR OCCUPANCIES (3.1.3.1)	D TO E. NONE REQUIRED A2 TO E. 2H A2 TO D. 1H
FIRE SEPARATION BETWEEN SUITES	FIRE SEPARATION BETWEEN SUITES 1 HR, OR 45 MIN IF FLOOR ASSEMBLIES ARE 45 MIN OR 0 HR IF SPRINKLERED AND D/E OCCUPANCY
FIRE SEPARATION BETWEEN SUITES AND CORRIDORS (3.3.1.4(3))	PUBLIC CORRIDOR SEPARATIONS 0H
FIRE SEPARATION OF EXITS (3.4.4.1)	2H
FRR OF CLOSURES (3.1.8.4)	45MIN
FIRE SEPARATION OF JANITOR (3.3.1.21)	0 MIN
NUMBER OF EXITS (3.4.2.1)	2 EXITS REQUIRED EXCEPT WHEN OCCUPANT LOAD IS LESS THAN 60, SUITE IS LESS THAN 300 SM AND TRAVEL DISTANCE IS LESS THAN 25M FOR GROUP D AND SUITE IS LESS THAN 200 SM AND TRAVEL DISTANCE IS LESS THAN 25M FOR GROUP F2
DISTANCE BETWEEN EXITS (3.4.2.3)	THE LEAST DISTANCE BETWEEN 2 EXITS SHALL BE ONE HALF THE MAXIMUM DIAGONAL DIMENSION OF THE FLOOR AREA BUT NOT MORE THAN 9M FOR A FLOOR AREA HAVING A PUBLIC CORRIDOR, AND NOT LESS THAN 9M FOR ALL OTHER FLOOR AREAS
TRAVEL DISTANCE (3.4.2.5)	THE TRAVEL DISTANCE TO AT LEAST ONE EXIT SHALL NOT BE MORE THAN C) 45 M IN A D C) 45 M IN AN F2
DISABLED ACCESS (3.8.2.1)	REQUIRED IN NEW BUILDING AS PER 3.8.2.1
EXIT WIDTH (3.4.3.2.1)	MIN 900 MM RAMPS AND STAIRS, 790 MM DOORS 6.1 MM / PERSON DOORWAYS 8 MM / PERSON STAIRS
STAIRS (3.4.6.7)	RISE BETWEEN 125 MM TO 180 MM (5" TO 7") RUN MINIMUM OF 280 MM

BUILDING CHECKLIST

	EXISTING AND PROPOSED
SPRINKLERS	YES
NON-COMBUSTIBLE CONSTRUCTION	YES
FIRE ALARM 3.2.4.1	YES
STANDPIPE REQUIRED 3.2.5.8	YES
EMERGENCY POWER DURATION 3.2.7.4	30 MIN
HIGH RISE BUILDING 3.2.6	YES
SMOKE CONTROL MEASURES 3.2.6.2	YES
EMERGENCY POWER REQUIRED 3.2.7.9	YES
EMERGENCY LIGHTING REQUIRED 3.2.7.3	YES
EXIT SIGNS REQUIRED	YES

ASHRAE 90.10 - 2010

ARCHITECTURAL BUILDING ENVELOPE DESIGN (ENERGY)
VANCOUVER BUILDING BYLAW 2014 ENVELOPE DESIGN NOT APPLICABLE - NO ENVELOPE WORK

- 5.1.3 ENVELOPE ALTERATIONS
NO REPLACEMENT OF GLAZING, DOORS,
NO ALTERATIONS TO EXTERIOR ENVELOPE, WALLS CEILINGS OR ROOF.
- b. NEW DOOR TO MATCH EXISTING



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CHANGE OF USE BUILDING PERMIT	2017 JUN 02

REVISIONS

Cascadden

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COV ENGAGEMENT VENUE
511 WEST BROADWAY

SHEET TITLE
BUILDING CODE SYNOPSIS

DRAWN	CHECKED
IRM	IRM
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1713	SEPT 2018

SCALE
1/16" = 1'0"

A0.2

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OCCUPANCY LOAD CALCULATIONS

VANCOUVER BUILDING BY-LAW TABLE 3.1.17.1

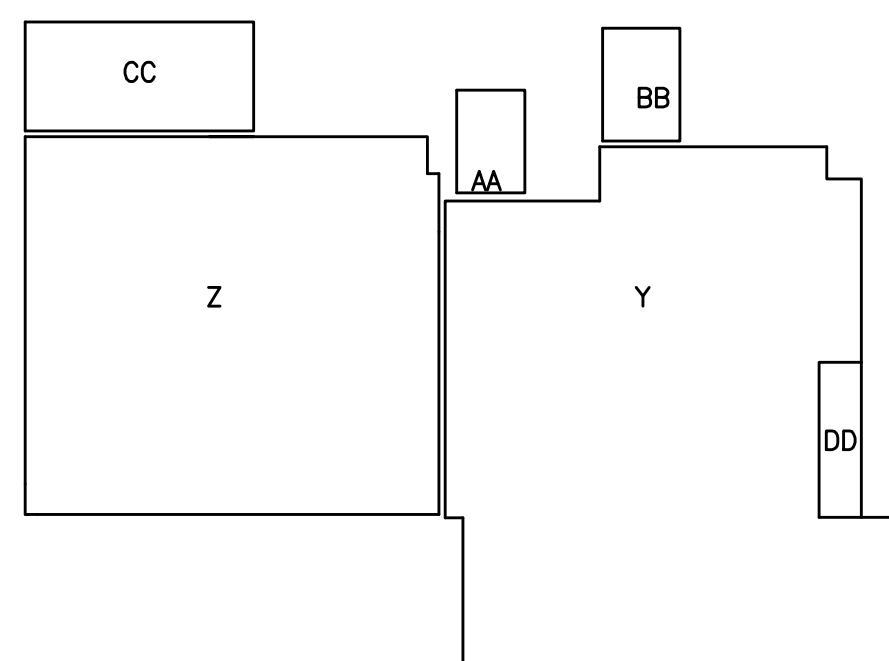
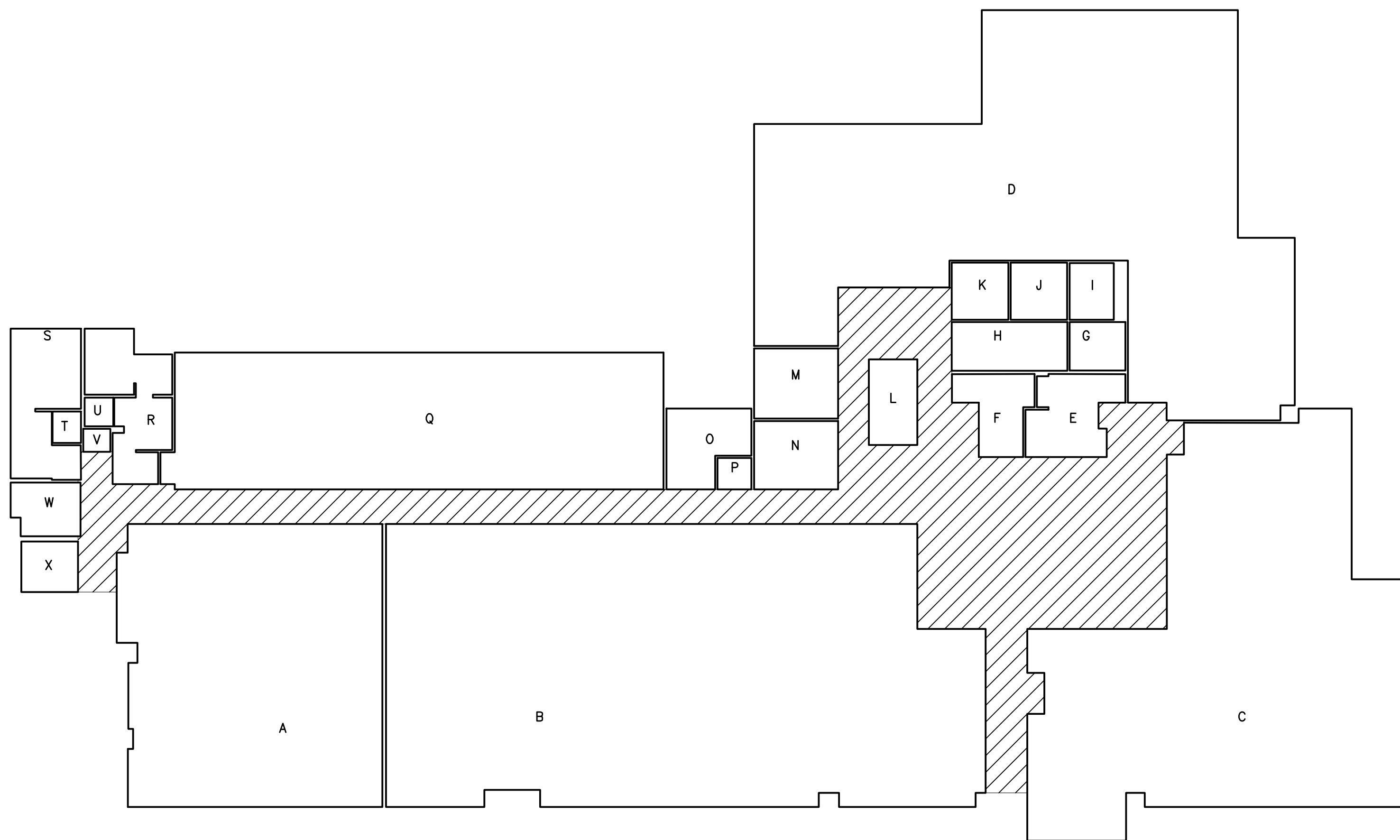
ROOM/USE	AREA SF	AREA SM	AREA REQUIRED PER PERSON	PERSON COUNT FOR WASHROOMS	REQ'D W/C
A COMMERCIAL UNIT	2246	209	9.3	22.5	
B COMMERCIAL UNIT	4976	462	9.3	50	
C COMMERCIAL UNIT	3440	320	9.3	34	
COMMERCIAL RETAIL UNIT TOTALS	10662	991		106.5	
INTERIOR PARTITION WALL DEDUCTION (ESTIMATE, 10%)	-1066.2	-99.1		-10.65	
NET COMMERCIAL UNIT	9596	892		96	
- MALES				48	2
- FEMALES				48	2
D OFFICE	4089	380	37 DESKS	37	
E WASHROOM	204	19	0	-	
F WASHROOM	150	14	0	-	
G STORAGE	84	8	46	0.2	
H COPY	173	16	0	-	
I OFFICE	78	7	1 DESK	1	
J OFFICE	100	9	1 DESK	1	
K OFFICE	100	9	1 DESK	1	
L KITCHEN	128	12	1.2	-	
M MEETING	182	17	1.85	9	
N MEETING	177	16	1.85	8.5	
O MECHANICAL	174	16	46	0.4	
P STORAGE	33	3	46	0.1	
Q OFFICE	2084	194	31 DESKS	31	
R WASHROOM	288	27	0	-	
S WASHROOM	290	27	0	-	
T WASHROOM	27	3	0	-	
U WASHROOM	26	2	0	-	
V WASHROOM	20	2.5	0	-	
W FIRST AID	112	10	10	1	
X ELECTRICAL	88	8	46	0.2	
CITY OF VANCOUVER TOTALS	8607	799.5		89	
- MALES				44.5	2
- FEMALES				44.5	2
Y NEW ASSEMBLY	1307	121	0.4	303	
Z NEW ASSEMBLY	1284	120	0.4	300	
AA STORAGE	73	7	46	0.15	
BB WASHROOM	60	6	0	-	
CC STORAGE	22	2	46	0.04	
DD STORAGE	45	4	46	0.1	
CITY OF VANCOUVER ENGAGEMENT TOTALS	2791	260		603	
- MALES				301.5	
- FEMALES				301.5	
PROJECT TOTALS	22060	2051		836	

EXISTING FIXTURES

	MEN	WOMEN	UNIVERSAL
CITY OF VANCOUVER THIRD FLOOR ACCESS ONLY (END OF TRIP FACILITY)	1 TOILET	1 TOILET	-
COMMON THIRD FLOOR W/C	2 TOILETS 2 URINALS	4 TOILETS	1 TOILET
GROUND FLOOR CITY OF VANCOUVER ENGAGEMENT	-	-	1 TOILET
TOTAL	5	5	2

REQUIRED FOR THIRD FLOOR OCCUPANCY	4	4	
BALANCE "AVAILABLE"	1 TOILET	1 TOILET	2 TOILETS
TOTAL AVAILABLE			4 TOILETS

100 PERSONS (3.7.2.2)



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A0.2T



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EXISTING STOREFRONT

**ANODIZED ALUMINUM, NOT
SUBJECT TO CHANGE**

**USED ON EXTERIOR
GLAZING AND INTERIOR
ENTRANCE**

EXISTING GLAZING

GLASS

**USED ON EXTERIOR
GLAZING**

NEW GLAZING

TEMPERED GLASS

**USED FOR RENOVATED
ENTRANCE (1) AND
INTERIOR DOOR (3)**

**SUSPENDED ACOUSTIC
BAFFLES**

**FILZFELT
AKUSTIKA BAFFLE
170 ASCHE**

**USED OVERHEAD
THROUGHOUT**

PAINT - TYPICAL, PT-1 (L3)

**BENJAMIN MOORE
DISTANT GRAY
OC-68, MPI #52**

USED THROUGHOUT

FLOORING - TYPICAL

**EXISTING CONCRETE
USED THROUGHOUT**

CABINETRY

**FORMICA P-LAM
912-AN
STORM
INFINITI FINISH**

USED IN KITCHEN

FLOORING - CARPET

**INTERFACE SUPER FLOR
609008 GREY**

USED IN PRESENTATION 01

**ADDITIONAL TO MATCH EXISTING
COV INVENTORY**

WORK SURFACES

**CORIAN (MOLDED)
DESIGNER WHITE**

**USED IN KITCHEN FOR
COUNTER, SINK AND
BACKSPLASH**

PAINT - FINE FINISH, PT-2 (L5)

**BENJAMIN MOORE
DISTANT GRAY
OC-68, MPI #53**

**USED FOR PRESENTATION
AND PROJECTION WALLS**



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MATERIAL FINISHES

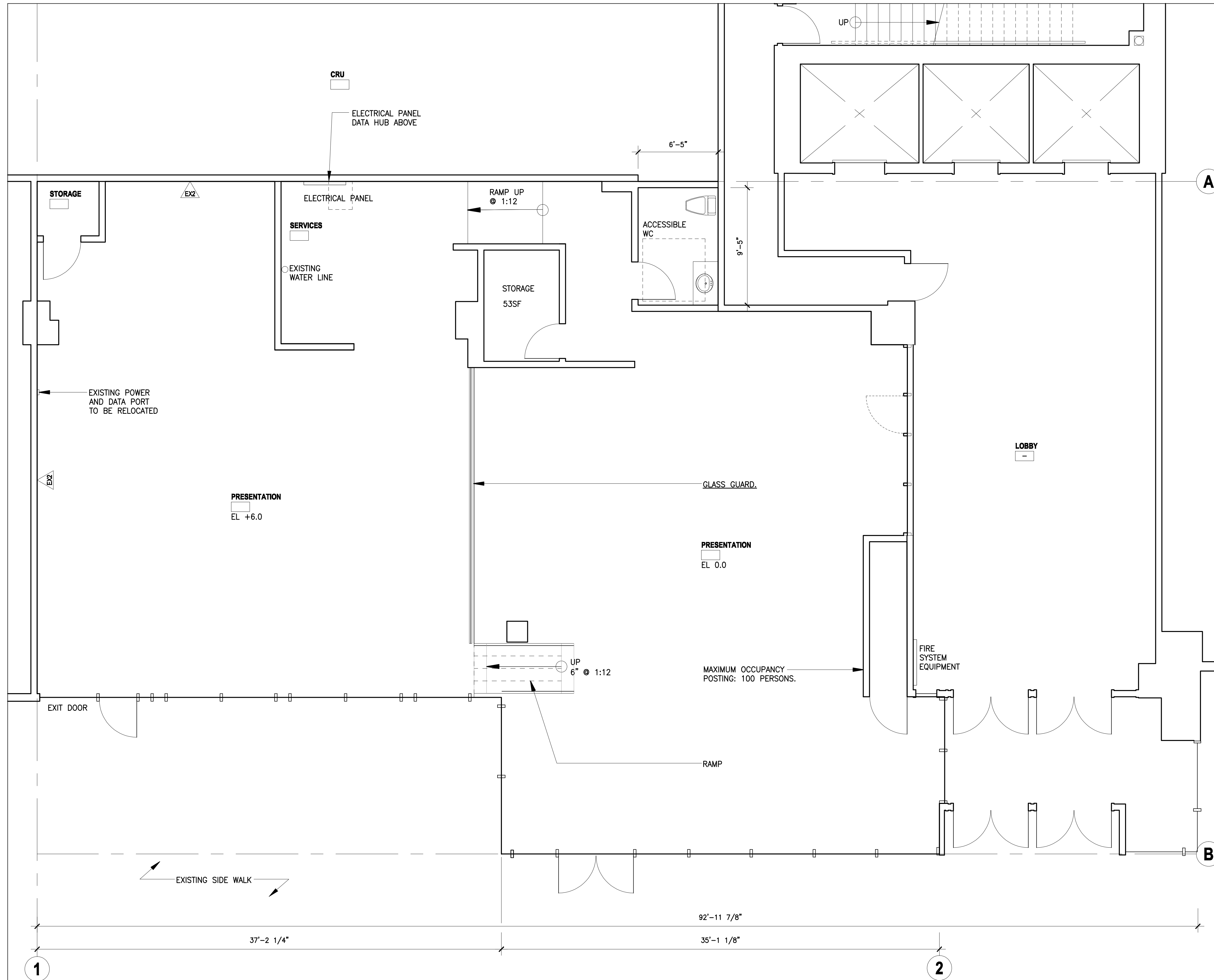
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JOB NO. 1713	DATE SEPT 2018
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SCALE
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SHEET
A1.1

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SMALL PLAN LEGEND

- EXISTING WALL, FLOOR OR CEILING
- NEW WALL OR FLOOR REFER TO DETAILS
- EXISTING TO BE DEMOLISHED



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EXISTING PLAN

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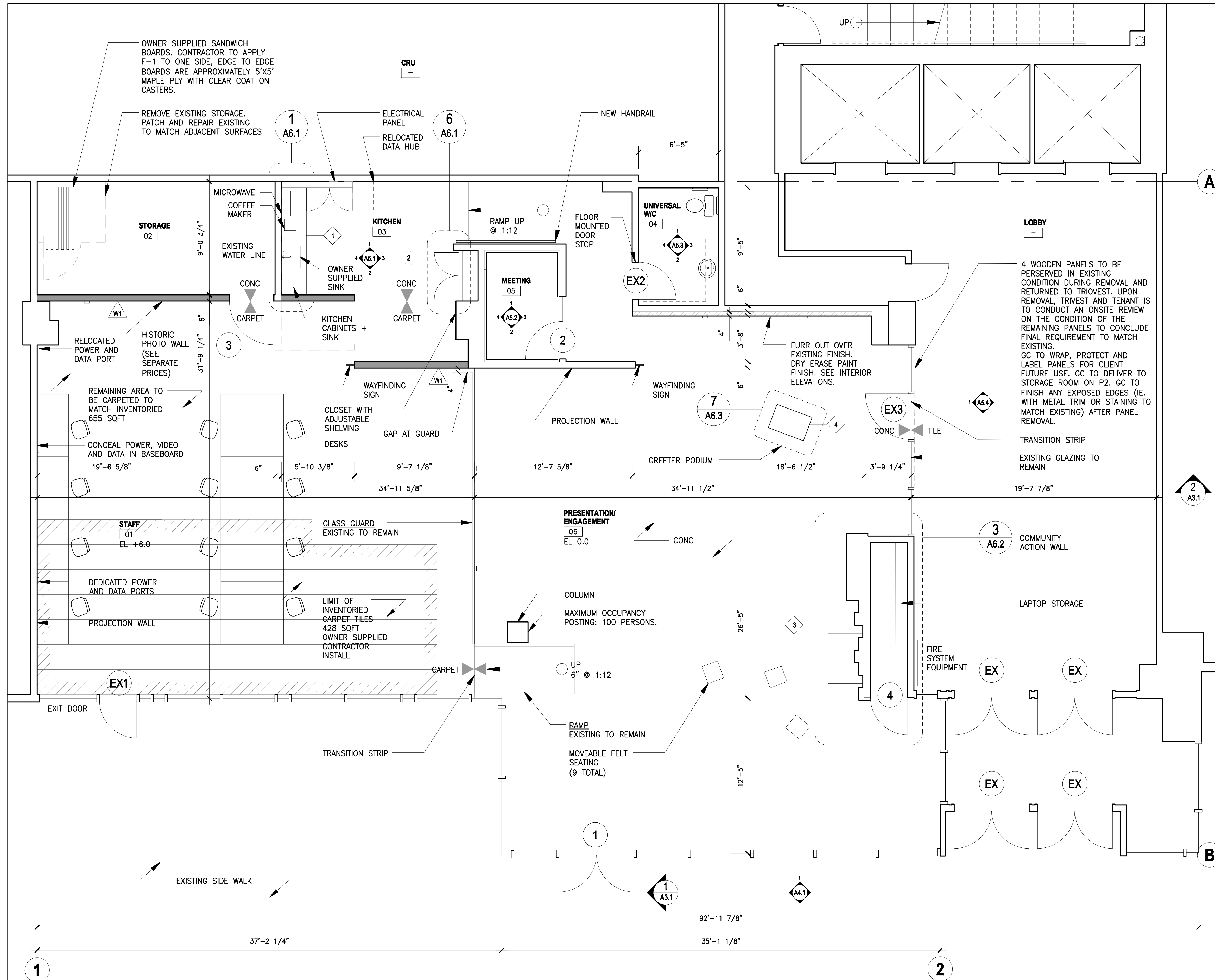
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A2.1

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1 FLOOR SUITE
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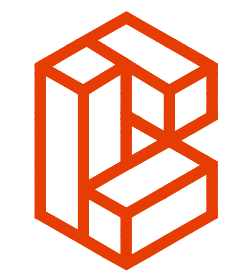


SMALL PLAN LEGEND

- EXISTING WALL, FLOOR OR CEILING
- NEW WALL OR FLOOR REFER TO DETAILS
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MILLWORK LEGEND

- KITCHEN COUNTER + CABINETRY
- KITCHEN STORAGE CLOSET
- COMMUNITY ACTION WALL
- GREETER PODIUM



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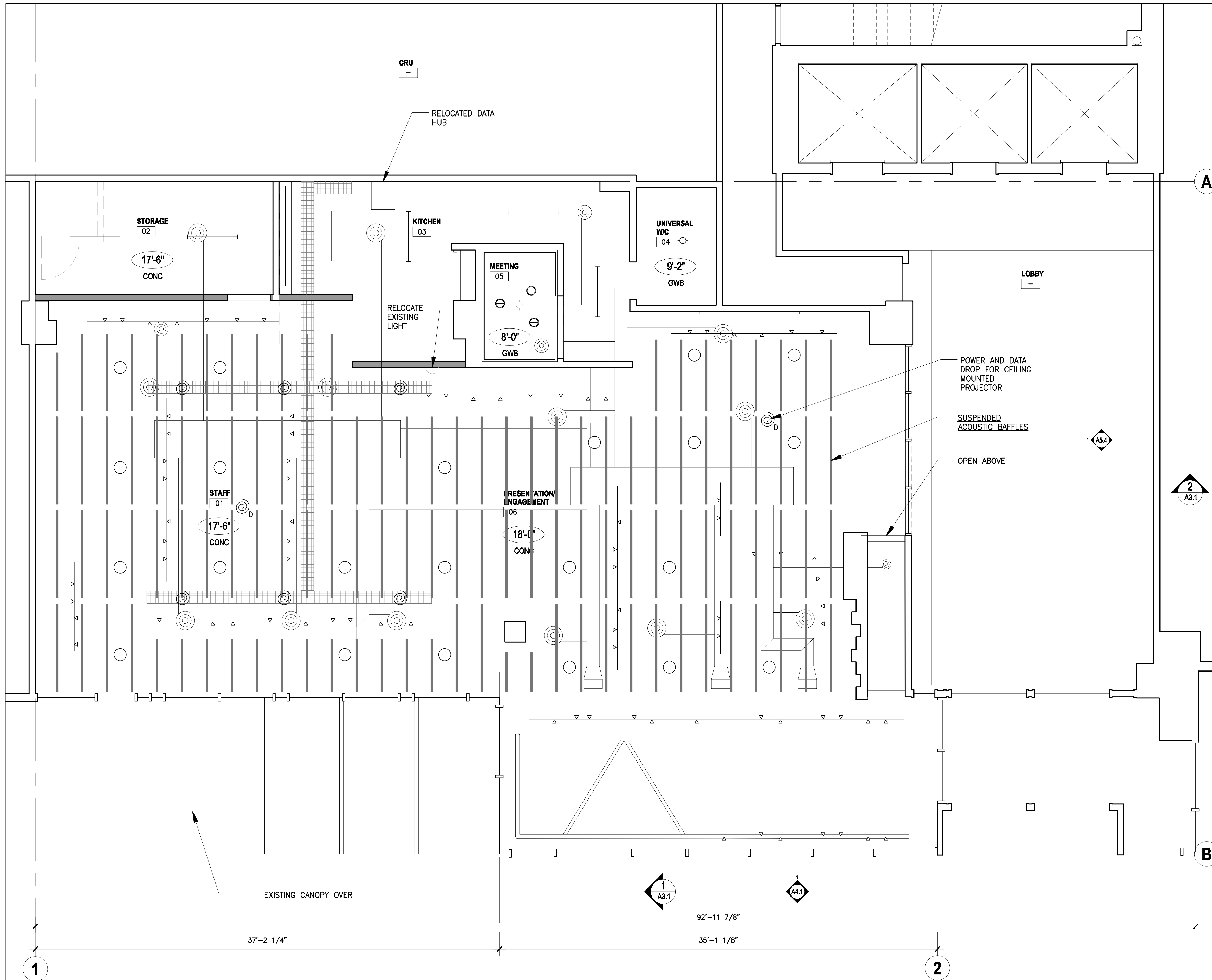
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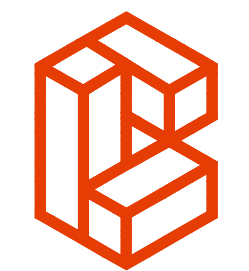
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1 FLOOR SUITE
 SCALE 1/4" = 1'0"



SMALL PLAN LEGEND

- EXISTING WALL, FLOOR OR CEILING
- NEW WALL OR FLOOR REFER TO DETAILS
- EXISTING TO BE DEMOLISHED
- TRACK LIGHTING, CONFIRM LOCATIONS ON SITE
- EXISTING OVERHEAD PENDANT FIXTURE, CONFIRM LOCATIONS ON SITE
- EXISTING FIXTURE
- LINEAR FIXTURE
- NEW PENDANT LIGHTING FIXTURE
- ELECTRICAL TRAY
- ACOUSTIC BAFFLE
- POWER DROPS
- POWER AND DATA DROP



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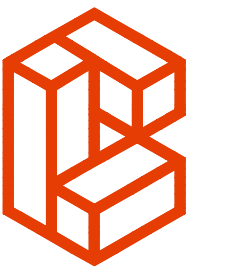
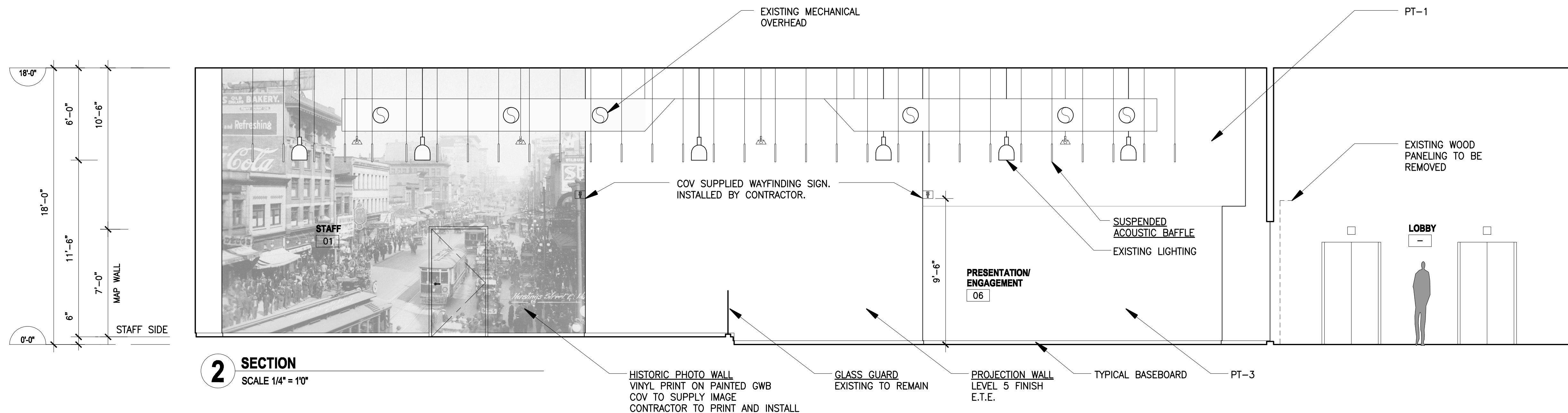
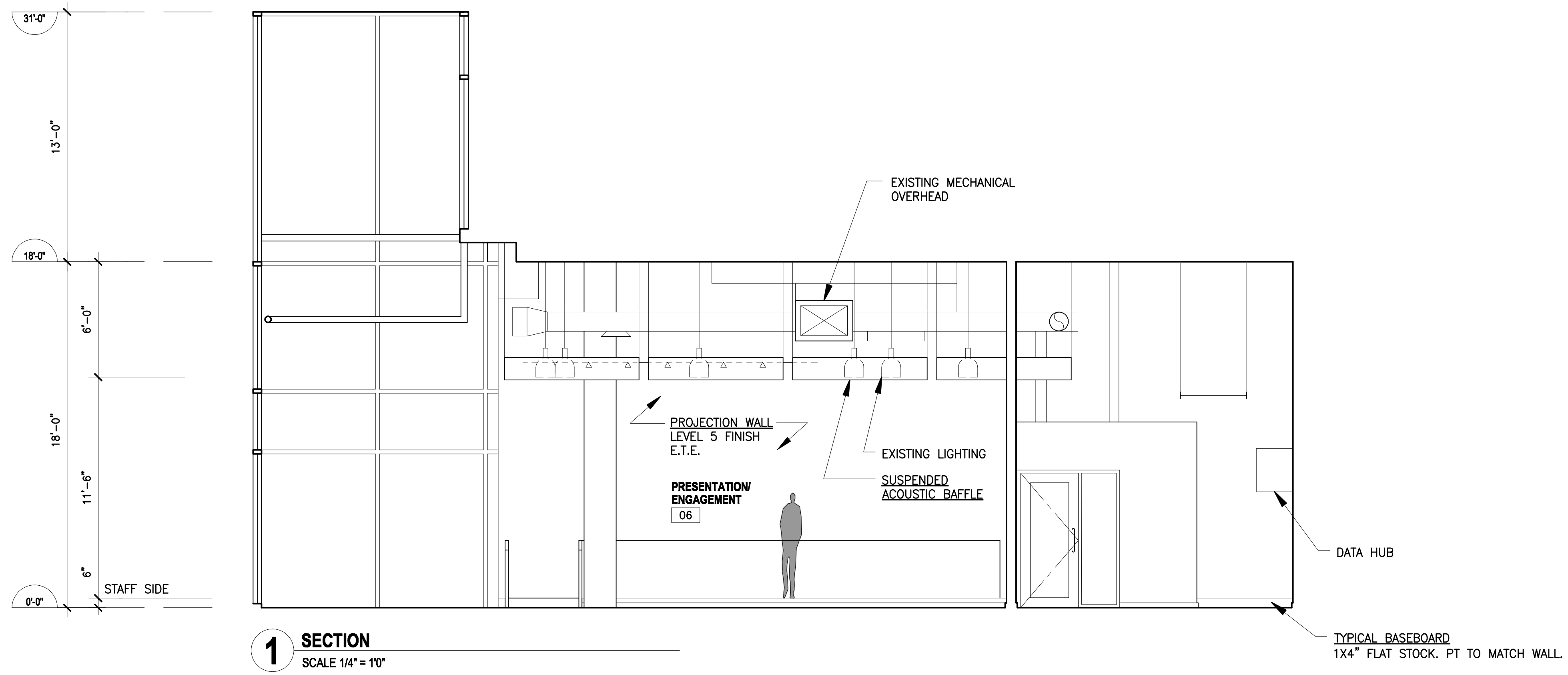
DATE
 SEPT 2018

SCALE
 1/4"=1'0"

SHEET
A2.3

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1 FLOOR SUITE
 SCALE 1/4" = 1'0"



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JOB TITLE
**COV ENGAGEMENT VENUE
511 WEST BROADWAY**

SHEET TITLE
PROPOSED SECTION

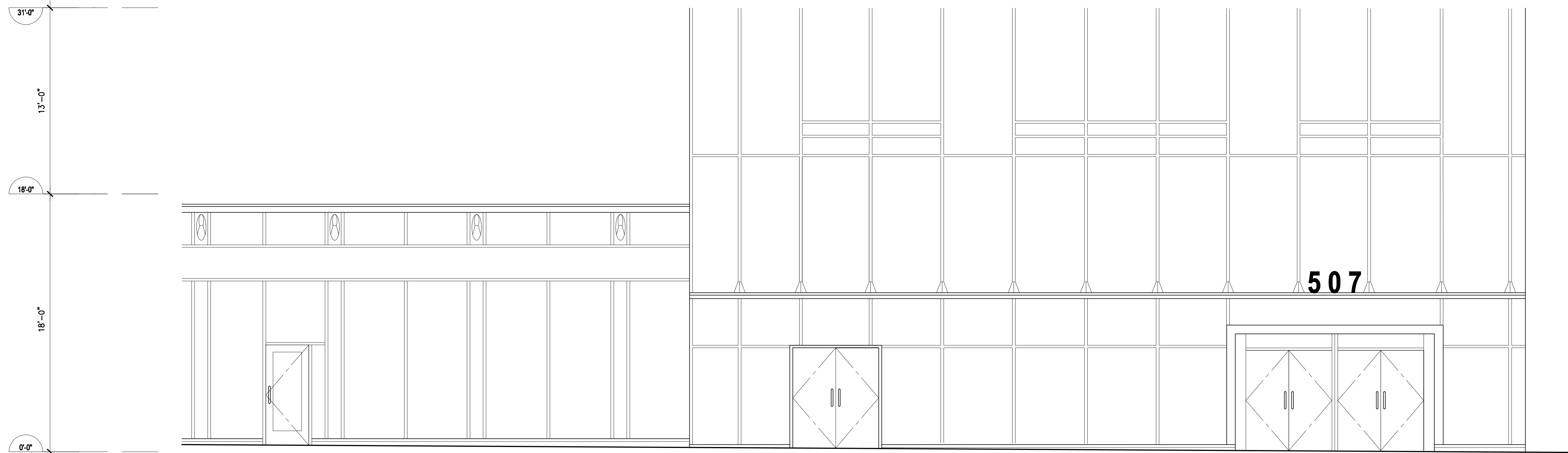
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JOB NO. 1713 DATE SEPT 2018

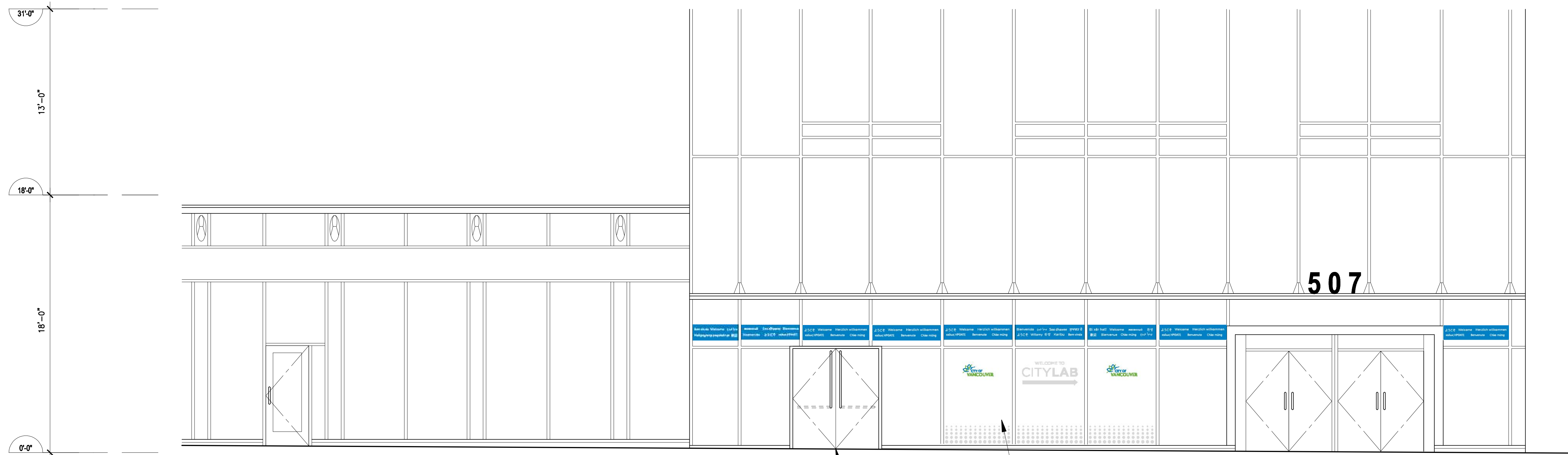
SCALE 1/4" = 1'0"

SHEET
A3.1

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1 EXISTING ELEVATION
SCALE 1/4" = 1'0"



2 PROPOSED ELEVATION
SCALE 1/4" = 1'0"

NEW DOOR AND
HARDWARE IN
EXISTING OPENING

VINYL SIGNAGE
BY COV



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SHEET TITLE
BUILDING ELEVATIONS

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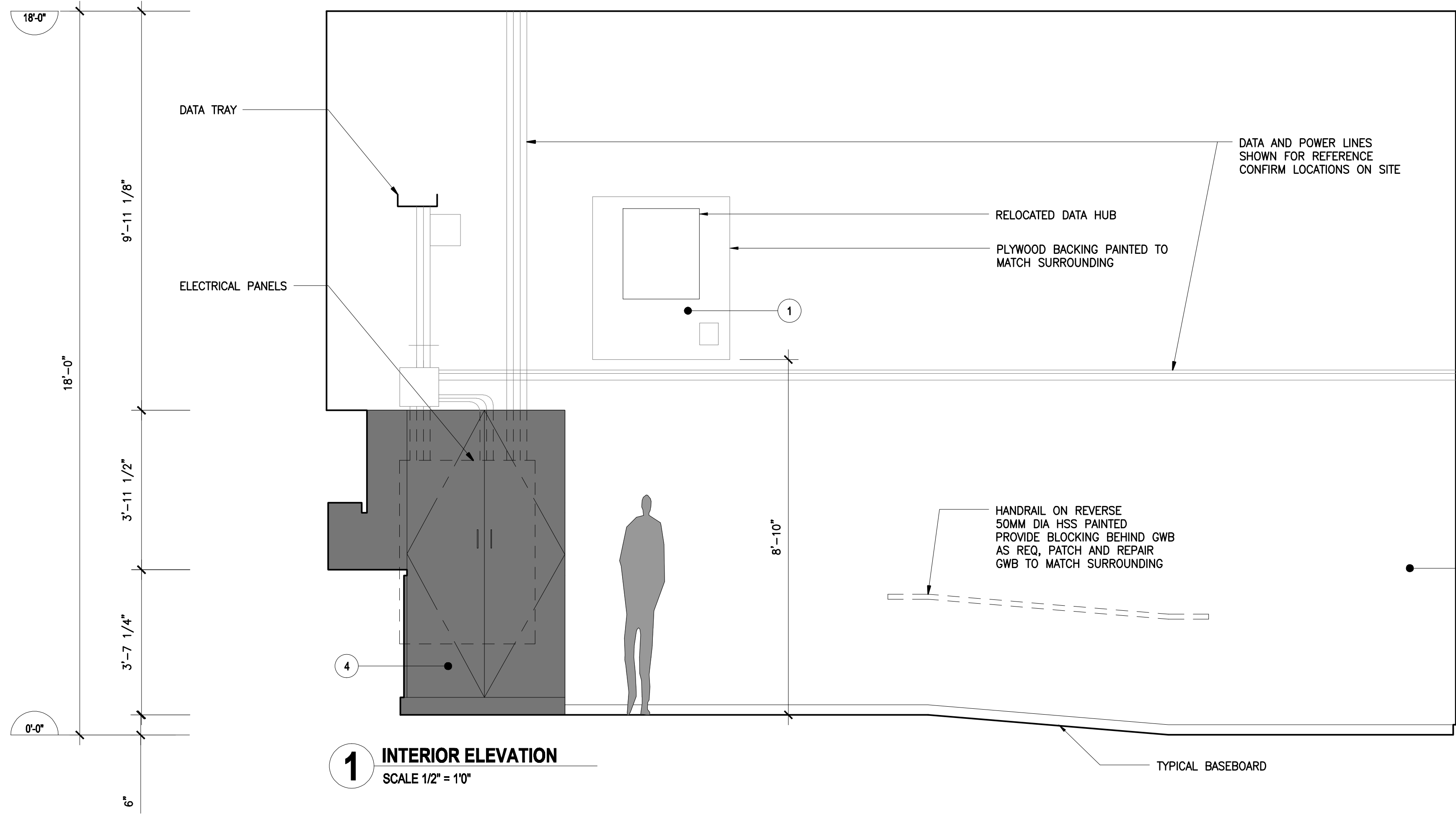
JOB NO.
1713

DATE
SEPT 2018

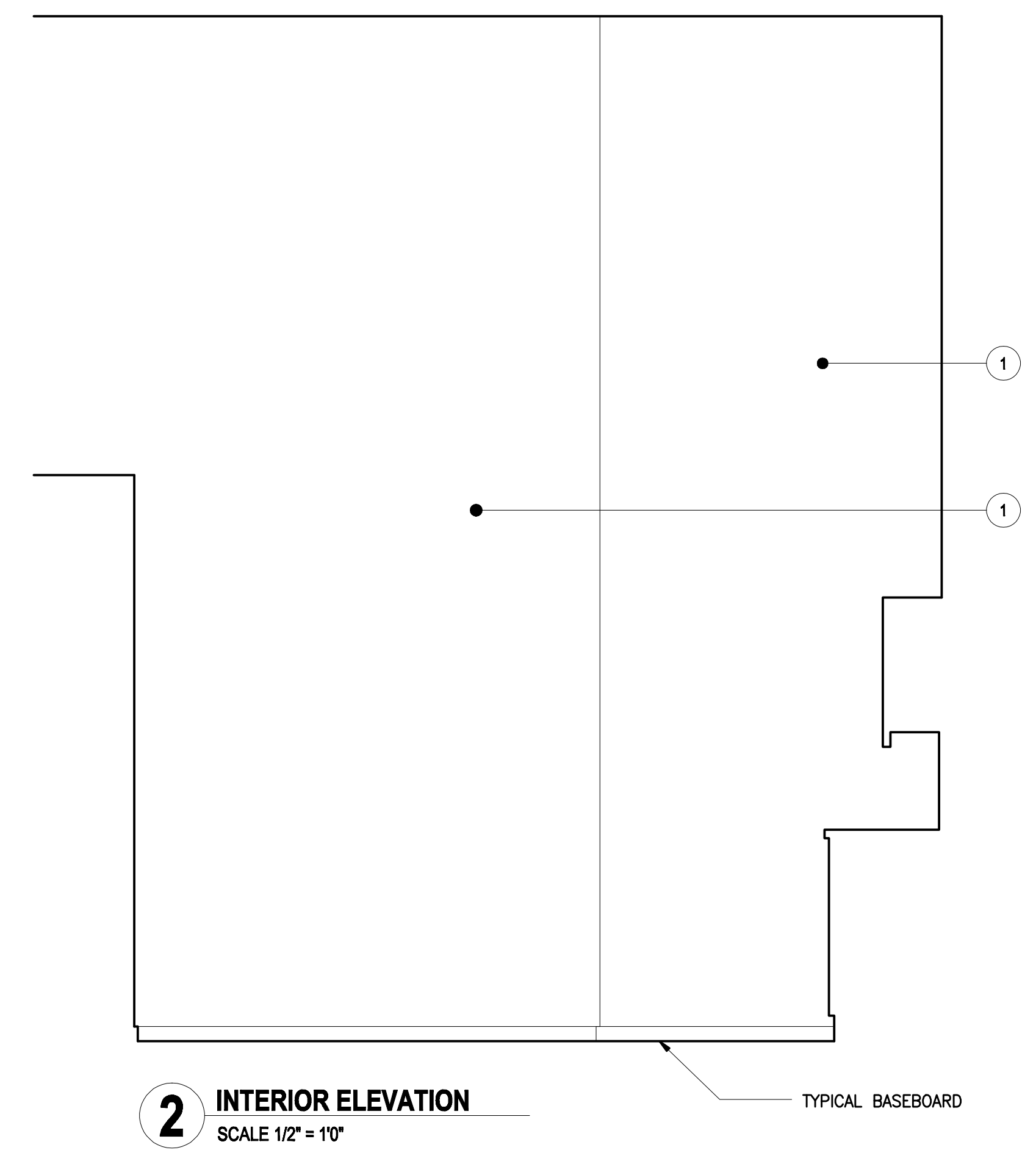
SCALE
1/4"=1'0"

SHEET
A4.1

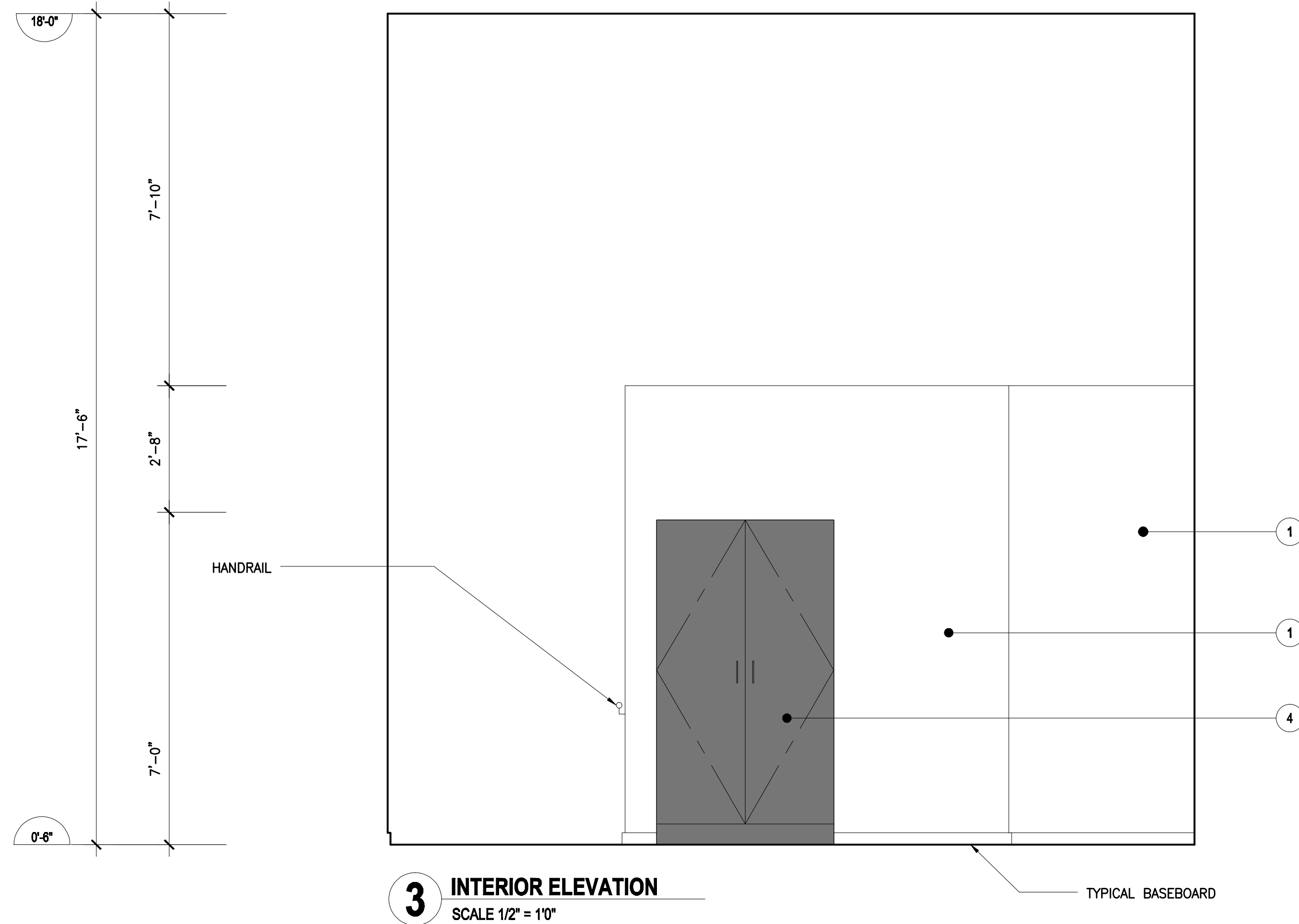
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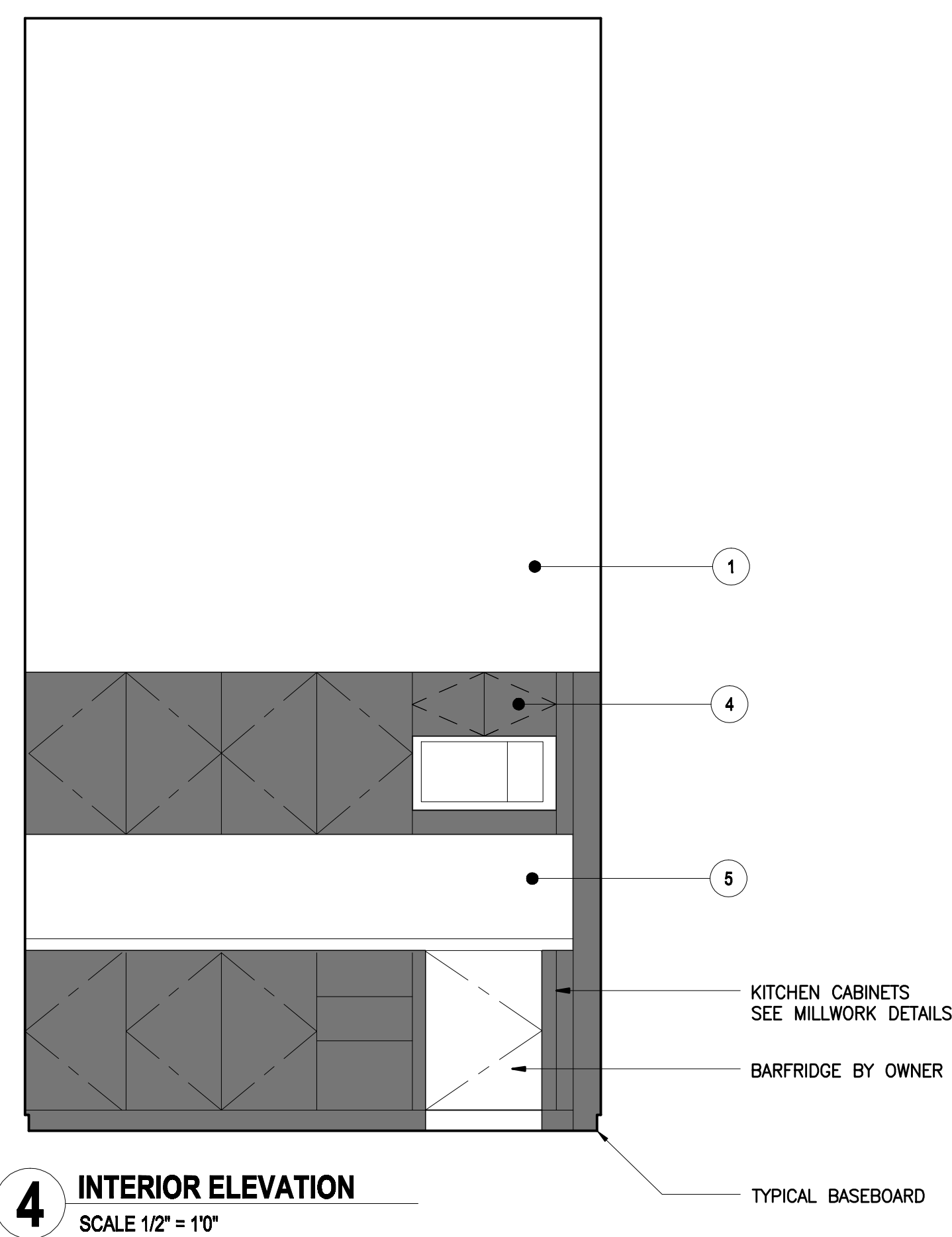
1 INTERIOR ELEVATION
SCALE 1/2" = 10"



2 INTERIOR ELEVATION
SCALE 1/2" = 10"



3 INTERIOR ELEVATION
SCALE 1/2" = 10"



4 INTERIOR ELEVATION
SCALE 1/2" = 10"

- ELEMENTS**
- 1. PAINT ON GWB, PT1
 - 2. PAINT ON GWB, PT2
 - 3. PLYWOOD, REUSED EXISTING STOCK
 - 4. P-LAM CABINETRY
 - 5. CORIAN, DESIGNER WHITE
 - 6. FELT



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SHEET TITLE
INTERIOR ELEVATIONS

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1713

DATE
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SCALE
1/2"=1'0"

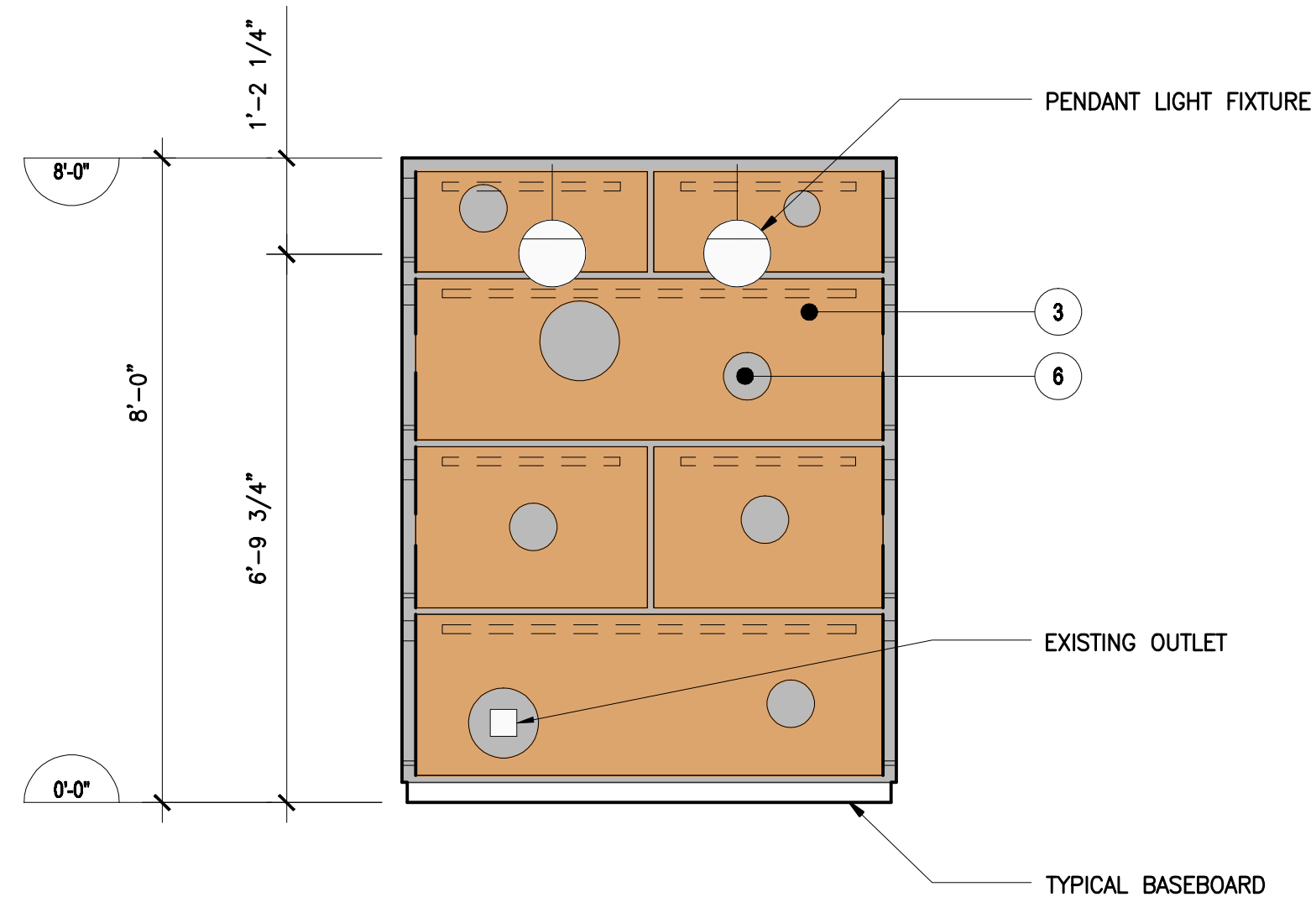
SHEET
A5.1

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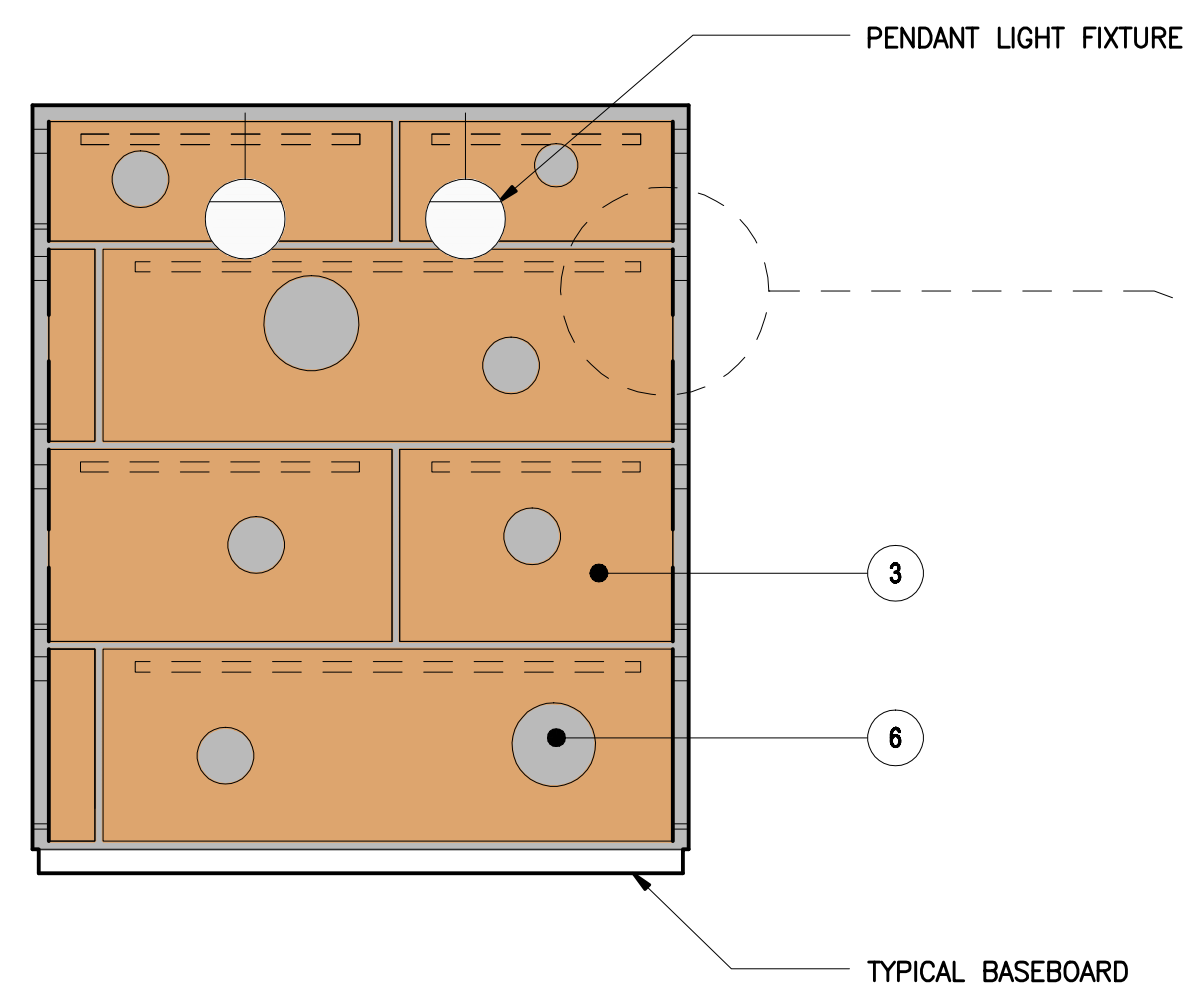


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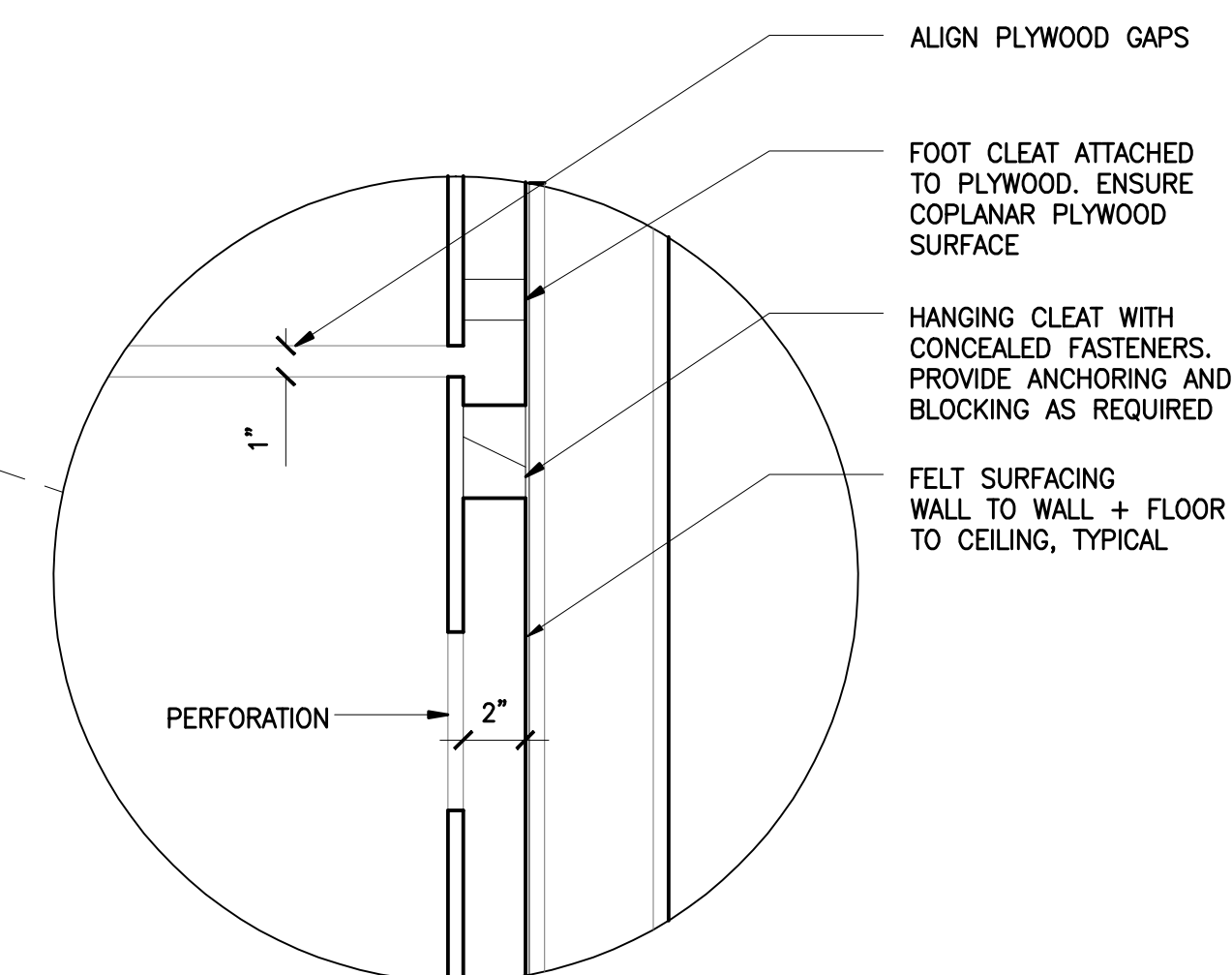
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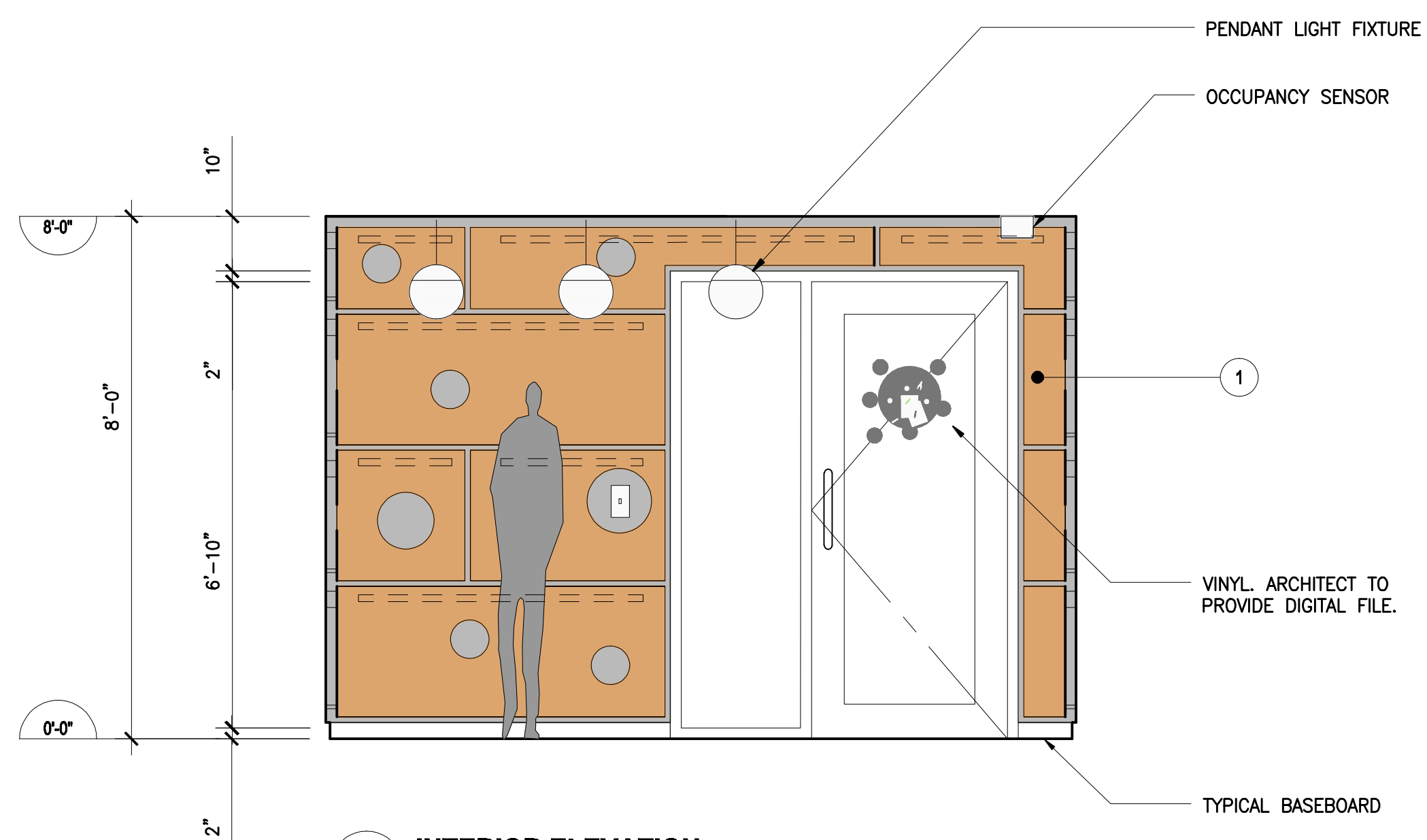
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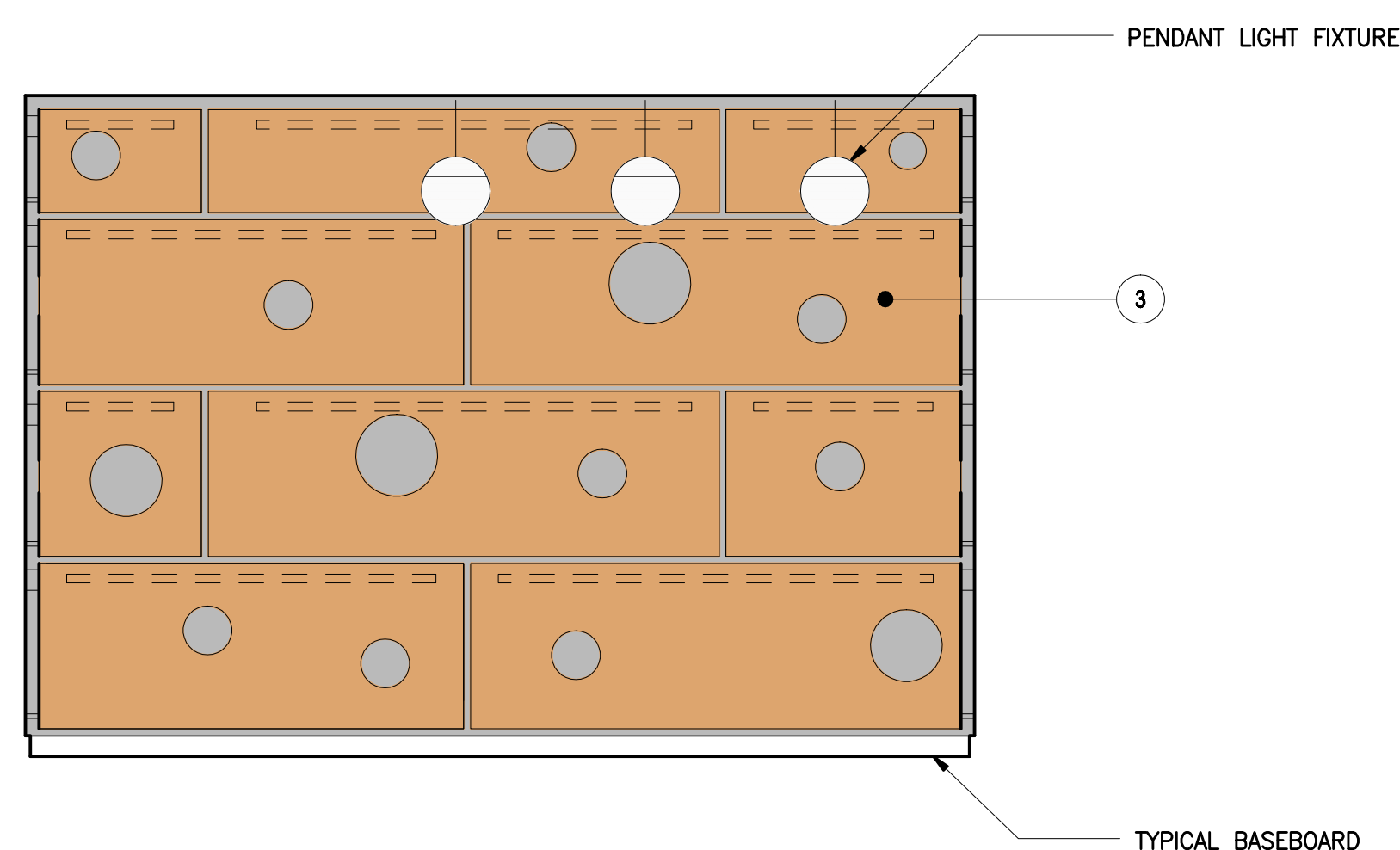
2 INTERIOR ELEVATION
SCALE 1/2" = 1'0"



5 DETAIL
SCALE 2" = 1'0"



3 INTERIOR ELEVATION
SCALE 1/2" = 1'0"



4 INTERIOR ELEVATION
SCALE 1/2" = 1'0"

ELEMENTS

1. PAINT ON GWB, PT1
2. PAINT ON GWB, PT2
3. PLYWOOD, REUSED EXISTING STOCK
4. P-LAM CABINETRY
5. CORIAN, DESIGNER WHITE
6. FELT

GENERAL NOTES

PLYWOOD REUSED FROM EXISTING STOCK
COORDINATE OUTLETS. SWITCHES WITH EXISTING PLYWOOD OPENINGS
PROVIDE ADDITIONAL HOLES WHERE EXISTING HOLES WILL NOT ACCOMMODATE SERVICES
NO HOLES WITHIN 2" OF PLYWOOD PANEL PERIMETER
EASE ALL NEW CUT EDGES
COV STOCK INCLUDES 8 FULL SIZED SHEETS PLYWOOD

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SHEET TITLE
INTERIOR ELEVATIONS

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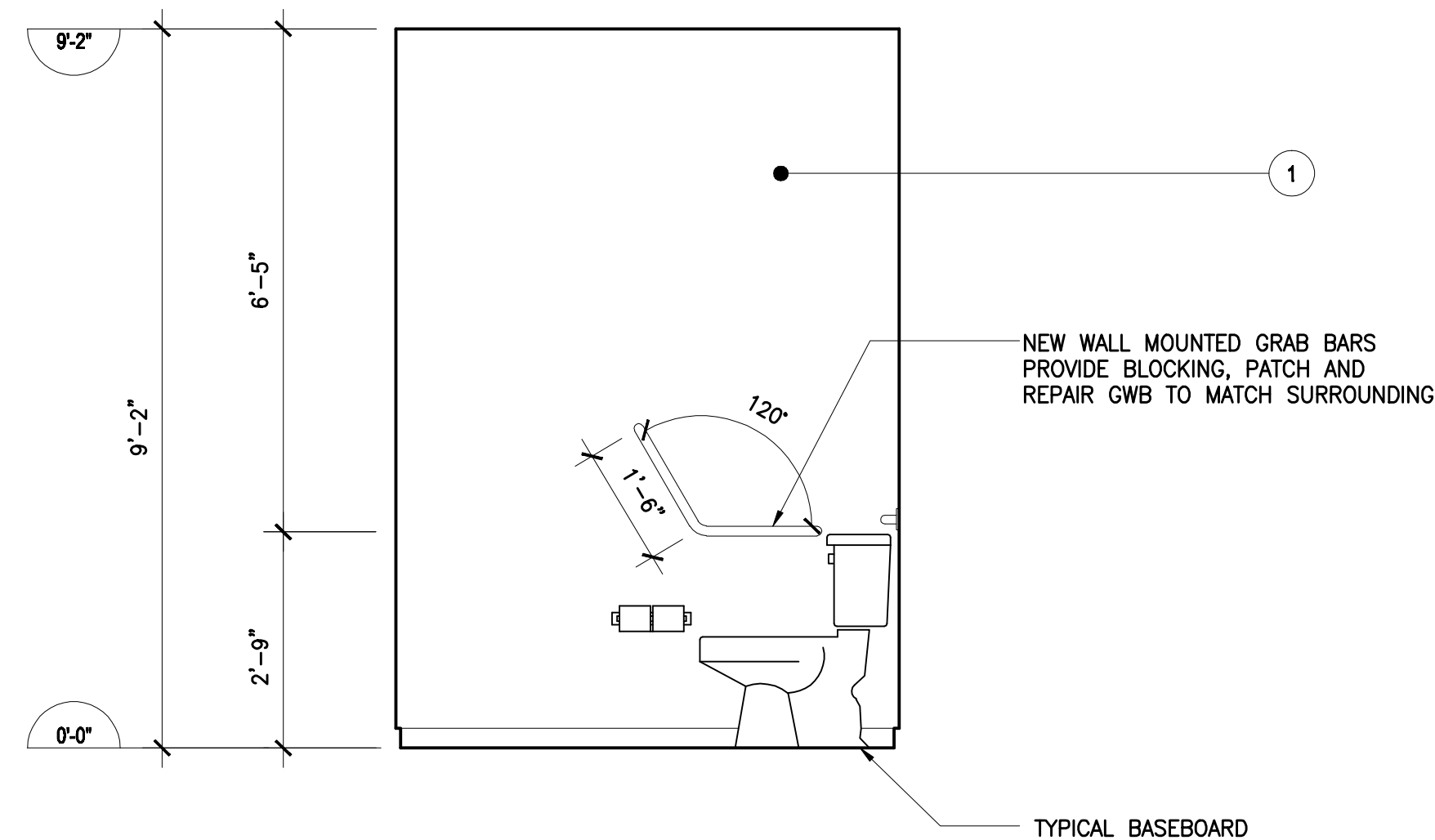
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SHEET
A5.2

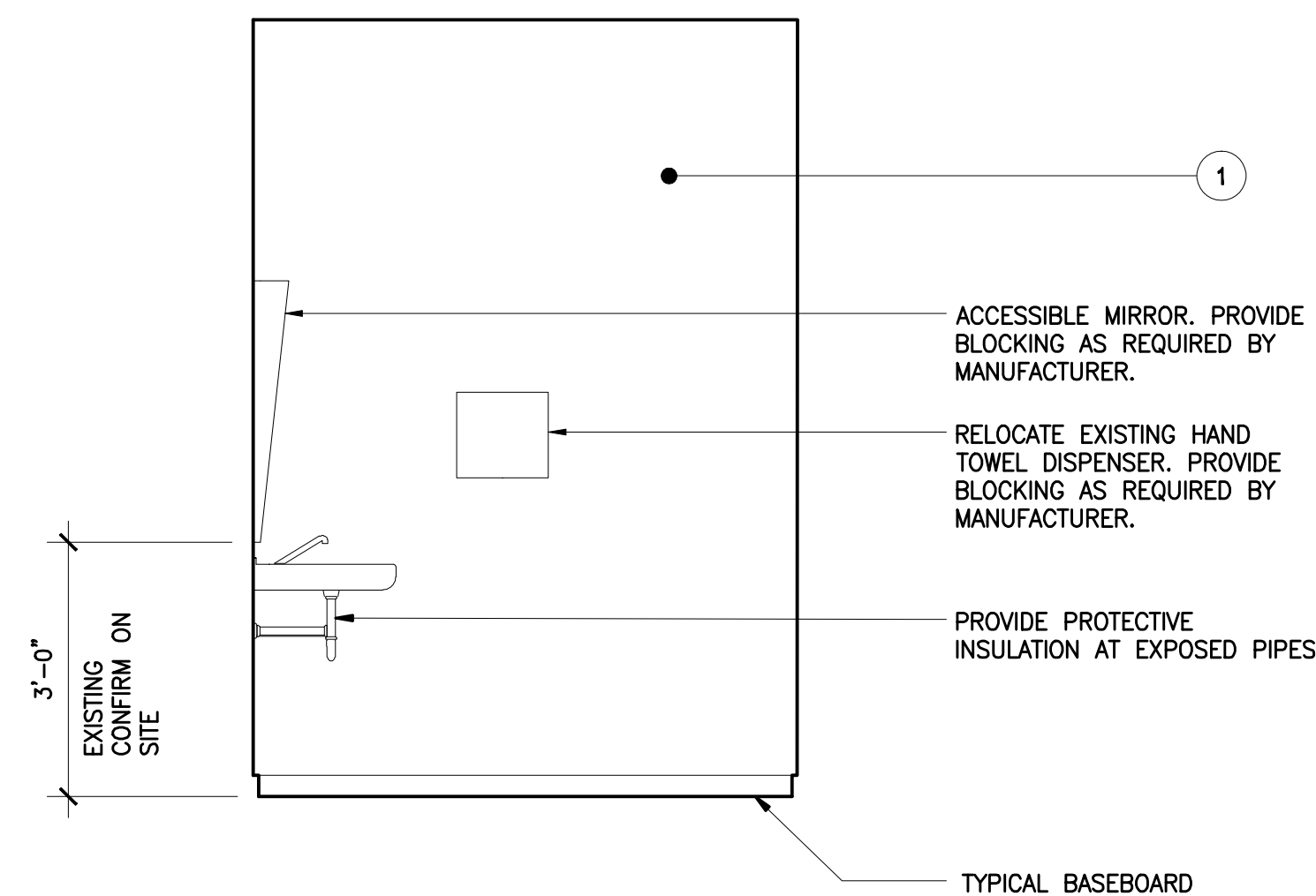
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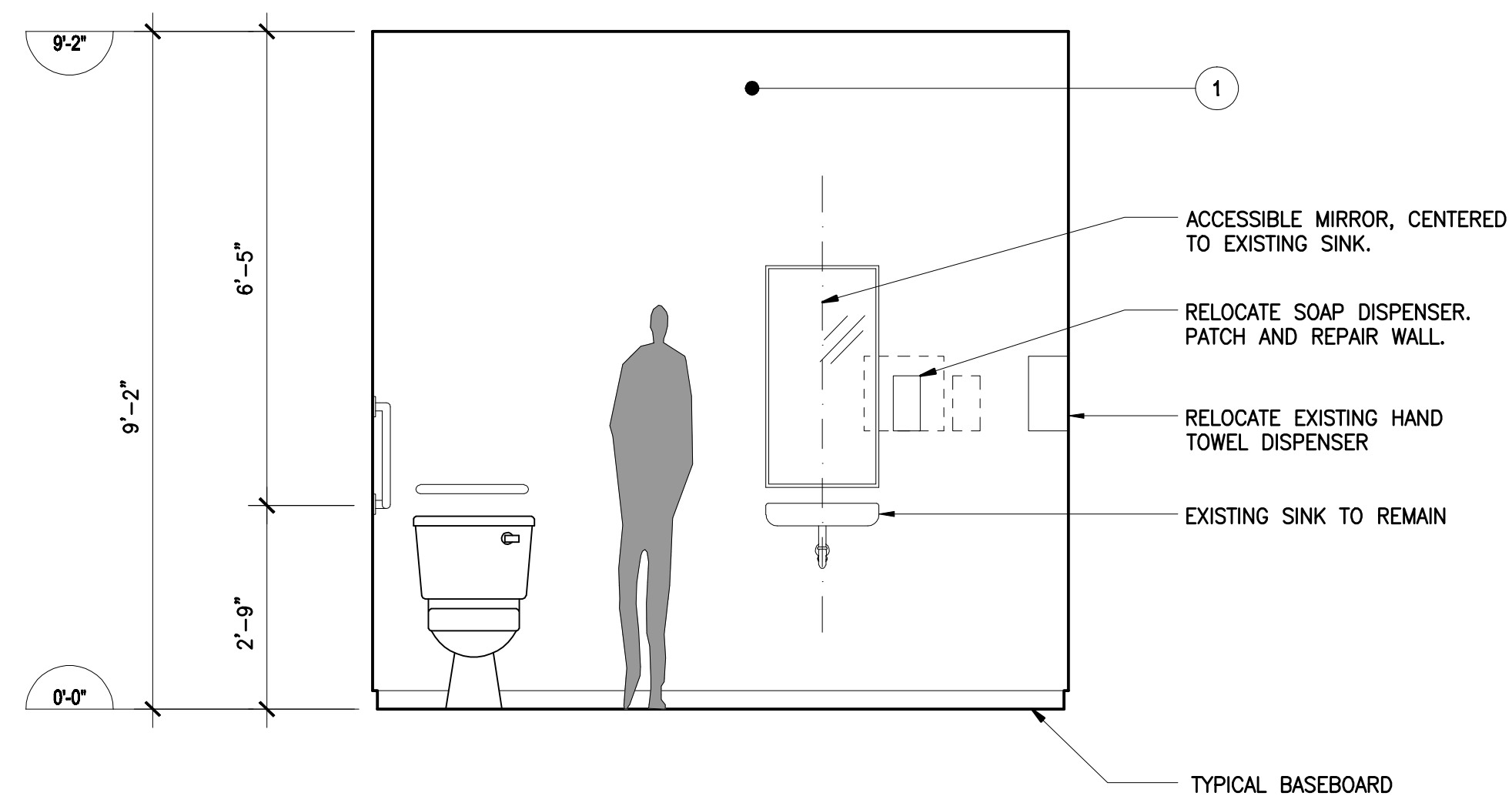
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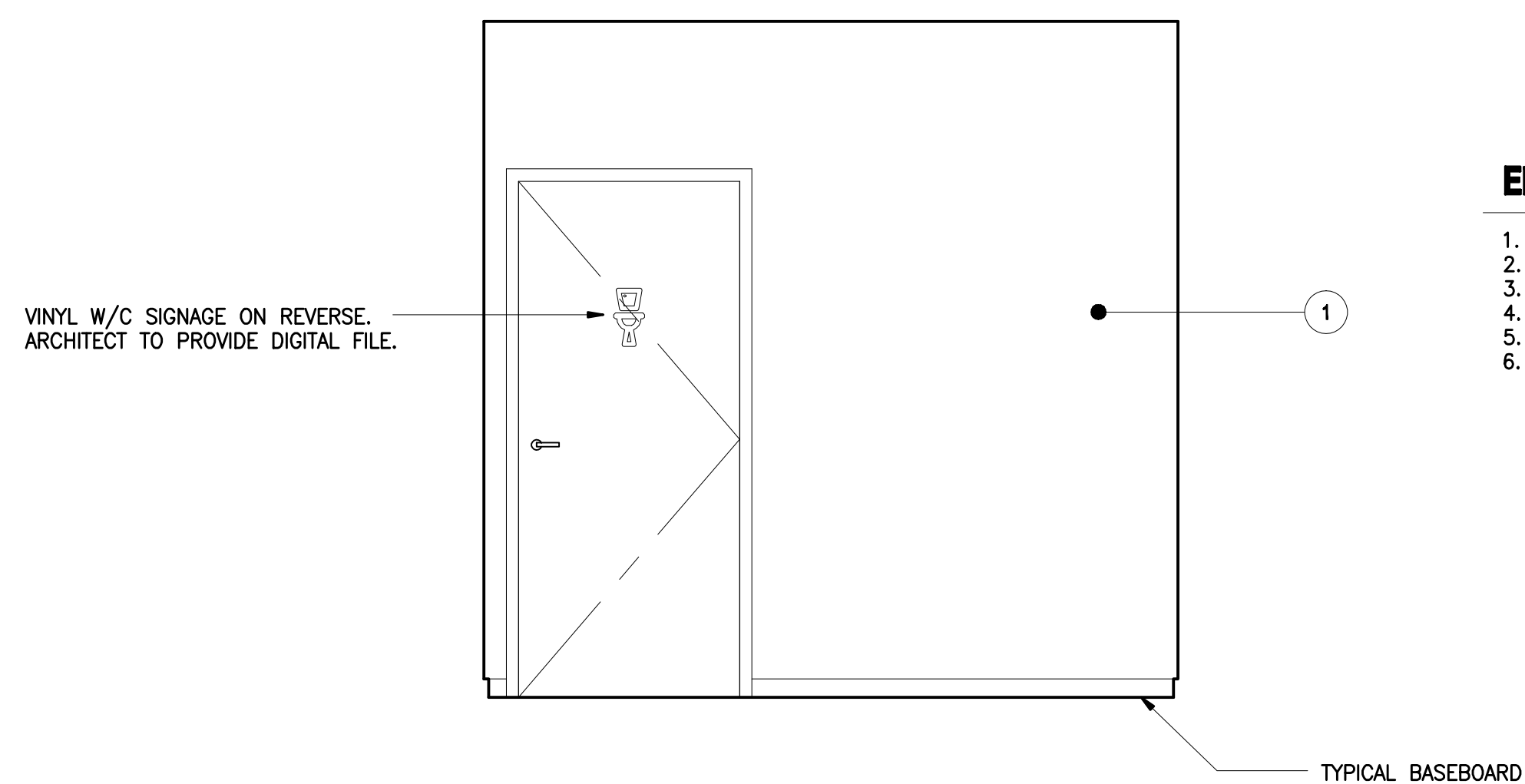
1 INTERIOR ELEVATION
 SCALE 1/2" = 1'0"



2 INTERIOR ELEVATION
 SCALE 1/2" = 1'0"



3 INTERIOR ELEVATION
 SCALE 1/2" = 1'0"



4 INTERIOR ELEVATION
 SCALE 1/2" = 1'0"

ELEMENTS

1. PAINT ON GWB, PT1
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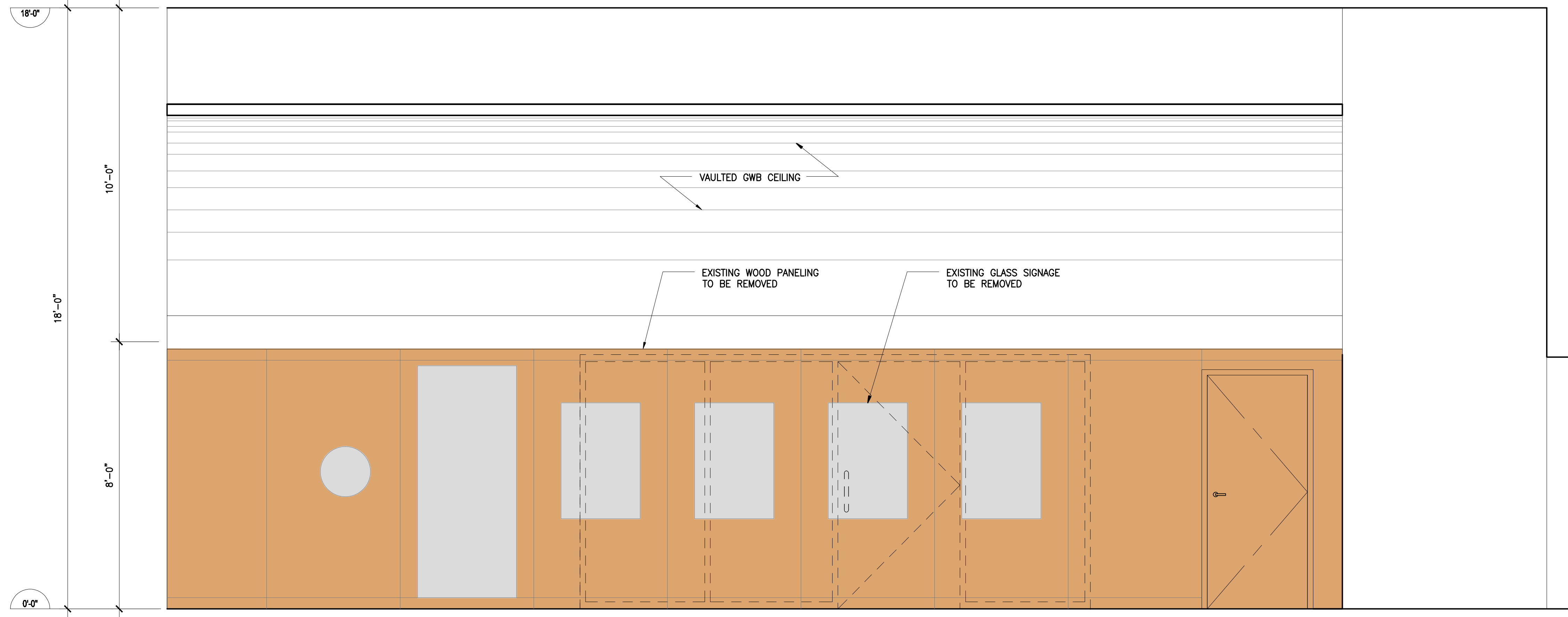
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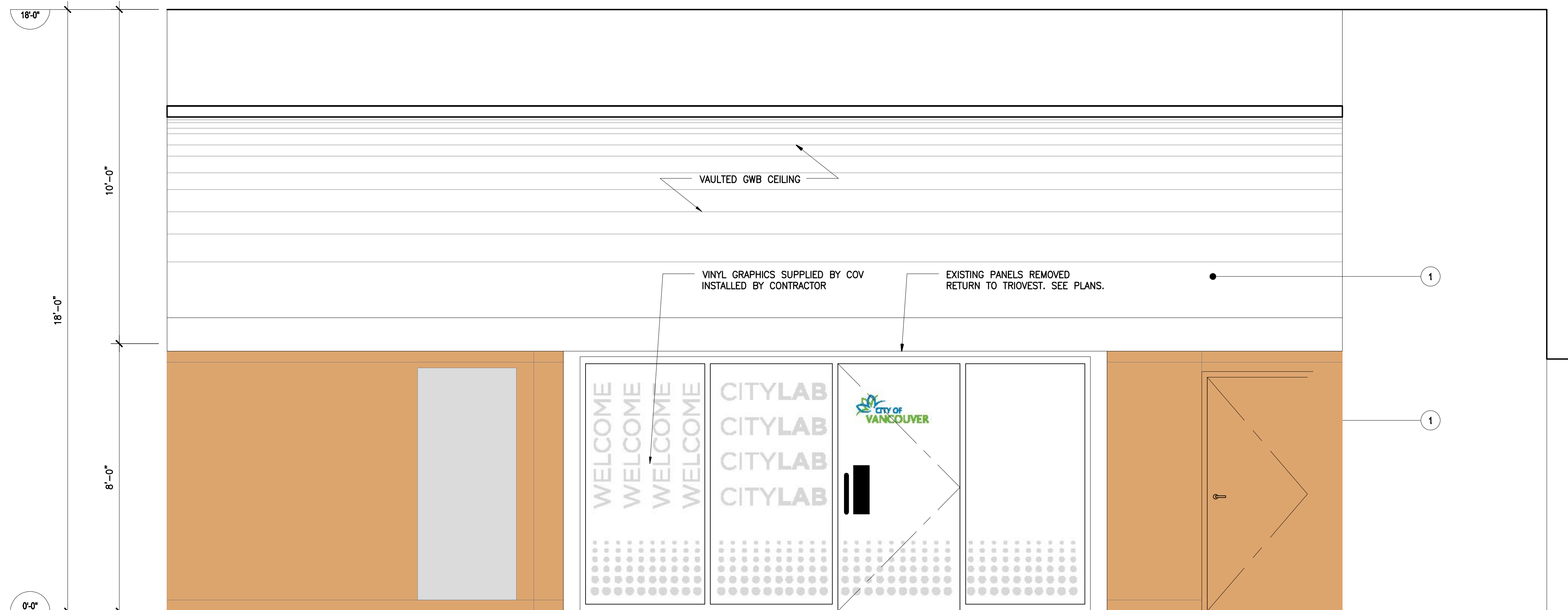
SCALE:
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SHEET
A5.3

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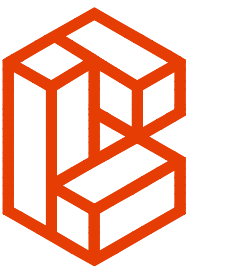
1 EXISTING ELEVATION
SCALE 1/2" = 1'0"



2 PROPOSED ELEVATION
SCALE 1/2" = 1'0"



SCOPE OF WORK: REMOVAL OF WOOD PANELS IN FRONT OF DOORS



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ELEMENTS

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2. PAINT ON GWB, PT2
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SHEET TITLE
INTERIOR ELEVATIONS

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JOB NO.
1713

DATE
SEPT 2018

SCALE
1/2"=1'0"

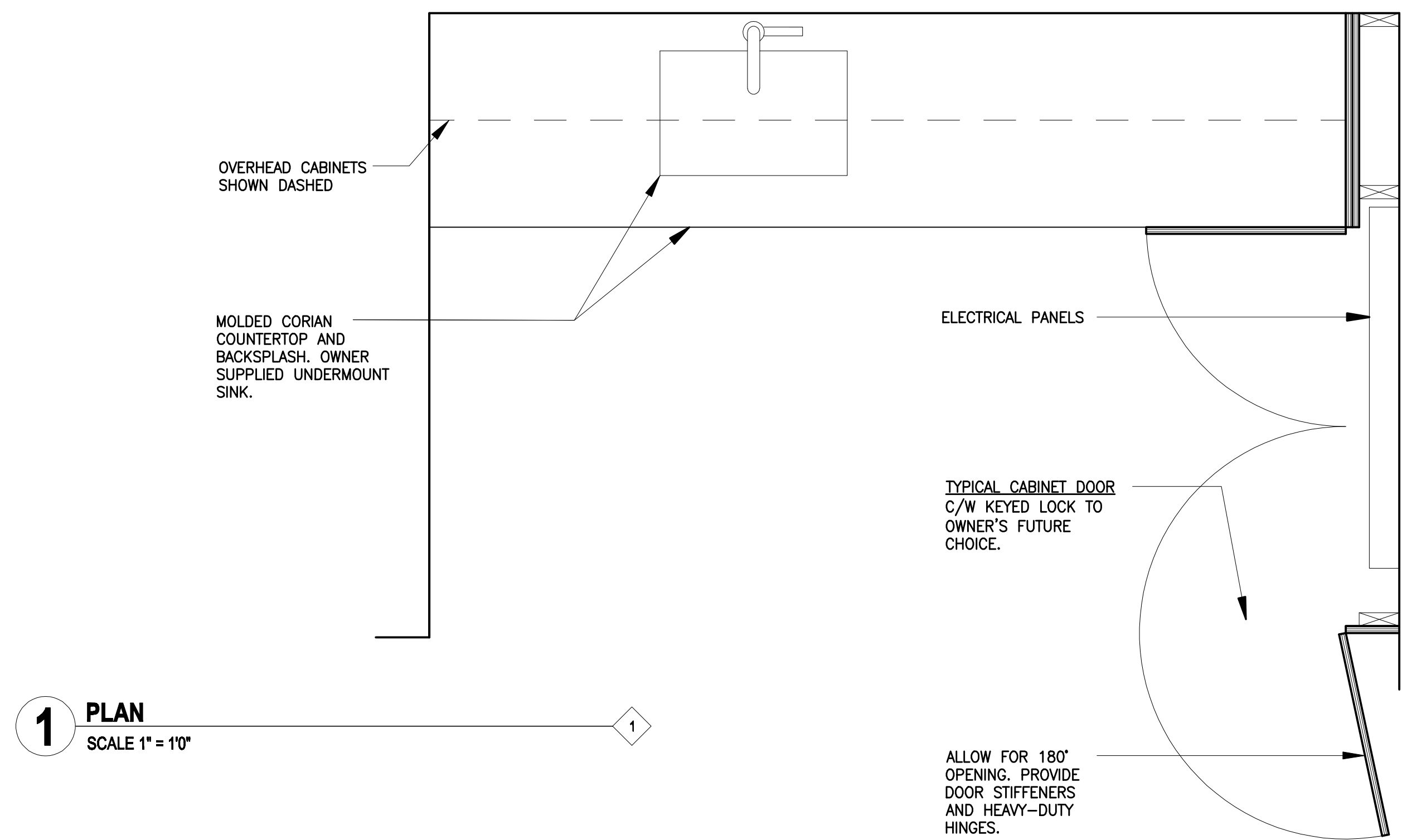
SHEET
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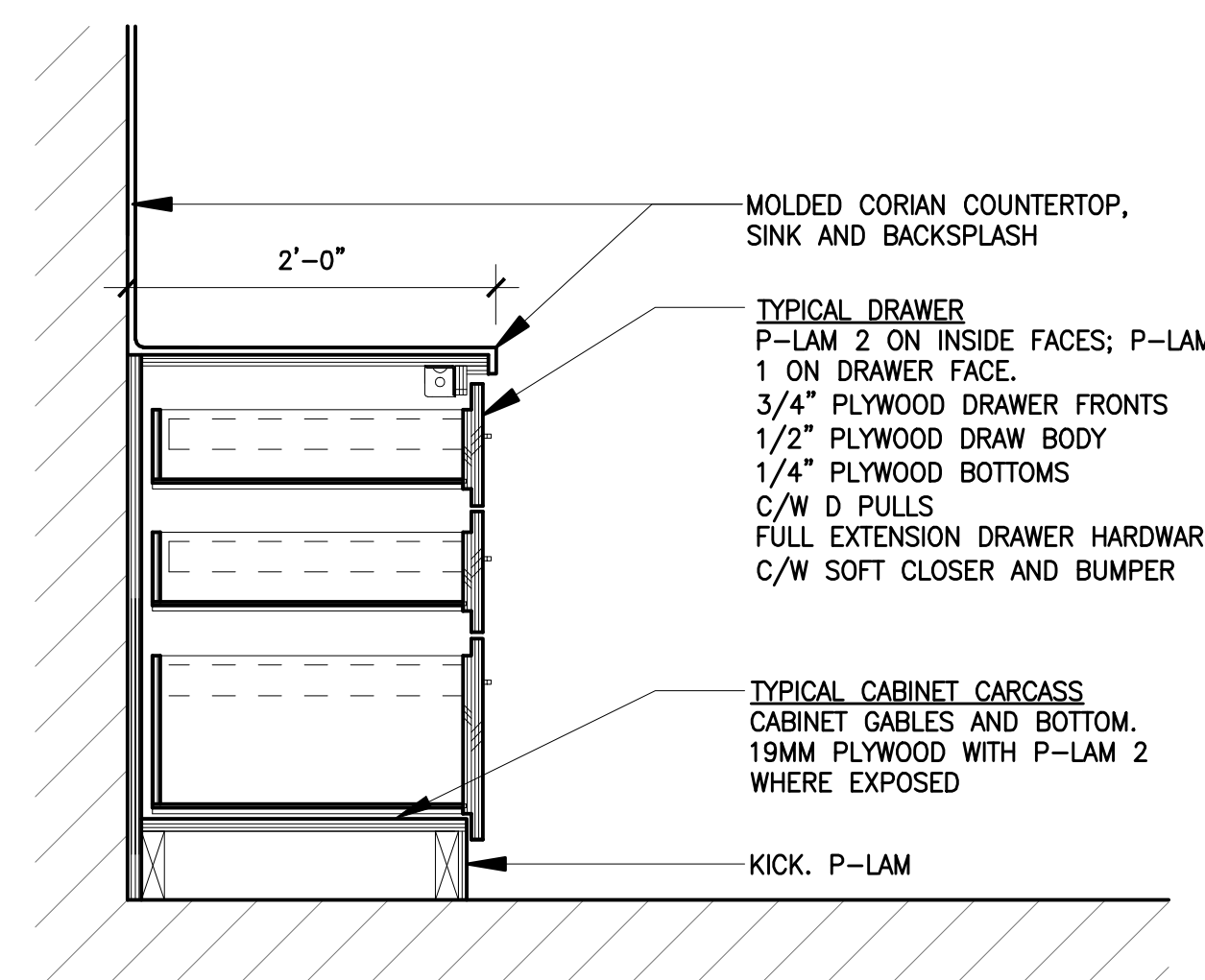


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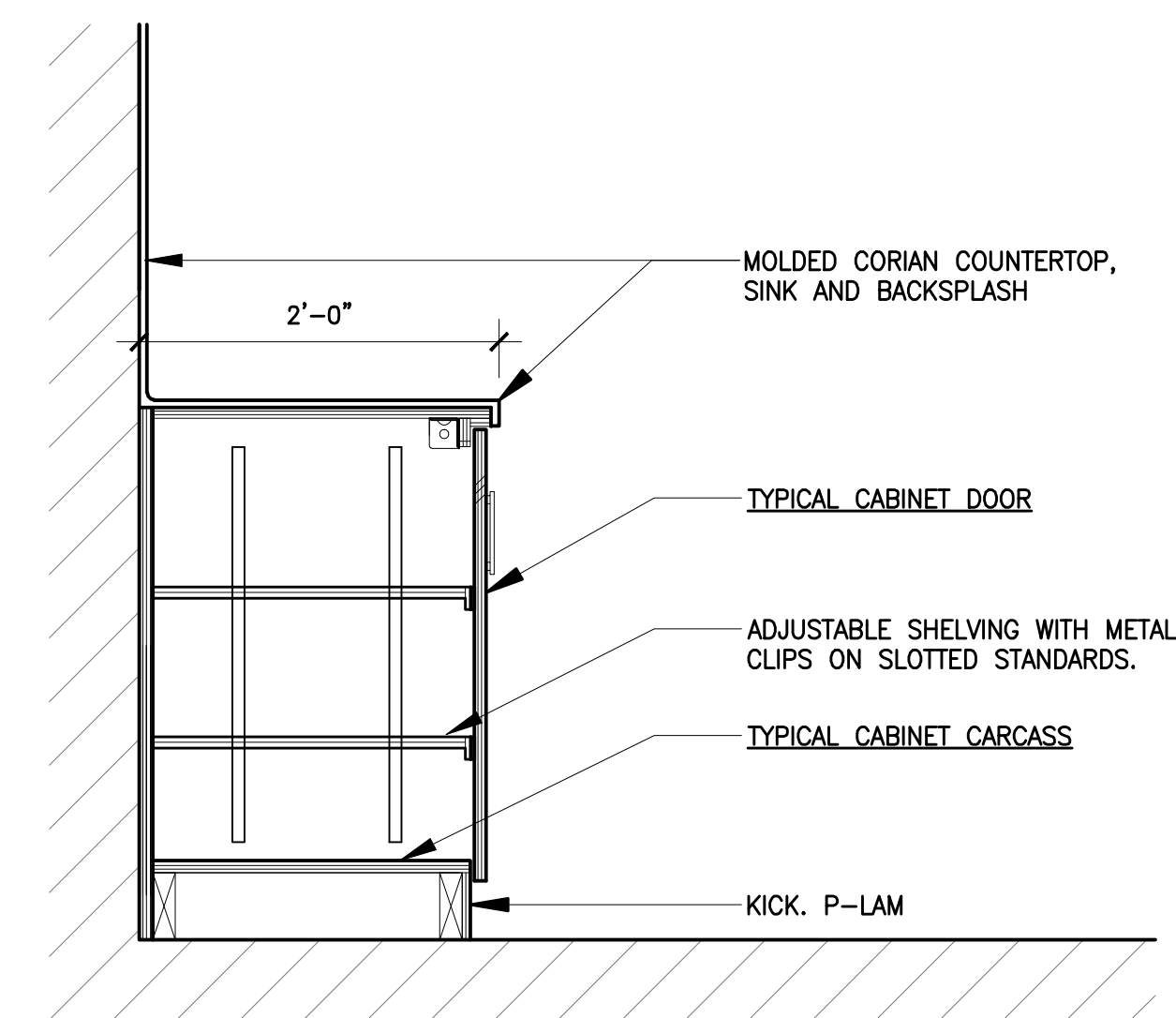
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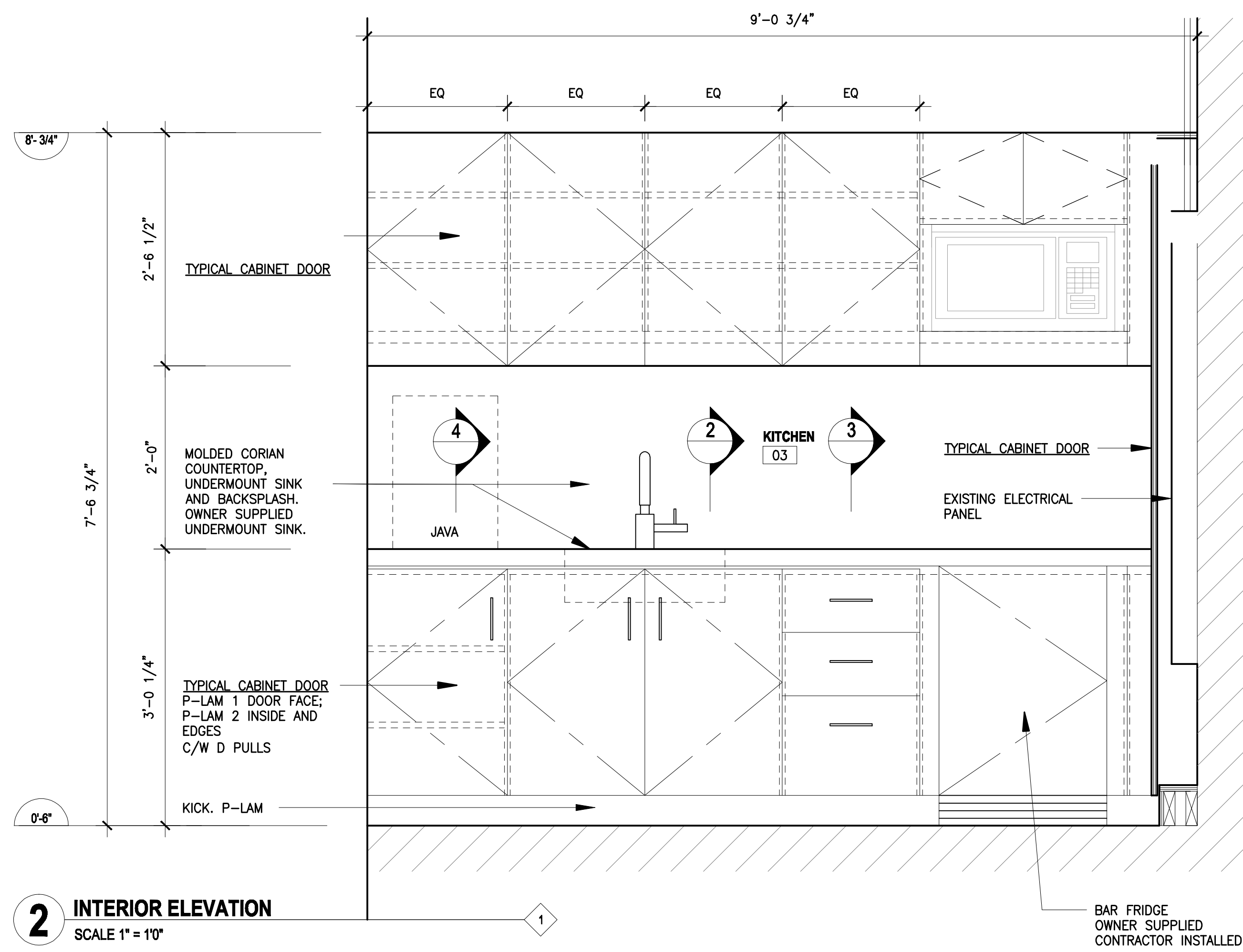
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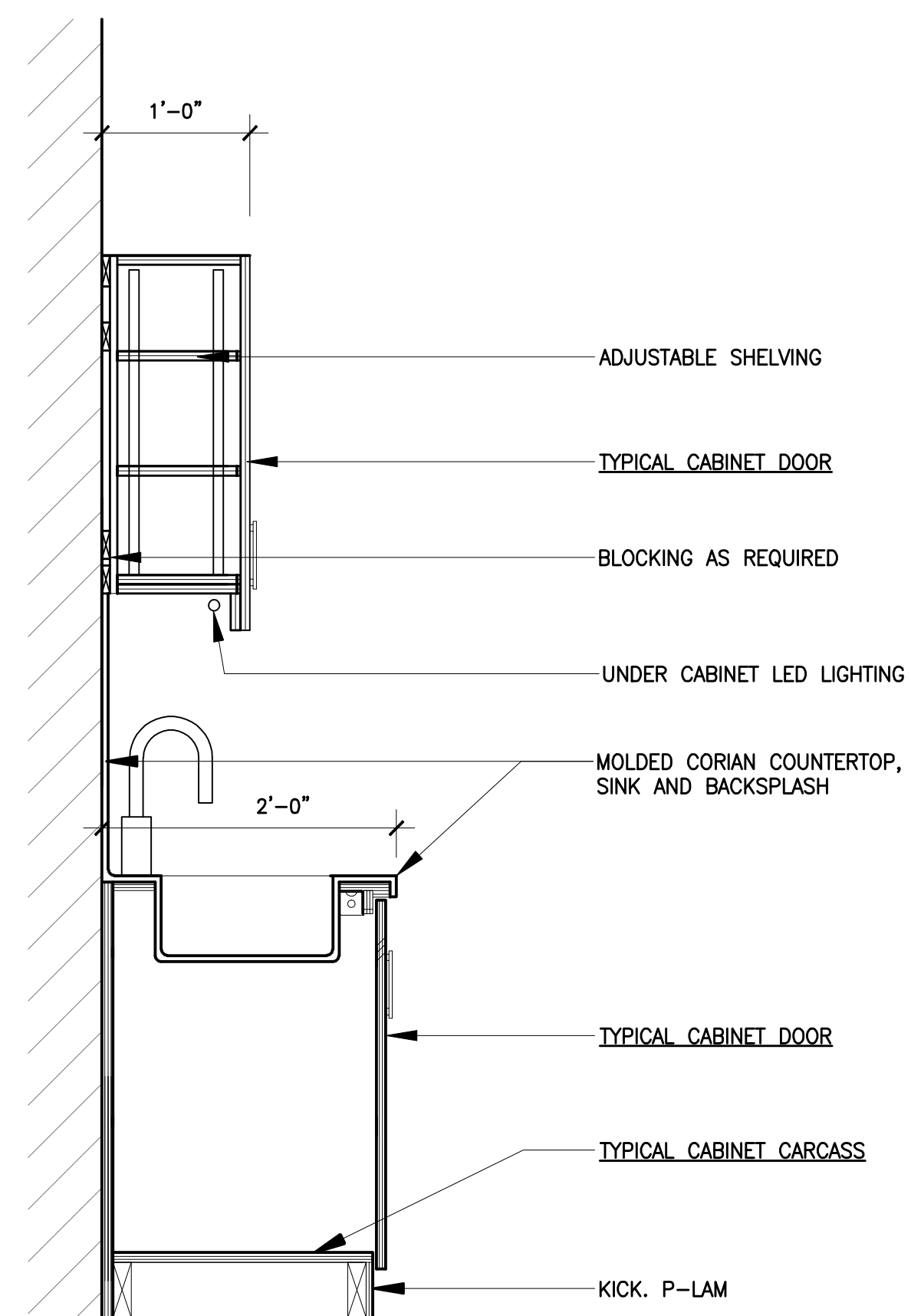
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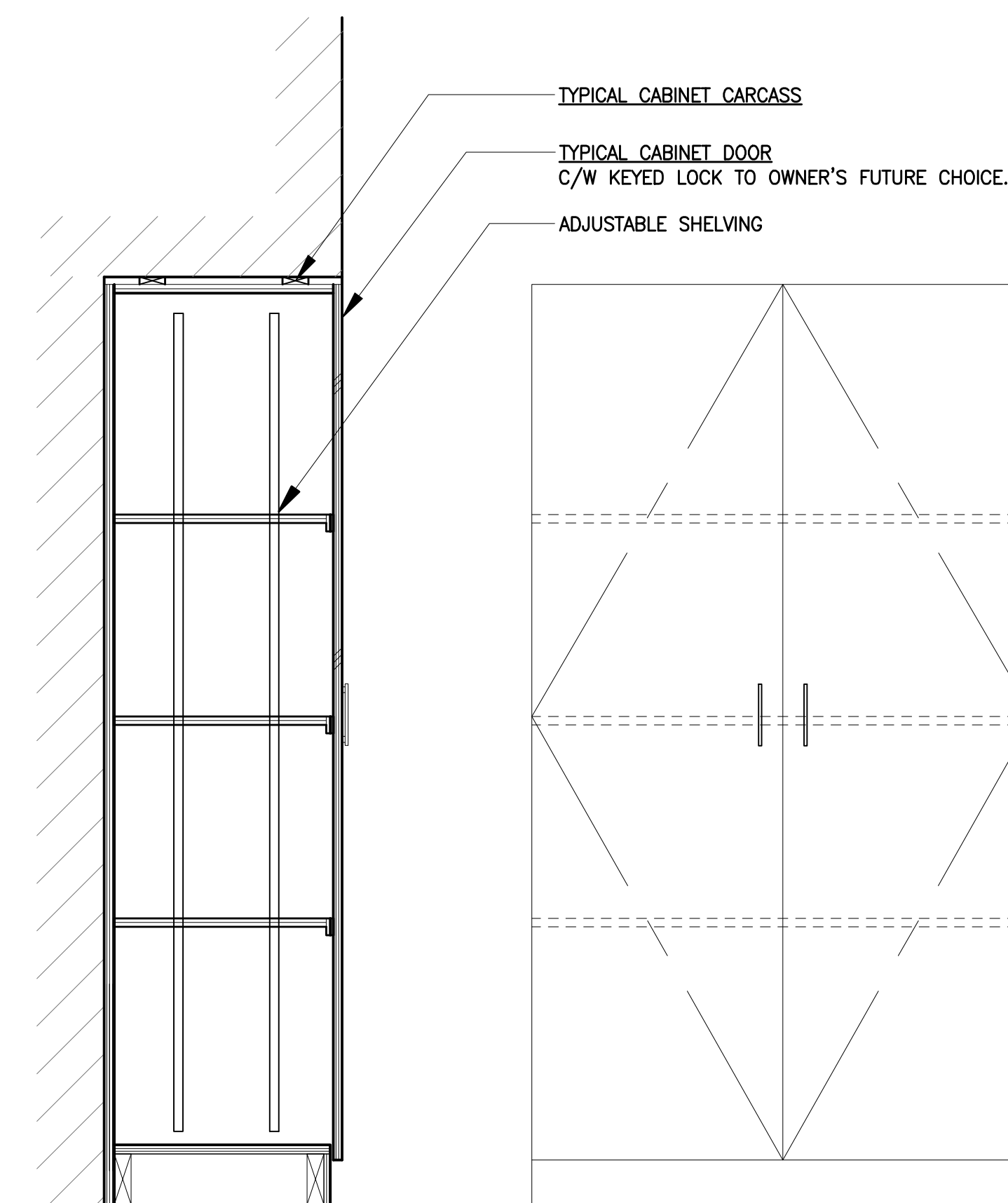
5 MILLWORK SECTION
SCALE 1" = 10"



2 INTERIOR ELEVATION
SCALE 1" = 10"



4 MILLWORK SECTION
SCALE 1" = 10"



6 MILLWORK SECTION
SCALE 1" = 10"

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SHEET TITLE
MILLWORK DETAILS

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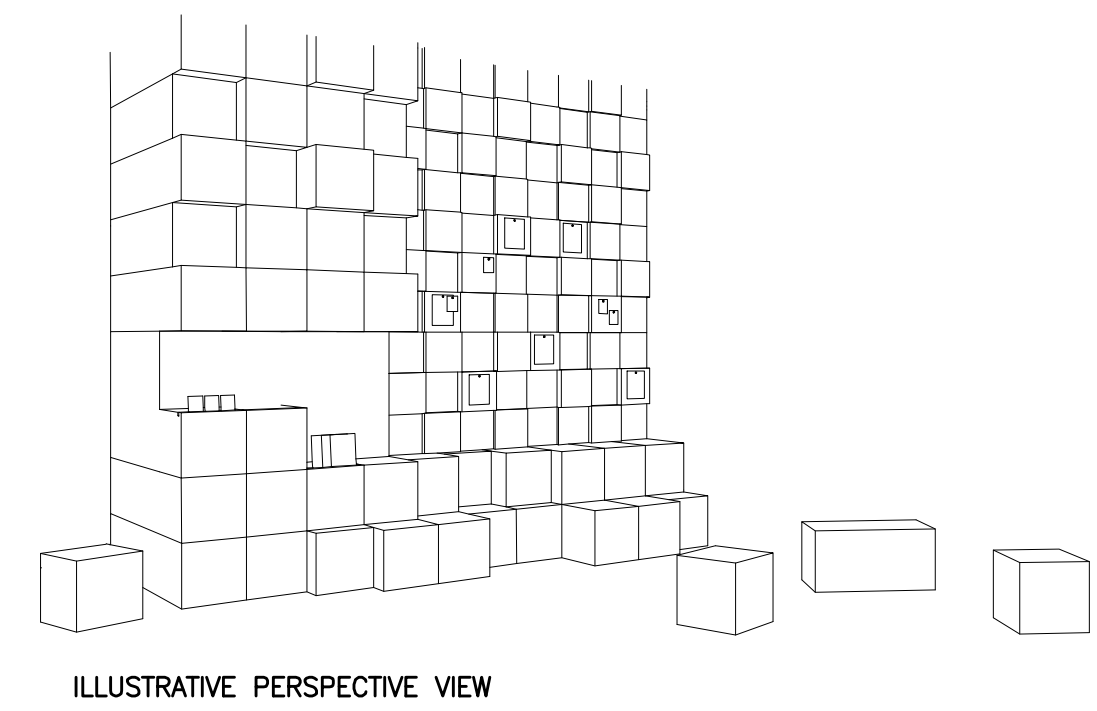
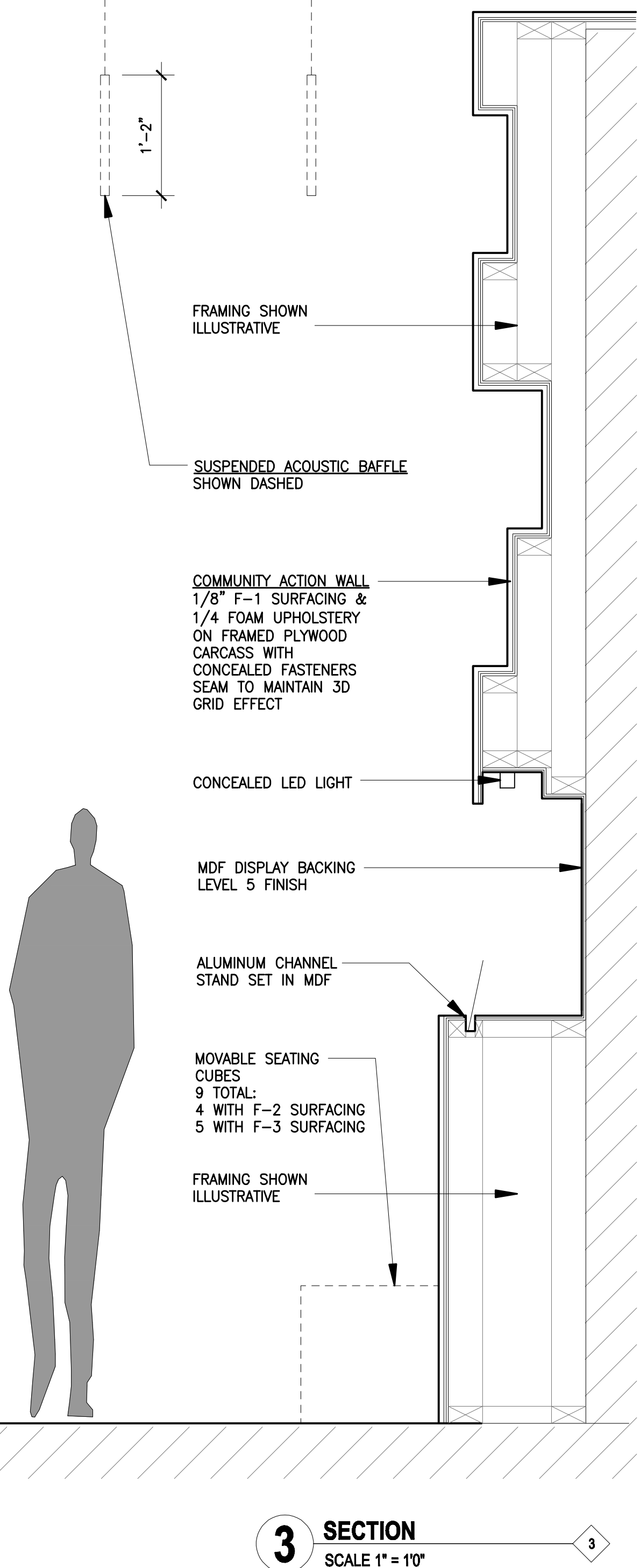
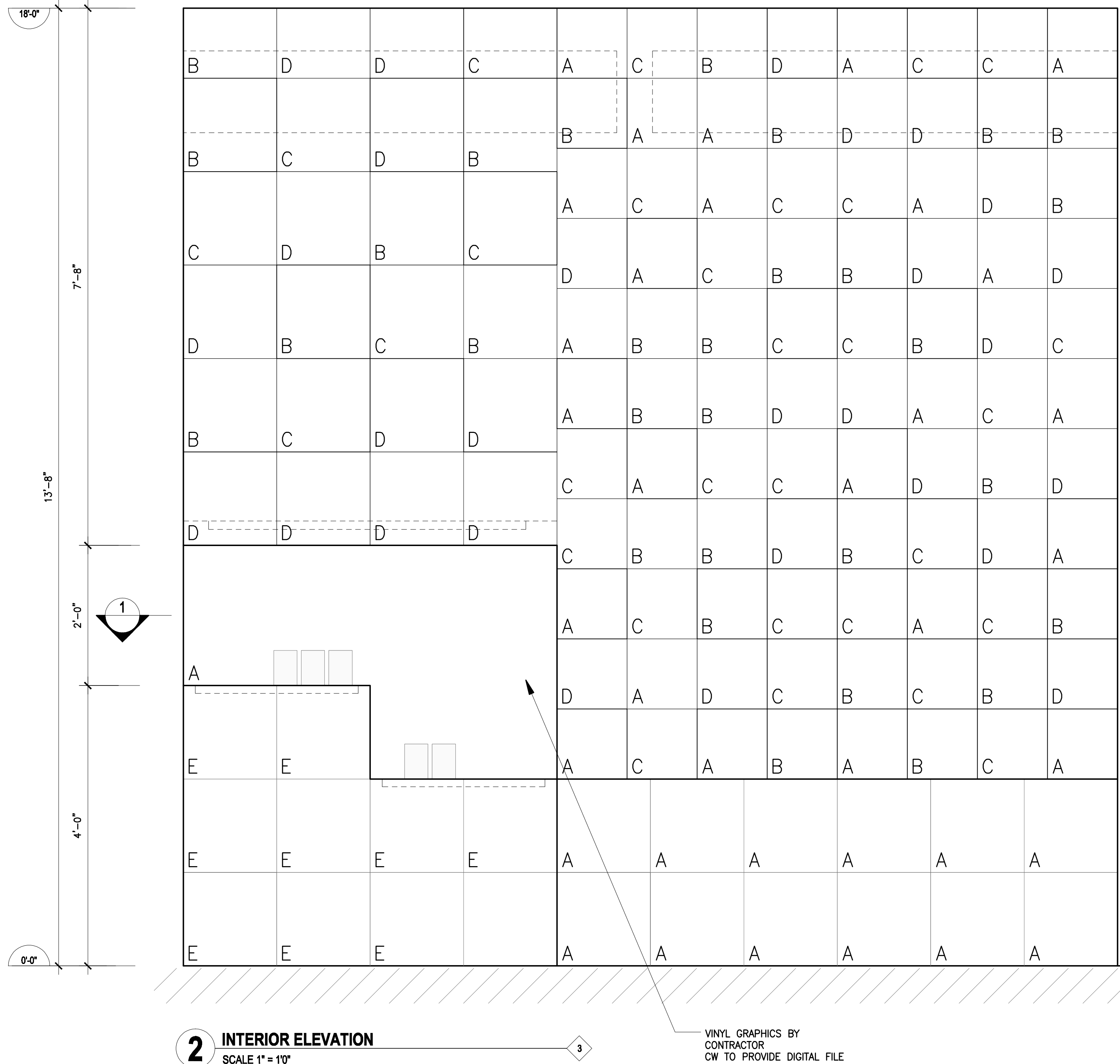
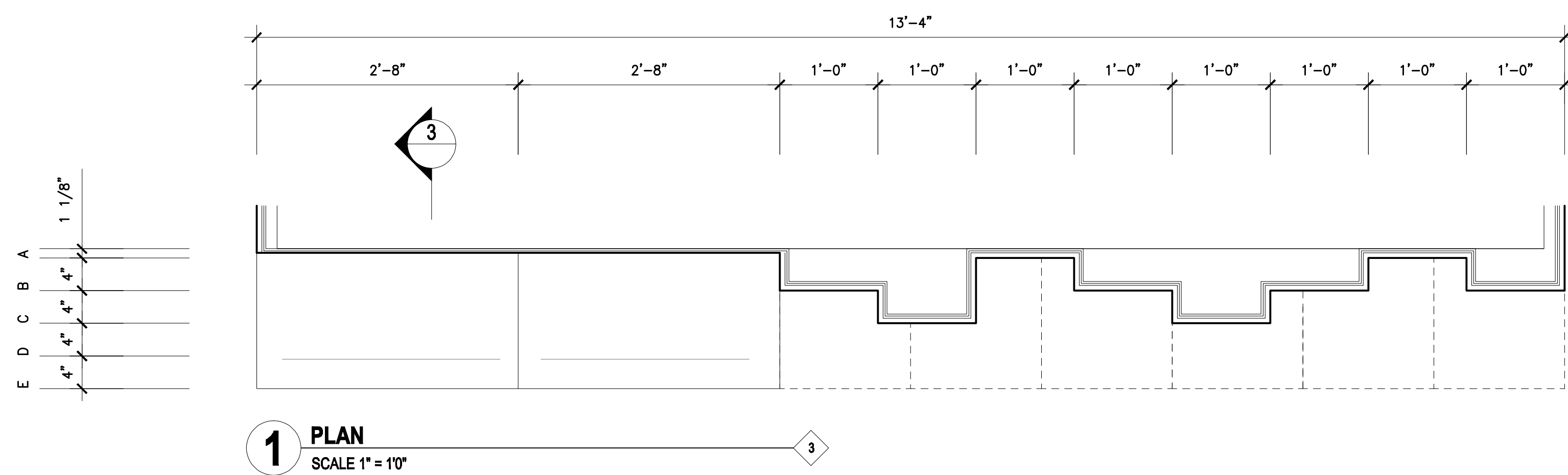
DATE
SEPT 2018

SCALE
1" = 10"

SHEET

A6.1

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MILLWORK DETAILS

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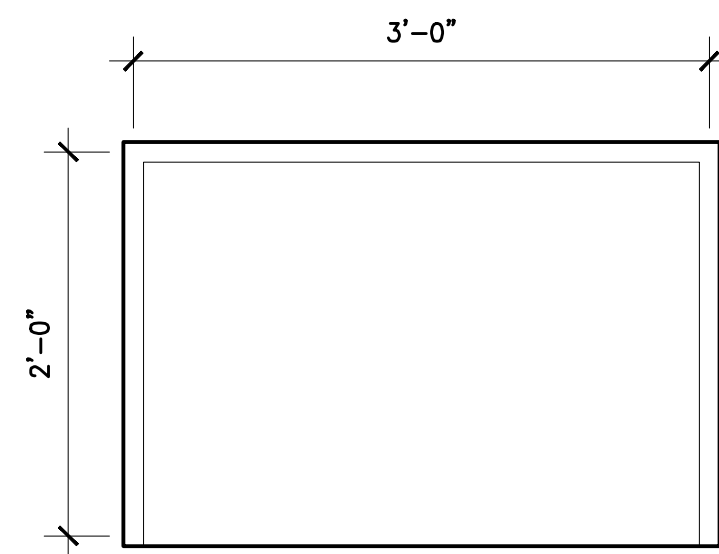
JOB NO.: 1713 DATE: SEPT 2018

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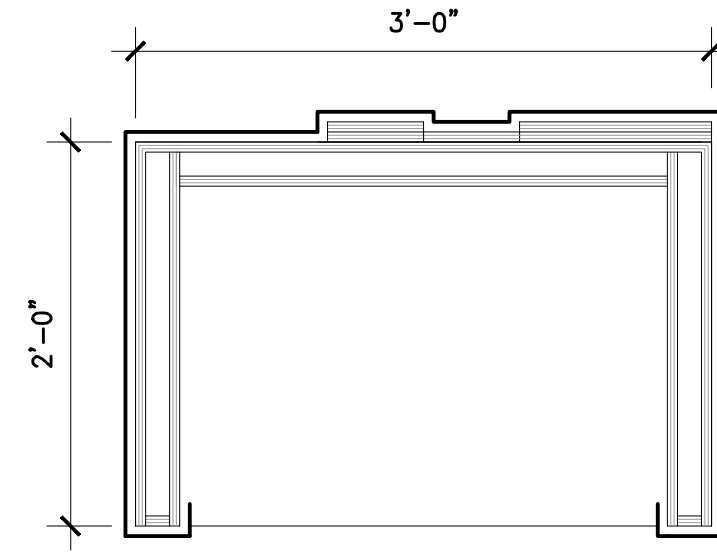
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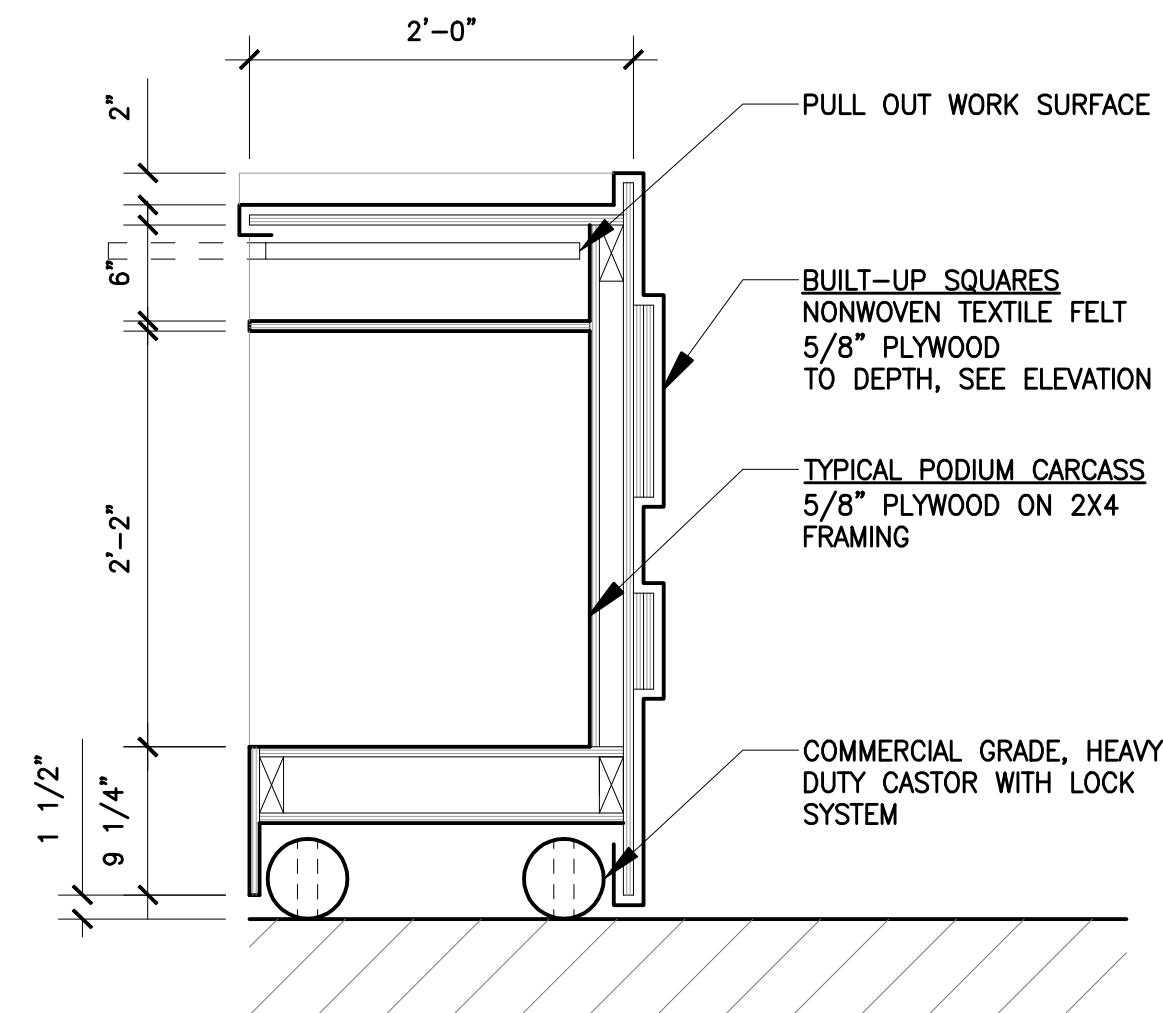
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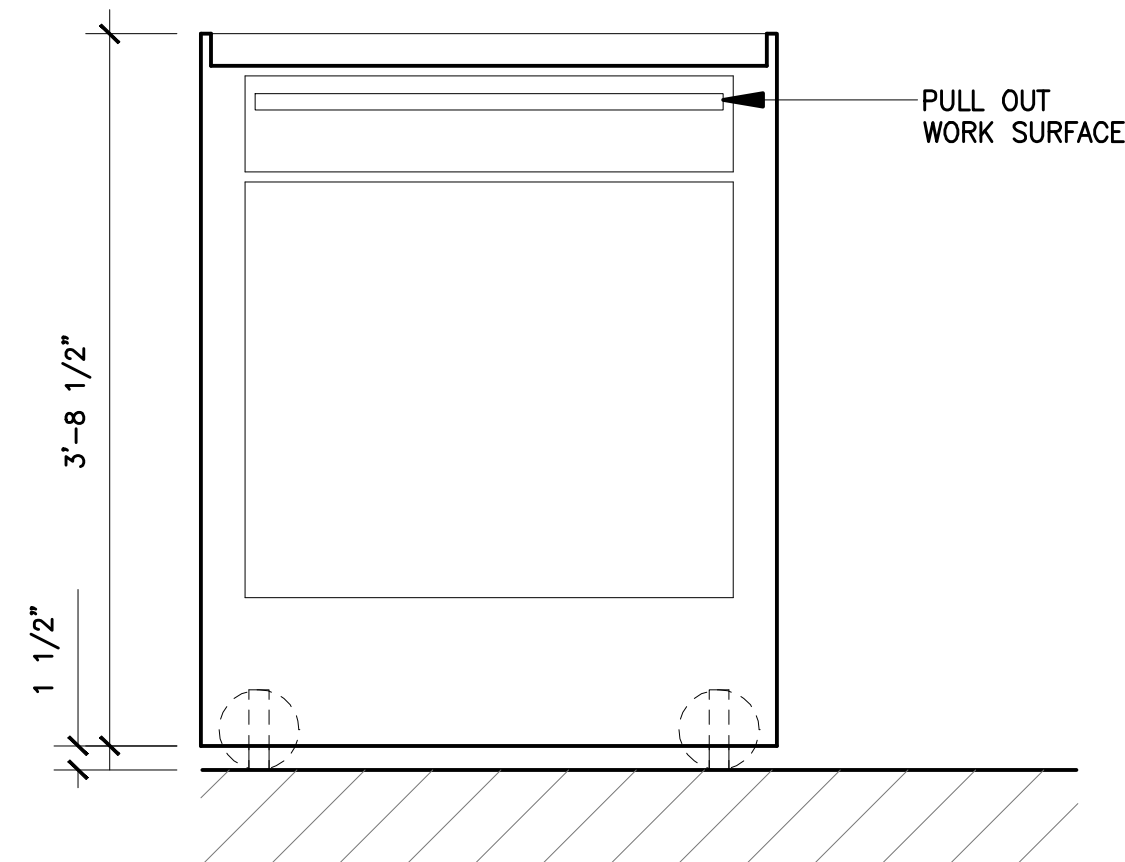
1 PLAN - TOP
SCALE 1" = 10"



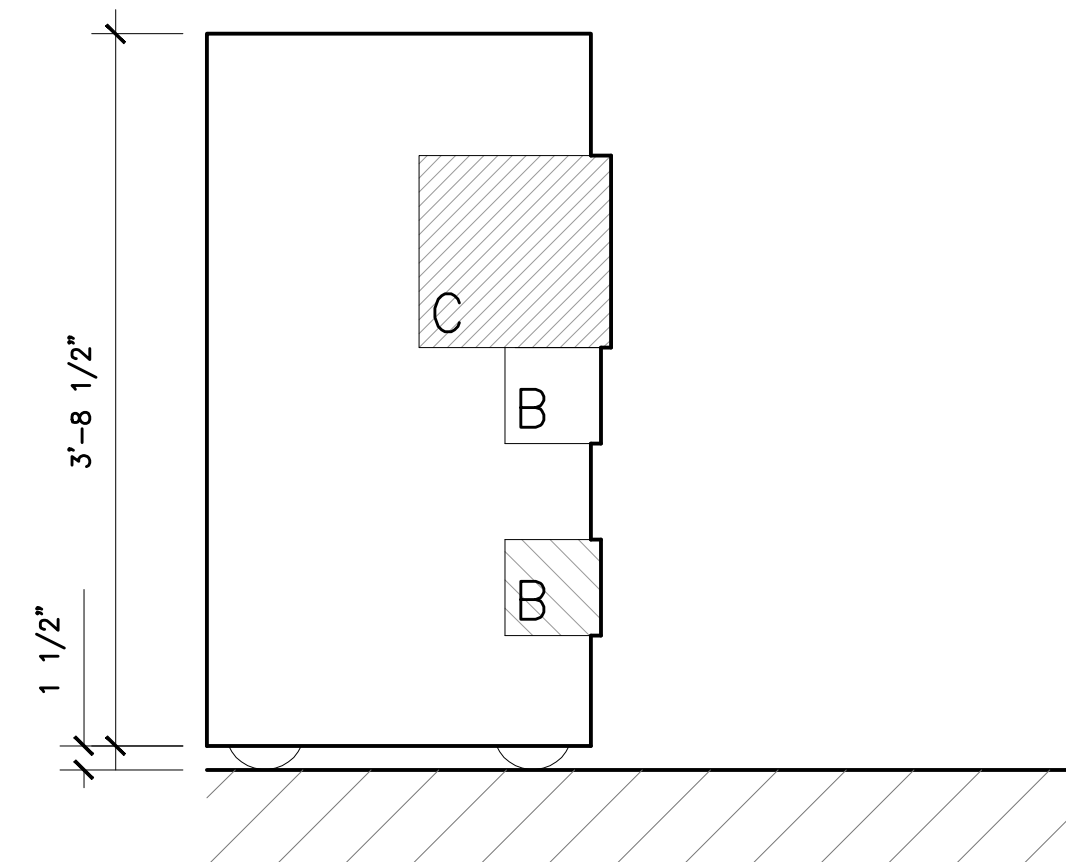
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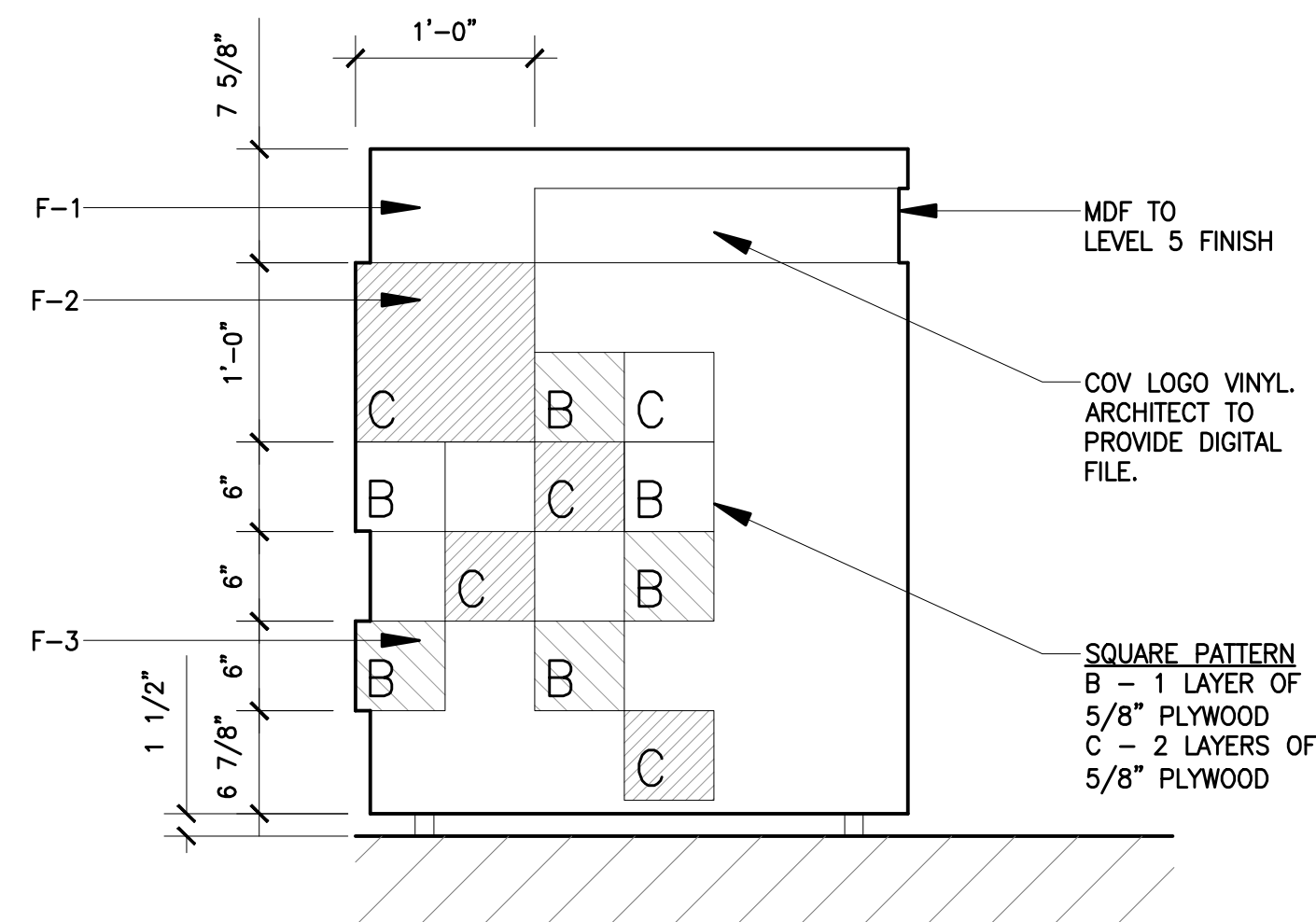
3 MILLWORK SECTION
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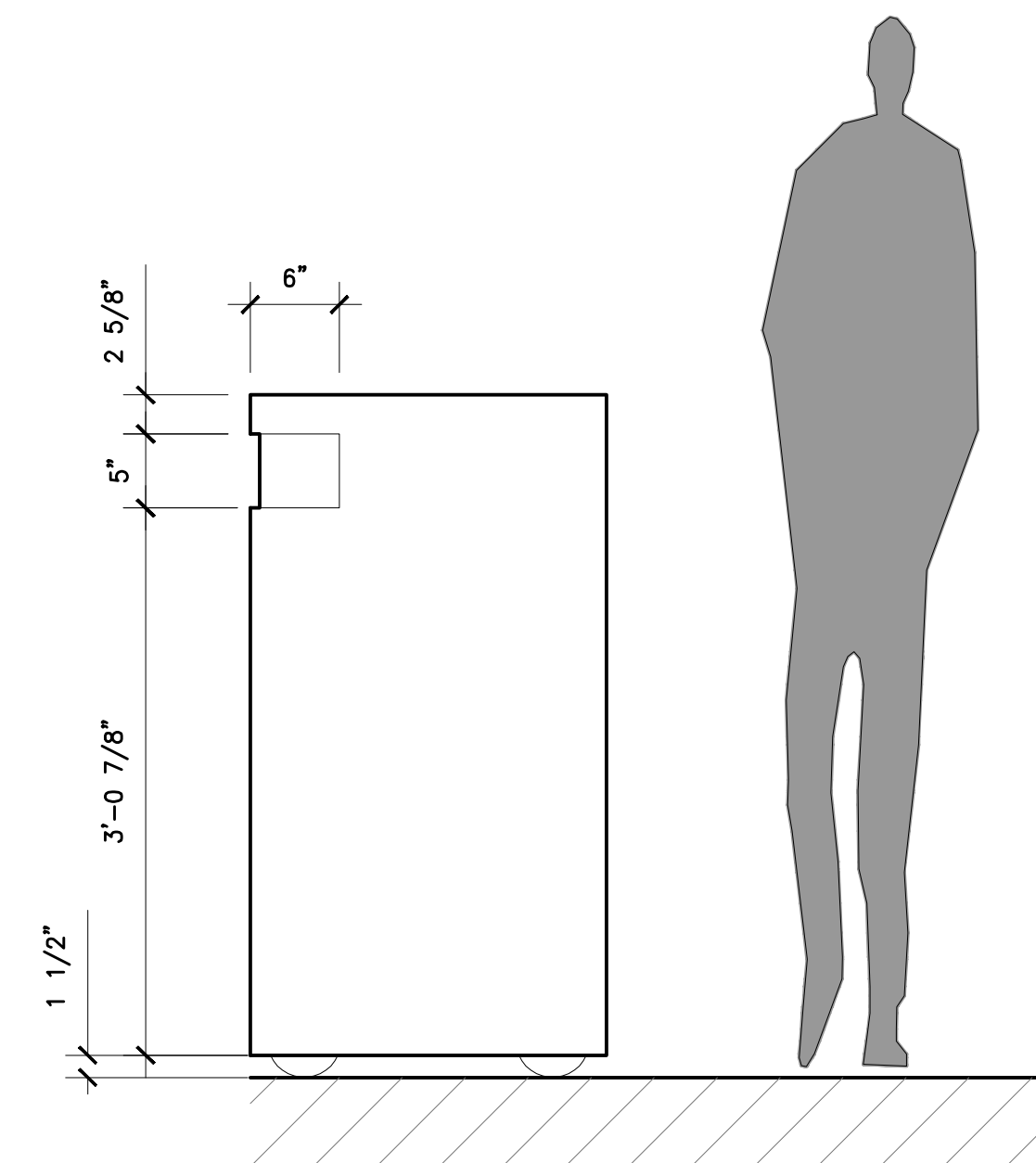
4 MILLWORK ELEVATION
SCALE 1" = 10"



5 MILLWORK ELEVATION
SCALE 1" = 10"



6 MILLWORK ELEVATION
SCALE 1" = 10"



7 MILLWORK ELEVATION
SCALE 1" = 10"



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SHEET TITLE
MILLWORK DETAILS

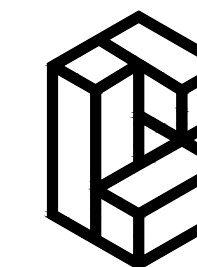
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JOB NO. 1713 DATE SEPT 2018

SCALE 1" = 1'0"

SHEET
A6.3

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ISSUED FOR TENDER REVIEW 2018 JAN 10
CHANGE OF USE BUILDING PERMIT 2017 JUN 02

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511 WEST BROADWAY

SHEET TITLE
SITE PLAN

DRAWN CHECKED
EN KS

JOB NO. DATE
040B-047-17 DECEMBER 2017

SCALE
1/4"=1'-0"

SHEET

MO.01

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511 WEST BROADWAY, VANCOUVER, BC	LOT 37 PLAN BCS3307 DISTRICT LOT 526 NWD GROUP 1

EQUIPMENT TAG	DESCRIPTION/TYPE	MANUFACTURER	SERVICE	MODEL NUMBER	NOTES
EG-1	LOUVERED FACE RETURN GRILLE	EH PRICE	EXHAUST	500Z/N/L/Ø	ALL
R-1	LOUVERED FACE RETURN GRILLE	EH PRICE	RETURN	500N/L/Ø	ALL

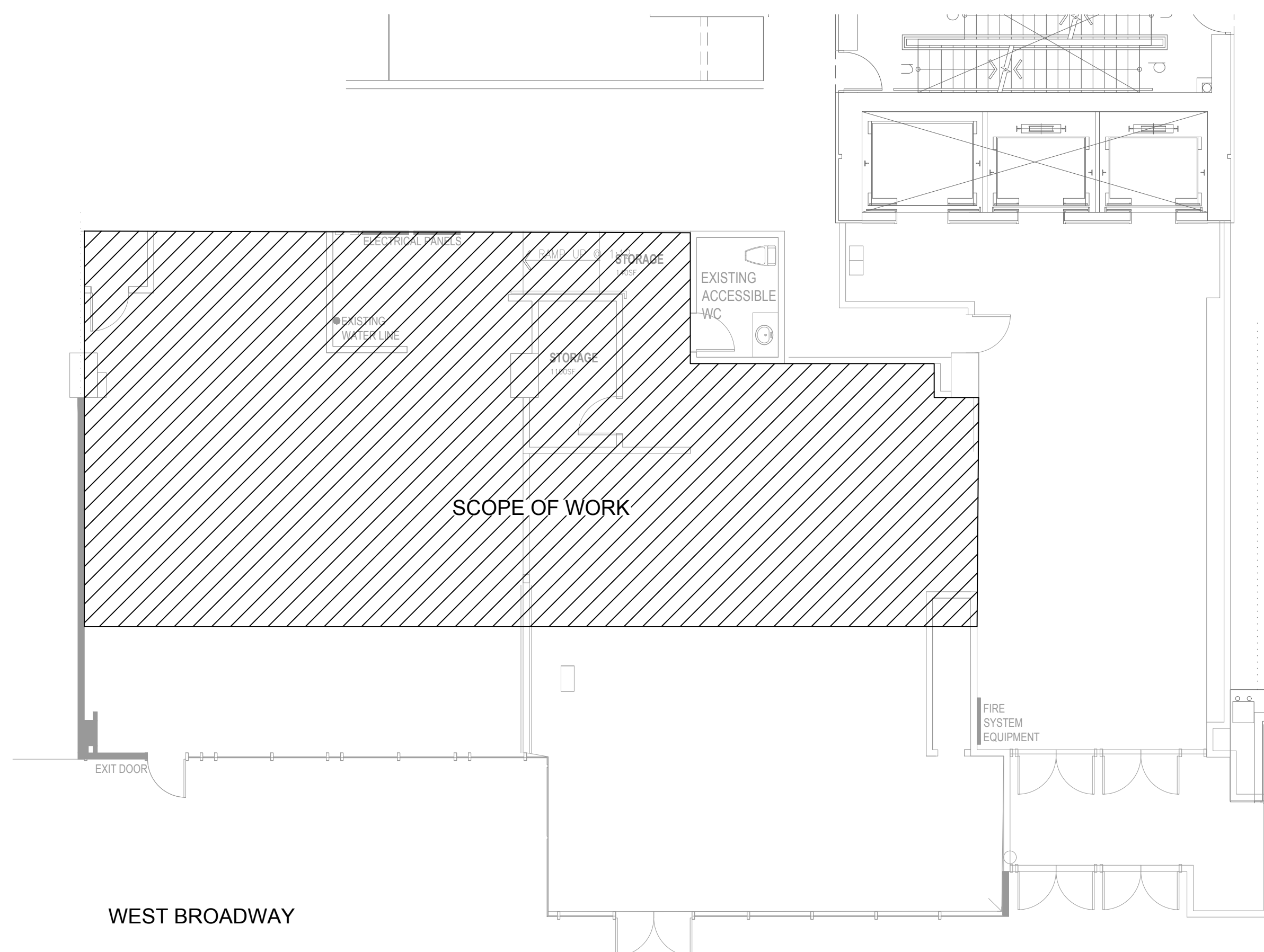
NOTES: 1 SEE MECHANICAL DRAWINGS FOR SIZE AND INSTALLATION

DRAWINGS NO.	DESCRIPTION	SCALE
M0.01	SITE PLAN, DRAWING NOTES AND SCHEDULES	AS NOTED
M1.01	MAIN LEVEL DEMONLITION AND RENOVATION	AS NOTED
M2.01	SPECIFICATIONS	N.T.S

PLUMBING FIXTURE SCHEDULE:

KF-1: KITCHEN FAUCET
MOEN MODEL#7626 TILT SINGLE HANDLE PULLOUT KITCHEN FAUCET. PULLOUT SPRAY WITH 59" BRAIDED HOSE. FLEXIBLE SUPPLY LINES WITH 3/8" COMPRESSION FITTING. ADA FOR LEVER HANDLE. DESIGNED FOR INSTALLATION THRU 1 HOLE 1-1/2" MIN. DIA

- HVAC GENERAL REQUIREMENTS:**
- ALL OPEN DUCT ENDS SHALL BE SEALED DURING CONSTRUCTION.
 - DIRECTIONAL AIRFLOW SHALL BE VERIFIED AS PART OF THE AIR BALANCING PROCEDURE.
 - THE CONTRACTOR IS TO INSTALL AND MAINTAIN SEALED DUCT CAP-OFFS (HEAVY GAUGE PLASTIC WITH HEAVY DUTY TAPE SEALANT) FOR ALL DUCT OPENINGS AND GRILLES SERVING THE AREA OF CONSTRUCTION. THIS APPLIES TO ALL AREA OF CONSTRUCTION FOR THIS PROJECT, AND APPLIES TO SUPPLY AIR, EXHAUST AIR, AND TRANSFER AIR DUCTS AND GRILLES. THESE CAP-OFFS SHALL BE INSTALLED DURING CONSTRUCTION AND BE MAINTAINED UNTIL THE BALANCING OF THE SYSTEM. ONCE BALANCING IS COMPLETED, THE CAP-OFFS SHALL BE REINSTALLED UNTIL OCCUPANCY.
 - THE NEW HVAC SYSTEMS SHALL BE COMMISSIONED AND RE-BALANCED.
 - ALL INTERIOR DUCT SURFACES SHALL BE SMOOTH, NONPOROUS, AND FREE OF OBSTRUCTIONS TO AIR FLOW TO MINIMIZE THE POSSIBILITY FOR GROWTH AND DISSEMINATION OF MICROORGANISMS THROUGHOUT THE SYSTEM.
 - GLASS OR MINERAL FIBRE ACOUSTIC DUCT LINING, ACOUSTIC MEDIA IN SILENCERS, INTERNAL INSULATION IN TERMINAL UNITS, AND OTHER COMPONENTS IN THE AIRSTREAM SHALL BE PROTECTED WITH AN IMPERVIOUS COVERING.



1 SITE PLAN
M0.01 SCALE: SCALE: 1/16" = 1'-0"

GENERAL NOTES:

- THE MECHANICAL CONTRACTOR IS TO REVIEW THE EXTENT OF MECHANICAL SYSTEMS ON SITE TO ENSURE THAT THE FULL SCOPE OF WORK IS UNDERSTOOD.
- CONTRACTOR IS RESPONSIBLE FOR REVIEWING AND VERIFYING ACTUAL ON-SITE CONDITIONS AND EQUIPMENT LOCATION PRIOR TO ANY AND ALL DEMOLITION WORK AND/OR EQUIPMENT REMOVAL.
- CONTRACTOR TO INCLUDE AS A PART OF THE BID ALL COSTS ASSOCIATED WITH CUTTING AND PATCHING THAT IS REQUIRED TO INSTALL ALL NEW MECHANICAL SYSTEMS AS REQUIRED TO MEET THE SITE CONDITIONS AS SHOWN ON THE DRAWINGS. PATCHING SHALL MEET THE AESTHETIC CONDITIONS WHICH WAS THE CONDITION PRIOR TO ANY CUTTING BEING PERFORMED.
- CONTRACTOR TO PROPERLY SEAL AND REPAIR ANY AND ALL DAMAGE THAT IS A RESULT OF REMOVAL OR DEMOLITION OF MECHANICAL EQUIPMENT. THIS INCLUDES BUT IS NOT LIMITED TO WALLS, DOORS, CEILING, ETC...
- CONTRACTOR AFTER INSTALLATION SHALL RE-BALANCE THE MECHANICAL HVAC SYSTEM. THIS INCLUDES ALL DUCTWORK SYSTEMS DOWNSTREAM OF SUPPLY AIR TERMINAL UNITS AND EXHAUST/RETURN AIR SYSTEMS SERVING THE AREA OF WORK.
- THE EXISTING DRAWINGS HAVE BEEN PREPARED, IN PART, ON THE BASIS OF INFORMATION COMPILED AND FURNISHED BY OTHERS. AS A RESULT THE ENGINEER WILL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS WHICH HAVE BEEN INCORPORATED INTO THIS DOCUMENT. ANY DISCREPANCIES WHICH SUBSTANTIALLY AFFECT THE MECHANICAL INTENT AS LAID OUT ON THIS DRAWING IS TO BE REPORTED TO THE OWNER AND ENGINEER FOR REVIEW BEFORE COMMENCEMENT OF THE MECHANICAL DEMOLITION WORK.
- COORDINATE THE TIMING OF MECHANICAL SYSTEM MODIFICATIONS WITH ALL OTHER TRADES TO ENSURE CONTINUITY WITH THE OVERALL PROJECT SCHEDULE
- THE MECHANICAL PLANS ARE DIAGRAMMATIC IN NATURE AND DO NOT ATTEMPT TO SHOW ALL REQUIRED OFFSETS. REFER TO ARCHITECTURAL AND STRUCTURAL DRAWINGS FOR ADDITIONAL CONSTRUCTION DETAILS.
- COORDINATE THE DRAWINGS WITH THE SPECIFICATIONS AND IN CASES WHERE CONFLICTS OCCUR THE MOST STRINGENT REQUIREMENT SHALL APPLY.
- CONTRACTOR TO PROVIDE NEC (NATIONAL ELECTRICAL CODE) CLEARANCE HORIZONTAL AND VERTICAL REQUIREMENTS FOR ALL INSTALLED EQUIPMENT OFFSET MECHANICAL WORK AS REQUIRED TO MEET THIS REQUIREMENT.
- INSTALL ALL MECHANICAL WORK AS HIGH AS POSSIBLE TIGHT TO STRUCTURE.
- COORDINATE EXACT LOCATIONS OF ALL ROOM THERMOSTATS AND/OR ROOM TEMPERATURE SENSORS WITH THE DESIGN ARCHITECT BEFORE FINAL INSTALLATION.
- CONTRACTOR TO SUPPLY AND INSTALL VOLUME DAMPER FOR EACH SUPPLY, RETURN AND EXHAUST DUCTWORK RUN WITH TWO OR MORE OPENINGS ASSOCIATED WITH THE BRANCH. REFER TO THE DRAWINGS FOR ADDITIONAL VOLUME DAMPERS LOCATIONS AND REQUIREMENTS.
- REFER TO ARCHITECTURAL DRAWING FOR ADDITIONAL SCOPE OF WORK AND WORK SCHEDULE.
- CONTRACTOR TO COORDINATE MECHANICAL WORK WITH OCCUPIED HOURS TO CAUSE AS LITTLE INCONVENIENCE AS POSSIBLE

MECHANICAL DEMOLITION NOTES:

- INTENT
 - REMOVAL OF ALL EXISTING PIPING, EQUIPMENT AND DUCTWORK THAT IS REDUNDANT BECAUSE OF RENOVATIONS.
- EXISTING CONDITIONS
 - VISIT AND EXAMINE THE SITE AND NOTE ALL CHARACTERISTICS AND IRREGULARITIES AFFECTING THE WORK OF THIS SECTION.
- PROTECTION
 - PREVENT DEBRIS FROM BLOCKING SURFACE DRAINAGE INLETS AND ALL TYPES OF DRAINAGE PIPING SYSTEMS WHICH REMAIN IN OPERATION.
 - CONTRACTOR SHALL CONFIRM EXISTING CFM OF SUPPLY AND RETURN GRILLES/DIFFUSERS IN AREA OF WORK AND SUBMIT BALANCING REPORT FOR REVIEW PRIOR TO DEMOLITION.
- SALVAGEABLE MATERIALS
 - EXCEPT AS OTHERWISE INDICATED, SALVAGEABLE MATERIALS FROM AREA OF DEMOLITION SHALL BECOME THE PROPERTY OF THE OWNER AT HIS DISCRETION. CONTRACTOR TO COORDINATE SALVATION AND STORAGE ON SITE OF PLUMBING FIXTURES, AND MECHANICAL EQUIPMENT FOR RE-USE BY OWNER OR A CHARITY ORGANIZATION. ALL MATERIAL NOT TAKEN OVER BY THE OWNER OR REMOVED FROM THE BUILDING UNDER THIS CONTRACT SHALL BE REMOVED FROM SITE AND DISPOSED OF AS REQUIRED BY ANY APPLICABLE DISPOSAL REGULATIONS. EXECUTION
- EXISTING SERVICES
 - DISCONNECT AND CAP ALL MECHANICAL SERVICES IN ACCORDANCE WITH REQUIREMENTS OF LOCAL AUTHORITY HAVING JURISDICTION
 - BUILDING MECHANICAL SERVICES: MAINTAIN ALL BUILDING SERVICES DURING DEMOLITION/REMOVAL OF EXISTING.
 - MAINTAIN ALL TRAP SEALS AND ENSURE NO SEWER GAS ENTERS THE BUILDING DURING RENOVATIONS OR DEMOLITION WORK. MAINTAIN ALL EXISTING SEWER PIPING IN A WET CONDITION DAILY.
- DEMOLITION
 - COMPLETELY DEMOLISH THE ITEMS SCHEDULED AND REMOVE ALL MATERIALS FROM THE PREMISES.
 - CARRY OUT DEMOLITION IN A MANNER TO CAUSE AS LITTLE INCONVENIENCE TO THE OCCUPIED BUILDING AREA AS POSSIBLE. CO-ORDINATE THIS ACTIVITY WITH THE OWNER AND/OR THE CONSULTANT.
 - CARRY OUT DEMOLITION IN AN ORDERLY AND CAREFUL MANNER.
 - ALL CORING, PATCHING AND REMOVAL OF EXISTING EQUIPMENT, PIPES AND DUCTWORK WHICH MAY AFFECT OPERATION OF OCCUPIED AREAS OF THE BUILDING SHALL BE CARRIED OUT OUTSIDE OF REGULAR OFFICE HOURS OR AS SCHEDULED WITH THE OWNER.

PLUMBING GENERAL NOTES:

- THE MECHANICAL PLUMBING SYSTEM SHALL CONSIST OF ALL WORK SHOWN ON THE DRAWINGS, DIAGRAMS, SCHEMATICS AND AS DESCRIBED IN THE SPECIFICATIONS.
- CONTRACTOR TO COORDINATE ALL PLUMBING WORK WITH THAT OF OTHER TRADES TO ENSURE PROPER AND ADEQUATE INTERFACE WITH THE WORK OUTLINED FOR THIS PROJECT.
- COORDINATE EXACT MOUNTING HEIGHTS AND LOCATIONS OF ALL PLUMBING FIXTURES WITH THE CASEWORK AND ARCHITECTURAL DRAWINGS.
- NEW PIPING SHALL BE INSULATED TO MATCH EXISTING PIPE INSULATION OR BETTER.
- DISCONNECT AND CAP ALL MECHANICAL SERVICES IN ACCORDANCE WITH REQUIREMENTS OF LOCAL AUTHORITY HAVING JURISDICTION.
- BUILDING MECHANICAL SERVICES: MAINTAIN ALL BUILDING SERVICES DURING DEMOLITION/REMOVAL OF EXISTING.
- MAINTAIN ALL TRAP SEALS AND ENSURE NO SEWER GAS ENTERS THE BUILDING DURING RENOVATION OR DEMOLITION WORK. MAINTAIN ALL EXISTING SEWER PIPING IN A WET CONDITION DAILY.

EXHASUT FANS

EQUIPMENT TAG	QTY	SERVICE	LOCATION	TYPE	MANUFACTURER	MODEL	AIR FLOW (CFM)	E. S. P. (IN.WG)	FAN (RPM)	DRIVE TYPE	SOUND LEVEL (SONES)	WEIGHT (LBS)	NOTES
EF-1	1	EXHAUST	MEETING ROOM (05)	INLINE CEILING MOUNT	EH PRICE	SQ-90-VG	400	0.3	1,075	DIRECT	3.8	50.0	ALL

- NOTES:
- ACOUSTIC LINED CABINET.
 - REFER TO MOTORLIST FOR ELECTRICAL REQUIREMENTS
 - VARI-GREEN MOTOR WITH SPEED CONTROL MOUNTED ON MOTOR FOR BALANCING PURPOSES ONLY
 - C/W SPRING ISOLATORS AND PRE-WIRED MANUFACTURER DISCONNECT

MECHANICAL MOTORLIST

EQUIP. TAG	EQUIPMENT DESCRIPTION	LOCATION	EQUIPMENT							DISCONNECT			STARTER			CONTROL			NOTES				
			SUPPLIED	H.P.	KW	MCA	FLA	VOLTAGE	PHASE	SUPPLIED	INSTALLED	WIRED	LOCATION	TYPE	SUPPLIED	INSTALLED	WIRED	LOCATION		TYPE	SUPPLIED	INSTALLED	WIRED
EF-1	EXHAUST FAN	MEETING ROOM (05)	M	FRAC.				115	1	M	M	M	1	MRR	E	E	E	1	T	E	E	E	ALL

SUPPLIER / INSTALL / WIRE CODES:

M = MECHANICAL
E = ELECTRICAL
G = GENERAL CONTRACTOR

STARTER CODES:
MAN = MANUAL STARTER
MAG = MAGNETIC STARTER W/ HOA SWITCH W/ AUX. CONTACTS
MRR = MOTOR RATED RELAY, 24 VAC COIL & MOTOR PROTECTION SWITCH
PCS = PACKAGED CONTROL SYSTEM
VSD = VARIABLE SPEED DRIVE
RVS = REDUCED VOLTAGE STARTER
WS = WALL SWITCH
CP = CONTROL PANEL
PCS = PACKAGED CONTROL SYSTEM

CONTROL DEVICE CODES:

BMS = BLDG MANAGEMENT SYSTEM
ES = END SWITCH
ET = LINE VOLTAGE T'STAT
FA = FIRE ALARM
FS = FLOW SWITCH
GS = GAS SENSOR
H = HUMIDITY SENSOR
I = INTERLOCK, SEE NOTES
LS = LEVEL SWITCH
PS = PRESSURE SWITCH
TC = TIME CLOCK
T = LOW VOLTAGE T'STAT OR SENSOR
TS = TAMPER SWITCH
VS = VARIABLE SPEED SWITCH
WS = WALL SWITCH
FAP = FIRE ALARM PANEL

LOCATION CODES:

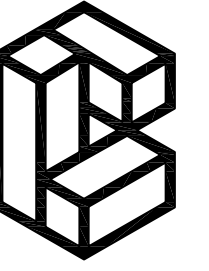
M1 = AT OR NEAR MOTOR
2 = MOTOR CONTROL CENTRE
3 = EQUIPMENT ROOM
4 = ELECTRICAL ROOM
5 = AS SHOWN ON DRAWINGS

MISCELLANEOUS CODES:

FFCP = FIRE FIGHTERS CONTROL PANEL

NOTES:

- REVERSE ACTING T'STAT
- PRE-WIRED DISCONNECT



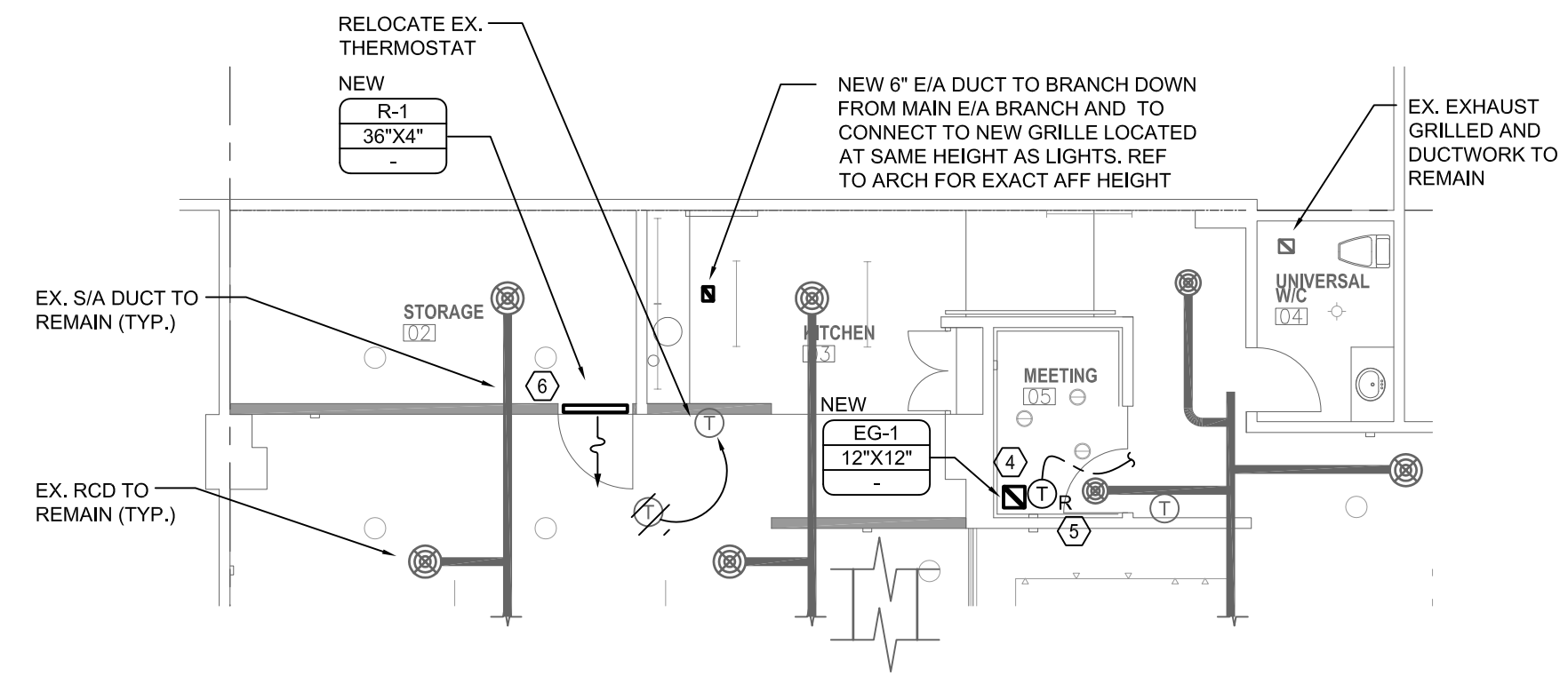
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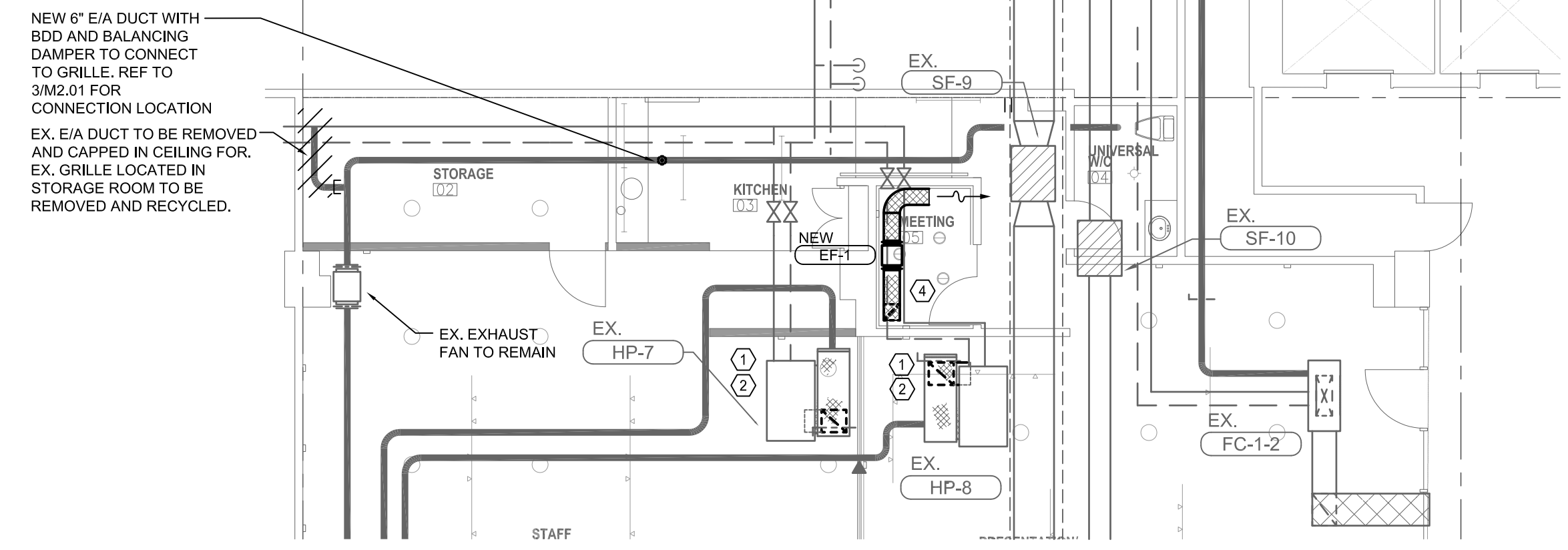
AMEGroup
 consulting mechanical engineers

VIKORIA T: 250-363-8999 F: 250-363-8998 721 JOHNSON ST. VANCOUVER, BC V6B 1M8
 VANCOUVER T: 604-464-9915 F: 604-464-9915 1100 - 408 W. HASTINGS ST. VANCOUVER, BC V6C 2J4
 CALGARY T: 403-252-2333 F: 403-252-2324 710 - 1322 4TH STREET SW. CALGARY, AB T2R 1K1

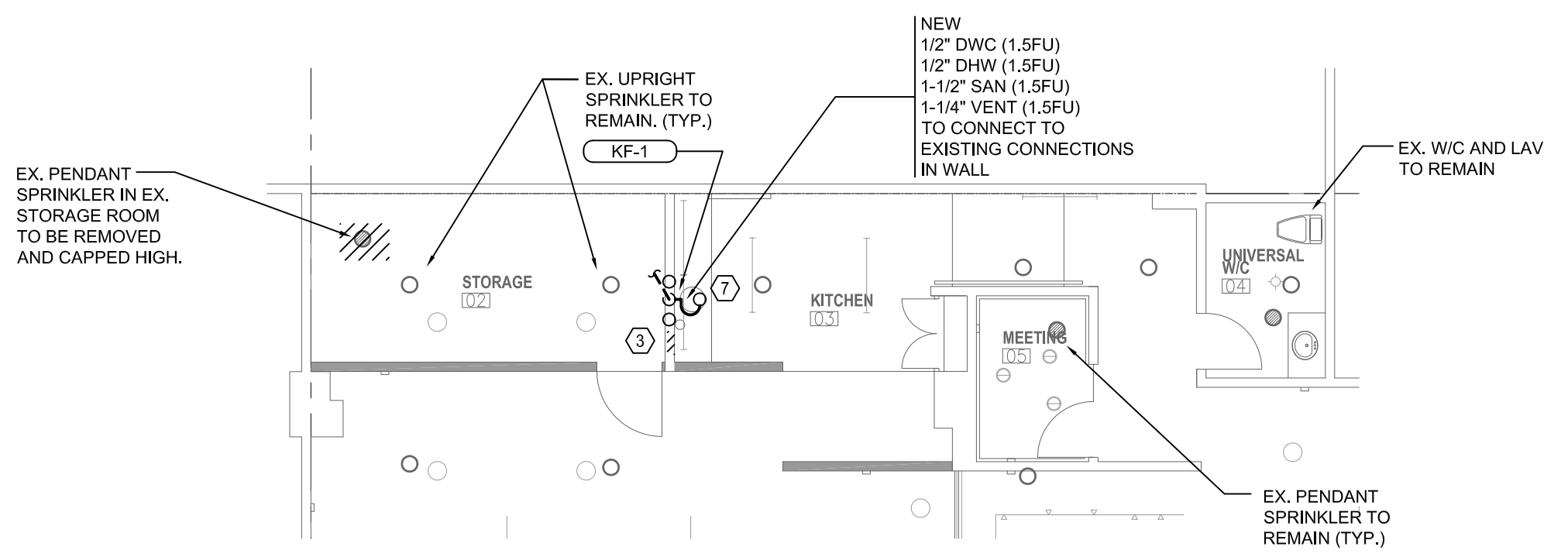
- KEY NOTES**
- CONTRACTOR TO REMOVE, REINSTALL AND RECONNECT EX. HP IN ORDER TO WRAP IN ACOUSTIC INSULATION. ENSURE ACCESS PANELS FOR HP MAINTENANCE IS APPROPRIATE FOR THE INSULATION, SUCH AS VIBRO SONIC (OR EQUIVALENT THEREOF), AND IS INSTALLED AS PER MANUFACTURER'S REQUIREMENTS. CONTRACTOR TO RE-COMMISSION AND RE-BALANCE HP AFTER REINSTALLATION.
 - DOWN TURN ELBOW WITH INSULATION AND TURNING VANES TO BE ADDED TO RIA DUCT OPENING ON HP-7 AND HP-8. SIZE TO MATCH EX. RIA OPENING. REF TO 4/M2.01 FOR DETAILS.
 - EX. WASHING MACHINE CONNECTION INCLUDING SANITARY, DCW/DHW AND WATER HAMMER ARRESTOR WITH BOX ENCLOSURE TO BE REMOVED AND CAPPED BACK TO THE SOURCE. REF TO 2/M1.01 FOR MORE DETAILS
 - NEW 12"X12" E/A DUCT FROM NEW EF-1 TO CONNECT TO 12"X12" GRILLE LOCATED IN MEETING ROOM
 - NEW REVERSE ACTING THERMOSTAT TO CONNECT TO NEW EF-1. REF TO 1/M1.01 FOR LOCATION OF EXHAUST FAN
 - LOCATE TRANSFER GRILLE ABOVE DOORWAY. COORDINATE EXACT LOCATION WITH ARCH DRAWINGS
 - CONTRACTOR TO UTILIZE EX. SINK SUPPLIED BY OWNER



2 MAIN LEVEL - LOWER HVAC RENO AND DEMO
 M1.01 SCALE: 1/8" = 1'-0"



1 MAIN LEVEL - UPPER HVAC RENO AND DEMO
 M1.01 SCALE: 1/8" = 1'-0"



3 MAIN LEVEL - PLUMBING HVAC RENO AND DEMO
 M1.01 SCALE: 1/8" = 1'-0"



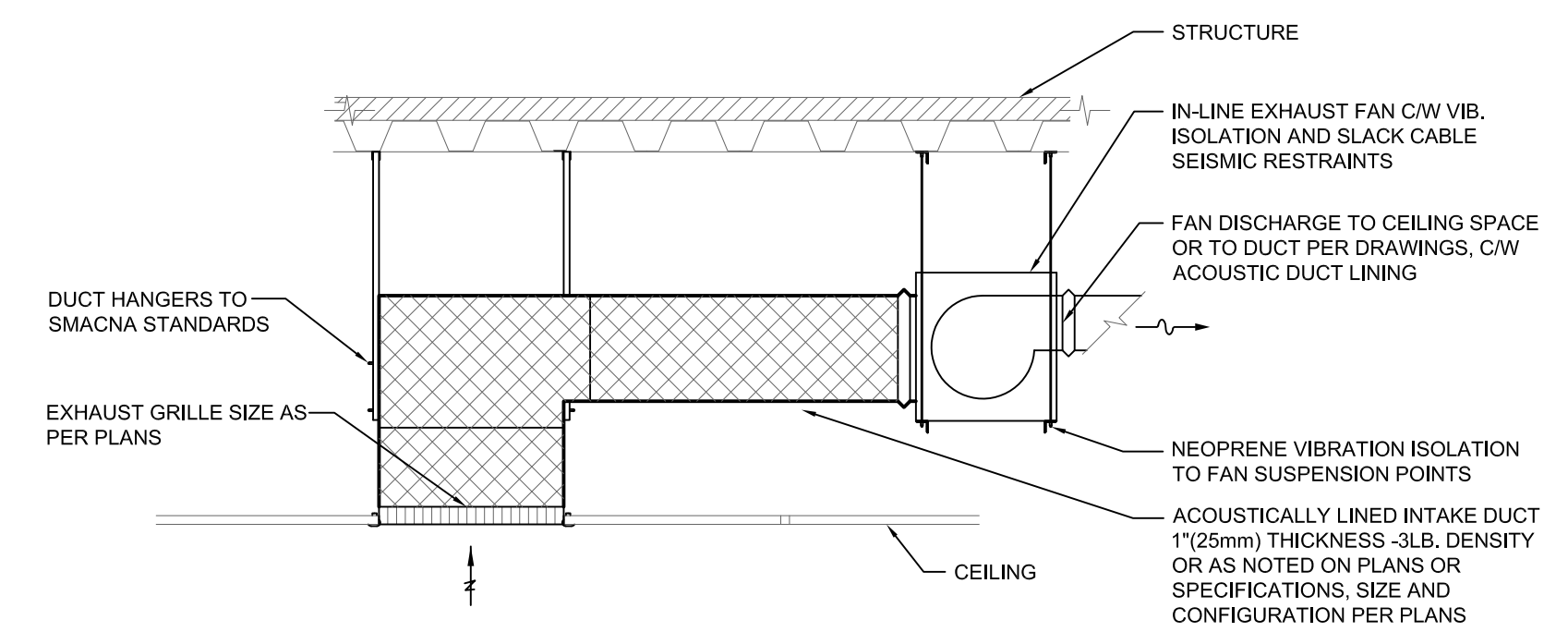
EX. WASHING MACHINE CONNECTION INCLUDING SANITARY (HOSE CONNECTION), DCW/DHW AND WATER HAMMER ARRESTOR WITH BOX ENCLOSURE TO BE REMOVED AND CAPPED BACK TO THE SOURCE.

6 MAIN LEVEL - EX. WATER HAMMER ARRESTORS
 M1.01 SCALE: N.T.S

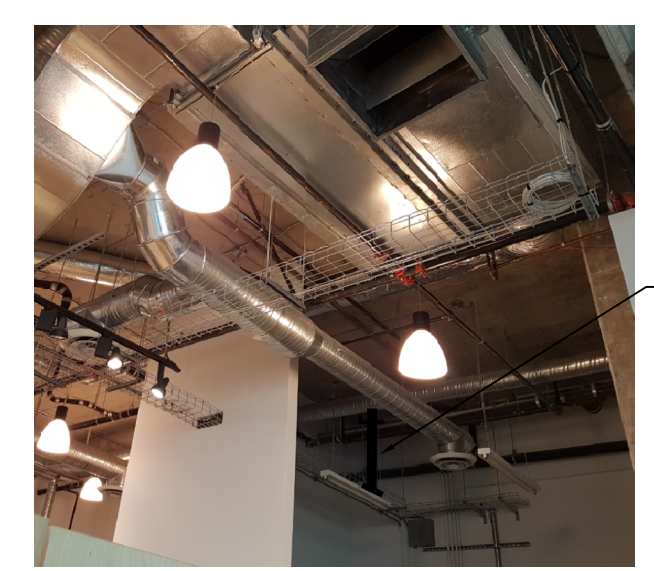


EX. HEAT PUMPS TO BE INSULATED. CONTRACTOR TO ENSURE ACCESS PANEL THROUGH INSULATION IS PROVIDED FOR MAINTENANCE PURPOSES
 CONTRACTOR TO COORDINATE LOCATION OF DOWN TURN ELBOW WITH EX. WALLS, SPRINKLERS, CABLE TRAYS, AND LIGHTS.

4 MAIN LEVEL - EX. HEAT PUMPS
 M1.01 SCALE: N.T.S

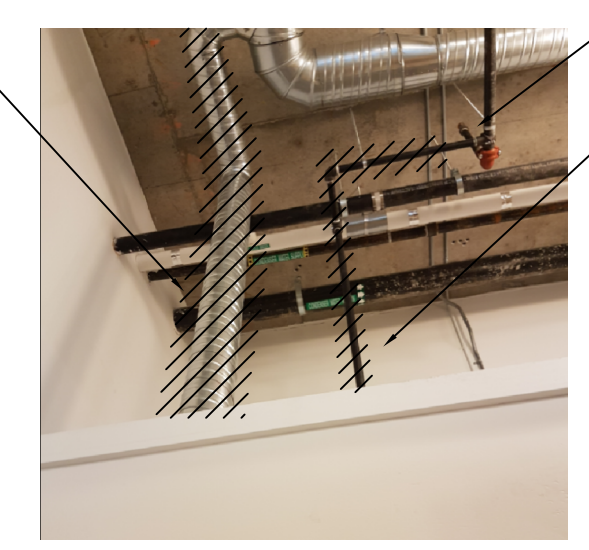


8 IN-LINE EXHAUST FAN DETAIL
 M1.01 SCALE: N.T.S



NEW 6" E/A DUCT WORK TO CONNECT TO EXISTING E/A MAIN WITH BDD AND BALANCING DAMPER. GRILLE TO BE LOCATED AT APPROX. SAME HEIGHT AS LIGHT. REF TO ARCH FOR EXACT LOCATION AND HEIGHT

7 MAIN LEVEL - NEW E/A FOR KITCHEN
 M1.01 SCALE: N.T.S



REMOVE AND DISCARD EX. E/A DUCT TO STORAGE ROOM AND CAPPED HIGH AT MAIN DUCT

EX. UPRIGHT SPRINKLER HEAD TO REMAIN
 REMOVE PENDANT SPRINKLER HEAD LOCATED IN EX. STORAGE ROOM AND CAP UP HIGH

5 MAIN LEVEL - EX. STORAGE ROOM
 M1.01 SCALE: N.T.S

ISSUED FOR TENDER 2018 SEP 21
 ISSUED FOR BUILDING PERMIT 2018 AUG 14
 ISSUED FOR TENDER REVIEW 2018 JAN 10
 CHANGE OF USE BUILDING PERMIT 2017 JUN 02

REVISIONS

Carscadden
 JOB TITLE
**COV ENGAGEMENT VENUE
 511 WEST BROADWAY**

SHEET TITLE
**MAIN LEVEL DEMOLITION
 AND RENOVATION**

DRAWN CHECKED
EN KS
 JOB NO. DATE
040B-047-17 DECEMBER 2017

SCALE
1/8" = 1'-0"

SHEET
M1.01

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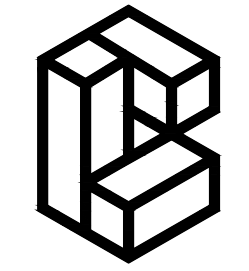
511 WEST BROADWAY: COV ENGAGEMENT VENUE

ELECTRICAL SYMBOL				
LIGHTING	POWER	COMMUNICATIONS	FIRE ALARM	ABBREVIATIONS
<ul style="list-style-type: none"> EMERGENCY/NIGHT LIGHT LUMINAIRE SURFACE MOUNTED LUMINAIRE CEILING RECESSED LUMINAIRE CEILING SUSPENDED LINEAR LUMINAIRE FLUORESCENT STRIP LIGHT SURFACE MOUNTED LUMINAIRE RECESSED DOWN LIGHT WALL MOUNTED DOWN LIGHT THREE WAY TOGGLE SWITCH OCCUPANCY SENSOR, WALL MOUNTED OCCUPANCY SENSOR, CEILING MOUNTED DIMMER SWITCH EMERGENCY BATTERY PACK DUAL REMOTE EMERGENCY HEADS, CEILING MOUNTED DUAL REMOTE EMERGENCY HEADS, WALL MOUNTED EXIT SIGN - ARROWS AS INDICATED EXIT SIGN - SINGLE SIDED 	<ul style="list-style-type: none"> DUPLEX RECEPTACLE FOUR PLEX RECEPTACLE ABOVE COUNTER DUPLEX RECEPTACLE ABOVE COUNTER FOUR PLEX RECEPTACLE 5-20R DUPLEX RECEPTACLE (T-SLOT) ABOVE COUNTER 5-20R DUPLEX RECEPTACLE (T-SLOT) GROUND FAULT INTERRUPTER DUPLEX RECEPTACLE ABOVE COUNTER GFCI DUPLEX RECEPTACLE FLOOR MOUNTED FOUR PLEX RECEPTACLE JUNCTION BOX MECHANICAL EQUIPMENT DIRECT CONNECTION MECHANICAL MOTOR CONNECTION DISCONNECT SWITCH GROUND BUS PANEL BOARD 	<ul style="list-style-type: none"> CATV OUTLET COMBINATION TELEPHONE AND DATA OUTLET WALL WIRELESS ACCESS POINT INTERCOM OUTLET CEILING MOUNTED SPEAKER WALL MOUNTED SPEAKER 	<ul style="list-style-type: none"> SMOKE DETECTOR THERMAL DETECTOR FIRE ALARM HORN (W/STROBE) FIRE ALARM PULL STATION FIRE ALARM BELL CEILING MOUNTED FIRE ALARM SPEAKER FIRE ALARM PANEL 	<ul style="list-style-type: none"> NOTE EQUIPMENT SHOWN DOTTED IS EXISTING AND TO REMAIN UNLESS INDICATED OTHERWISE AC ABOVE COUNTER D INDICATES CIRCUIT TO BE DEDICATED R EXISTING DEVICE TO BE REMOVED RR EXISTING DEVICE TO BE REMOVED AND RELOCATED RE EXISTING DEVICE IN NEW RELOCATED POSITION RP EXISTING DEVICE TO BE REPLACED WITH NEW WP WEATHER PROOF HK HOUSE KEEPING E EXISTING TO REMAIN RI ROUGH-IN ONLY
		SECURITY	SINGLE LINE	
		<ul style="list-style-type: none"> CCTV DOOR CONTACT CARD READER ELECTRIC STRIKE KEY PAD REQUEST TO EXIT SENSOR INTRUSION MOTION DETECTOR 180° INTRUSION MOTION DETECTOR WALL MOUNTED 	<ul style="list-style-type: none"> BREAKER GANG OPERATED DISCONNECT SWITCH FUSE GROUND METERING TRANSFORMER SERVICE PROVIDER METER TRANSFORMER (DRY TYPE) GENERATOR TRANSFER SWITCH 	

DRAWING LIST	
DWG NO.	DESCRIPTION
E0.0	COVER SHEET, SYMBOL LEGEND & DRAWING LIST
E0.1	DEMOLITION PLAN
E1.0	POWER AND LOW TENSION PLAN
E2.0	LIGHTING PLAN
E3.0	SCHEDULES & DETAILS
E4.0	SPECIFICATION

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VANCOUVER | VICTORIA

REVISIONS	DATE
5. ISSUED FOR TENDER	2018 SEP 21
4. BUILDING PERMIT #4	2018 AUG 14
3. ISSUED FOR 100% COORDINATION	2018 JAN 10
2. ISSUED FOR 75% COORDINATION	2017 DEC 15
1. ISSUED FOR 50% COORDINATION	2017 DEC 13

Cariscadden

JOB TITLE
**COV ENGAGEMENT VENUE
511 WEST BROADWAY**

SHEET TITLE
**COVER SHEET, SYMBOL
LEGEND AND DRAWING LIST**

DRAWN
BOY

CHECKED
BOY

JOB NO.
2-17-114

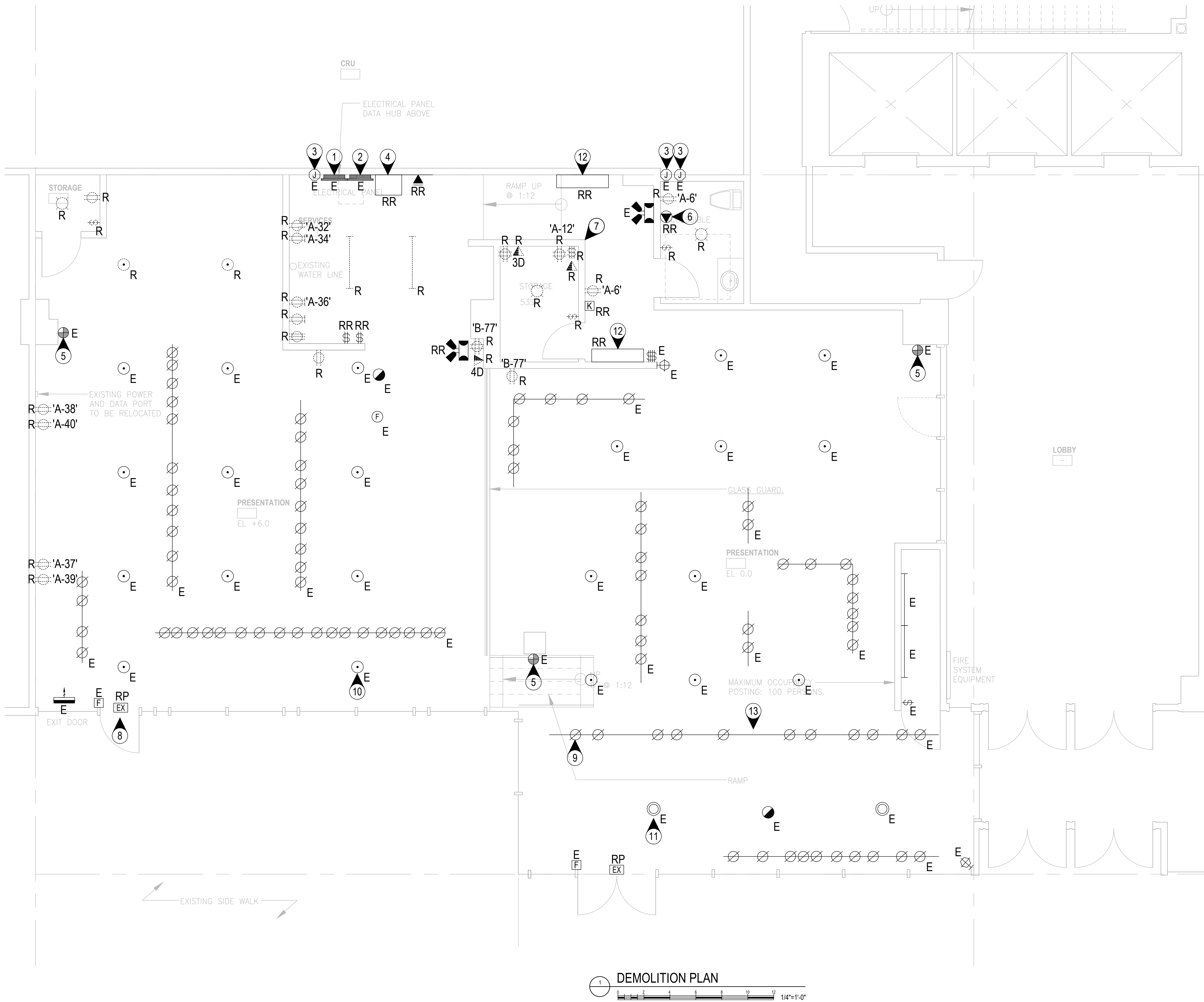
DATE
DEC 2017

SCALE
AS NOTED

SHEET

E0.0

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DEMOLITION NOTES:

- ALL REDUNDANT AND UNUSED WIRING INCLUDING ANY WIRING IN THE CEILING SPACE IS TO BE REMOVED BACK TO THE SOURCE BY THIS CONTRACTOR.
- ALL DEVICES IN THE PLAN ARE TO BE REMOVED AS NOTED. FOR ALL EXISTING DEVICES INDICATED TO REMAIN, OR NOT INDICATED TO BE REMOVED, REINSTALL TO ALLOW CONSTRUCTION AS NECESSARY.
- FOR ALL ITEMS INDICATED AS REMOVE, REMOVE ITEMS INCLUDING CONDUIT AND WIRING ALL THE WAY TO THE SOURCE AND MAKE IT SAFE. DISPOSE OF ALL WASTE MATERIALS. FIRE STOP ALL OPENINGS. THE CONTRACTOR IS TO ALLOW FOR SITE VISITS, PRIOR TO SUBMITTING TENDER, TO VERIFY ALL ITEMS THAT ARE TO BE REMOVED.
- THE INTENT OF THESE DRAWINGS IS TO AID BIDDING CONTRACTORS IN DETERMINING THE APPROXIMATE EXTENT OF THE EXISTING EQUIPMENT TO BE REMOVED AND THE EQUIPMENT TO BE RE-USED. EXACT COUNTS AND EXTENT OF WIRING TO BE REMOVED, RE-USED, RELOCATED IS TO BE DETERMINED ON SITE BY THE CONTRACTOR. CONTRACTOR SHALL ALLOW FOR REMOVAL, RELOCATION, OR RE-WIRING OF OUTLETS AND DEVICES WHICH ARE NOT SHOWN ON DRAWINGS BUT WHICH MAY BE FOUND AS WORK PROCEEDS. CONTRACTOR TO USE HIS EXPERIENCE AND BEST JUDGMENT FROM SITE VISIT AND WORK OF A SIMILAR NATURE TO DETERMINE HOW MUCH WORK THIS WILL ENTAIL. MAKE ALLOWANCE IN TENDER PRICE AS NECESSARY.
- CONTRACTOR SHALL MAKE ALLOWANCE FOR SITE VISITS AS REQUIRED.
- CONTRACTOR IS TO BE AWARE THAT CONSIDERABLE COORDINATION WITH OTHER TRADES IS REQUIRED AND TO THAT END PRIOR TO COMMENCE WORK IN AN AREA, A SITE MEETING SHALL BE HELD ATTENDED BY ALL MAJOR TRADES TOGETHER TO DEAL WITH COORDINATION, CEILING HEIGHTS, STRUCTURE, WALL TYPES, DUCT DROPS/RUNS ETC. BEFORE THEY BECOME AN ISSUE AT TIME OF INSTALLATION. PRIOR TO THIS MEETING, CONTRACTOR IS TO CHECK AVAILABLE CEILING SPACE FOR CONFLICT BETWEEN SERVICES REQUIRED TO BE INSTALLED AND AVAILABLE SPACE FOR LUMINAIRES, DUCTS, ETC. & INFORM THE GENERAL CONTRACTOR IN ADVANCE OF THE WORK OF OTHER TRADES.
- CONTRACTOR SHALL LAY OUT CAREFULLY FOR TRADESMAN ON SITE, WHAT IS TO BE DONE WITH EACH AND EVERY EXISTING OUTLET, DEVICE, ETC. TO PRECLUDE MISUNDERSTANDINGS REGARDING EQUIPMENT TO BE RETAINED IN OPERATION, RE-FED, RELOCATED, ETC. FURTHER, OUTLETS TO BE INSTALLED IN EXISTING WALLS RETAINED SHALL BE INDICATED TO ENSURE COMPLETE UNDERSTANDING OF CONCEALMENT OF WIRING ETC., PER SPECIFICATION AND THE NEED TO CUT AND PATCH EXISTING WALLS.
- CONTRACTOR SHALL REVIEW THE MECHANICAL DRAWINGS & BE AWARE OF REQUIREMENTS FOR THE REVISED LAYOUT ESPECIALLY WITH REGARD TO INSTALLATION OF MECHANICAL DUCTS IN CEILING SPACES. WHERE EXISTING CONDUITS OBSTRUCT THE PROPOSED ROUTING THESE OBSTRUCTING CONDUITS SHALL BE RELOCATED IF IT IS DESIRED TO RE-USE THEM. THAT IS, LAYOUTS FOR RENOVATIONS TO THE AREA SHALL GOVERN AND EXISTING CONDUITS SHALL BE RELOCATED TO SUIT RENOVATIONS. THIS WORK SHOULD BE ALLOWED FOR IN THE CONTRACT.
- THIS CONTRACTOR SHALL VERIFY IF EXISTING LUMINAIRES BEING REMOVED AND NOT RELOCATED ARE TO BE HANDED OVER TO THE CLIENT. DO NOT DISPOSE OF THEM WITHOUT CLIENT'S WRITTEN APPROVAL.
- REFER TO MECHANICAL DEMO PLANS FOR LOCATION OF MECHANICAL EQUIPMENT. FIELD VERIFY EXACT LOCATIONS.

ADDITIONAL DEMOLITION & SCOPE OF WORK NOTES:

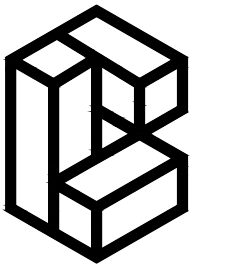
REMOVE ONLY THE EXISTING LUMINAIRES, RECEPTACLES, COMMUNICATIONS OUTLETS IN SCOPE OF WORK AREA TAGGED FOR REMOVAL. CONTRACTOR TO REMOVE ALL WIRING AND INFRASTRUCTURE FROM DEVICE BACK TO SOURCE. ELECTRICAL DRAWINGS TO BE READ IN CONJUNCTION WITH ARCHITECTURAL AND MECHANICAL, CONTRACTOR TO NOTIFY ELECTRICAL ENGINEER OF ANY DISCREPANCIES IN SCOPE OF AREAS BEING MODIFIED.

EXISTING FIRE ALARM SYSTEM TO REMAIN AS-IS. REMOVE EXISTING FIRE ALARM DEVICES FROM WALL TO ALLOW FOR CONSTRUCTION AS NEEDED. TEMPORARILY SUPPORT DEVICES DURING CONSTRUCTION WHILE MAINTAINING FUNCTIONALITY TO ALERT WORKERS OF AN ALARM SITUATION. REINSTALL POST CONSTRUCTION. NOTIFY ELECTRICAL ENGINEER OF ANY FIRE ALARM DEVICES NOT APPEARING ON THIS DRAWING BUT DISCOVERED DURING THE DEMOLITION PROCESS AND AWAIT WRITTEN INSTRUCTION PRIOR TO PROCEEDING AND RELOCATE IF REQUIRED. ALLOW FOR THE REVERIFICATION OF FIRE ALARM DEVICES AS NEEDED.

EXISTING SECURITY SYSTEM INCLUDING INTRUSION DETECTORS AND TO MAINTAIN CURRENT FUNCTIONALITY. RELOCATE KEYPAD PER LOCATIONS SHOWN ON DRAWINGS. CONTRACTOR TO PROVIDE A COMPLETE AND OPERABLE SYSTEM UTILIZING EXISTING HARDWARE C/W NEW WIRING WHERE REQUIRED.

DRAWING KEY NOTES:

- EXISTING PANEL 'A' 400A-208V-3PH-4W CCTS 1-42
- EXISTING PANEL 'B' 225A-208V-3PH-4W CCTS 43-84
- JUNCTION BOX CONTAINING LOCAL CIRCUITS. CIRCUIT NUMBERS TO BE CONFIRMED ON SITE.
- COV SERVER RACK MOUNTED TO BIGS BACKBOARD. TO BE RELOCATED TO HIGHER ELEVATION. SEE ARCHITECTURAL FOR NEW LOCATION. REROUTE EXISTING DATA CABLES AS REQUIRED.
- WIRELESS ACCESS POINTS MOUNTED AT HIGH-LEVEL.
- HAND DRYER. REMOVE AND RE-INSTALL ONCE WALL REFINISHED.
- REMOVE EXISTING ABANDONED DATA CABLING BACK TO SOURCE FROM EXISTING STORAGE ROOM CEILING, WALL AND ABOVE CEILING SPACE.
- EXISTING EXIT DOOR C/W PANIC ALARM BAR TO REMAIN.
- EXISTING METAL HALIDE TRACK + HEADS TO REMAIN UNLESS NOTED OTHERWISE. ESTIMATED LOAD PER TRACK HEAD OF 39W. (TYPICAL). EXISTING HEAD SPECIFICATION: CONTECH LIGHTING CTL8029-M-439W-H C/W G8.5 BALLAST EXISTING TRACK SPECIFICATION: CONTECH LIGHTING L6122-X-B
- EXISTING METAL HALIDE PENDANT FIXTURE TO REMAIN UNLESS NOTED OTHERWISE. LOAD PER FIXTURE OF 70W. (TYPICAL). EXISTING SPECIFICATION: AM-10-MP-MT-AC14-W-I-SC-BK COOPER LIGHTING LUMARK 14" HIGH-BAY.
- EXISTING HIGH LEVEL METAL HALIDE DOWNLIGHT TO REMAIN. ESTIMATED LOAD PER DOWNLIGHT OF 39W. (TYPICAL)
- EXISTING 4" LINEAR LIGHT TO BE REMOVED AND REINSTALLED IN NEW STORAGE ROOM. ESTIMATED LOAD PER FIXTURE OF 32W.
- EXISTING TRACK LIGHTING SEGMENT HAS BEEN NOTED AS NOT FUNCTIONING PROPERLY. CONTRACTOR TO TROUBLESHOOT AND MAKE FUNCTIONAL.



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5. ISSUED FOR TENDER	2018 SEP 21
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JOB TITLE
COV ENGAGEMENT VENUE
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SHEET TITLE

DEMOLITION PLAN

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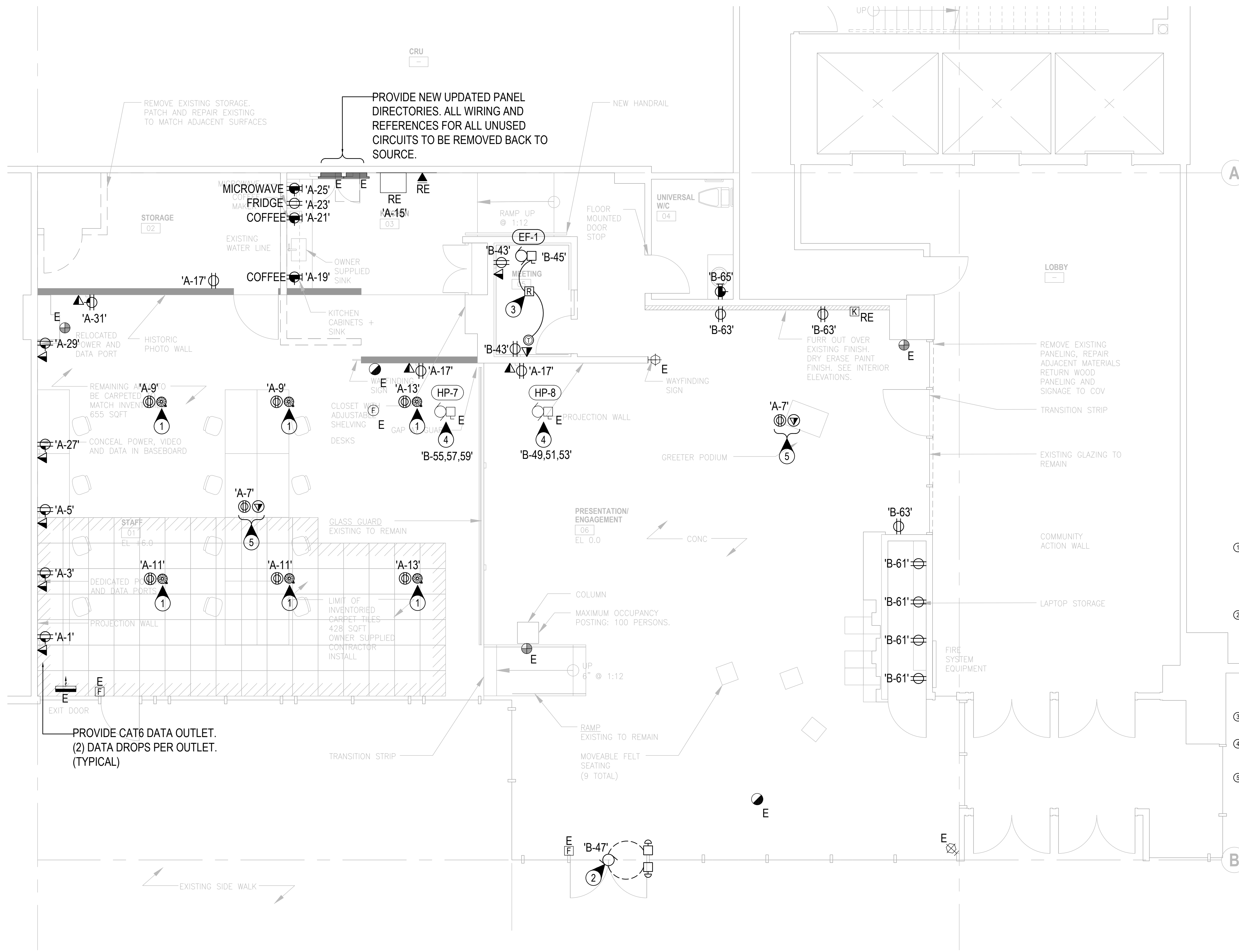
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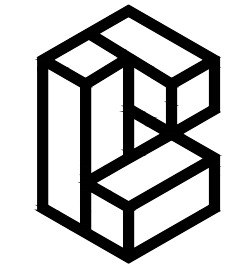


POWER GENERAL NOTES:

- A. CONTRACTOR TO CO-ORDINATE ALL MOUNTING HEIGHTS & LOCATIONS WITH THE ARCHITECT PRIOR TO ROUGH-IN.
- B. SUPPLY AND INSTALL PULLSTRINGS IN ALL NEW EMPTY CONDUIT.
- C. CIRCUIT NUMBERS SHOWN ARE FOR GROUPING PURPOSES ONLY. CONTRACTOR TO UTILIZE THE NEXT AVAILABLE CIRCUIT IN THE PANEL. PROVIDE AND INSTALL NEW BREAKERS AS REQUIRED. LIGHTING AND RECEPTACLE POWER SHALL BE SUPPLIED FROM 120/208V PANELS 'A' & 'B' AS REQUIRED. EXISTING CIRCUITS FROM PANEL 'A' & 'B' SERVING PROJECT SPACE TO BE REUSED TO SUPPLY REPLACED OR RELOCATED EQUIPMENT.
- D. ALL NEW WIRING TO BE CONCEALED AND RUN IN EMT CONDUIT. CONDUITS ARE TO BE RUN IN A NEAT AND TIDY MANNER IN ORDER TO GET TO LUMINAIRE/DEVICE LOCATIONS. BX MAY ONLY BE USED FOR FINAL CONNECTIONS TO LUMINAIRES AND MECHANICAL EQUIPMENT.
- E. CONNECT ALL NEW & RELOCATED FIRE ALARM DEVICES TO LOCAL ZONE. ALL NEW DEVICES ARE TO MATCH EXISTING MANUFACTURER. EXTEND CONDUIT & WIRING AS REQUIRED FOR ALL RELOCATED DEVICES. PROVIDE WRITTEN VERIFICATION FOR ALL NEW, RELOCATED, AND EXISTING DEVICES IN THE AFFECTED ZONE(S). UPDATE THE ANNUNCIATOR PANEL TO INCLUDE ADDED DEVICES.
- F. CONTRACTOR TO REVIEW ARCHITECT/INTERIOR DESIGNER'S DRAWINGS AND NOTES AND BECOME FAMILIAR WITH THE REQUIREMENTS THOSE DRAWINGS INDICATE. CONFIRM WITH CONSULTANT AND/OR ARCHITECT/INTERIOR DESIGNER IF ANY DISCREPANCIES.
- G. PROVIDE 1 METER CLEARANCE IN FRONT OF ALL ELECTRICAL PANELS.
- H. FIRE-STOP ALL UNUSED PENETRATIONS IN ALL FIRE RATED WALLS, FLOORS AND CEILINGS WITH APPROVED FIRE SEALANT.
- I. DO NOT USE THE T-BAR CEILING SUPPORTS TO ANCHOR ELECTRICAL DEVICES/EQUIPMENT/CONDUIT/WIRING. ALL ELECTRICAL SHALL HAVE ITS OWN INDEPENDENT ANCHOR SUPPORTS.
- J. REFER TO MECHANICAL DRAWINGS FOR EXACT LOCATIONS FOR ALL MECHANICAL UNIT LOCATIONS PRIOR TO ROUGH-IN.
- K. FOR ALL 5-20R T-SLOT RECEPTACLES, CONTRACTOR IS TO PROVIDE A 20A-1P BREAKER IN THE PANEL.
- L. WHERE RECEPTACLES ARE MOUNTED BACK-TO-BACK IN WALLS, STAGGER THE MOUNTING OF THESE DEVICES TO MINIMIZE THE SOUND TRANSMISSION.
- M. LABEL ALL OUTLETS WITH THEIR ASSOCIATED CIRCUIT NUMBERS ON THE OUTLET FACEPLATE.
- N. CONTRACTOR SHALL PROVIDE ALL NECESSARY CORING. ALL PENETRATION AREAS MUST BE X-RAYED/SCANNED AND A WRITTEN APPROVAL MUST BE OBTAINED FROM THE OWNER'S STRUCTURAL ENGINEER PRIOR TO CORING. ALL PENETRATIONS ARE TO BE FIRE STOPPED IN ACCORDANCE WITH THE LOCAL CODES AND ELECTRICAL SPECIFICATIONS.

DRAWING KEY NOTES:

- ① PROVIDE POWER CORD REEL EQUAL TO HUBBELL HBL45123R220 CW (2) DUPLEX 5-20R RECEPTACLES AT CORD END TO PLUG INTO ADJACENT CEILING MOUNTED RECEPTACLE. RETRACTABLE RECEPTACLE TO BE LOCATED ABOVE BOTTOM OF EXISTING CEILING LINE WHEN FULLY RETRACTED. PROVIDE ADDITIONAL PULLCORD ATTACHED TO BOTTOM OF RECEPTACLE WITH PULLCORD END WITHIN 7FT A.F.F. PULLCORD MATERIAL TO BE DURABLE BLACK FABRIC. SEE DETAIL 1 ON DWG E3.0
- ② HANDICAP MOTORIZED DOOR OPERATOR, CONFIRM EXACT REQUIREMENTS WITH DOOR HARDWARE SUPPLIER PRIOR TO ROUGH-IN. PROVIDE 120V-20A CIRCUIT FROM EXISTING PANEL TO MOTOR LOCATION. ELECTRICAL CONTRACTOR TO PROVIDE FOR ALL CONNECTIONS AND ROUGH-IN REQUIRED INCLUDING PULLING WIRING THROUGH ALUMINUM FRAME TO HOUSING UNIT FOR A COMPLETE AND OPERABLE SYSTEM. CONDUIT & WIRING TO BE CONCEALED IN EXISTING MULLION WHEN TRANSITIONING BELOW EXTERIOR CANOPY LINE. PROVIDE PATHWAY FOR INTERCONNECT BETWEEN MOTORIZED OPERATOR AND PANIC ALARM PUSH BAR. HANDICAP MOTORIZED DOOR OPERATOR AND PANIC ALARM PUSH BAR TO BE SUPPLIED AND INSTALLED BY OTHERS. SEE DETAIL 2 ON DWG E3.0
- ③ MOTOR RATED RELAY TO SUPPLY EF-1. CONTROLLED VIA REVERSE ACTING THERMOSTAT. THERMOSTAT & RELAY BY ELECTRICAL. SEE MOTORLIST ON DWG E3.0 FOR DETAILS.
- ④ EXISTING HEAT PUMP TO BE DISCONNECTED TO ALLOW FOR MECHANICAL INSULATION INSTALL. RECONNECT HEAT PUMP ONCE MECHANICAL WORK HAS BEEN COMPLETED. COORDINATE SCHEDULE WITH MECHANICAL CONTRACTOR.
- ⑤ CEILING MOUNTED POWER & DATA OUTLET FOR CEILING MOUNTED PROJECTOR. PROJECTOR BY OTHERS. COORDINATE EXACT LOCATION OF PROJECTOR WITH OWNER PRIOR TO ROUGH-IN. PROVIDE (1) DEDICATED 120V-15A CIRCUIT TO BE SHARED BY PROJECTOR OUTLETS ONLY.



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**COV ENGAGEMENT VENUE
511 WEST BROADWAY**

SHEET TITLE
**POWER AND LOW TENSION
PLAN**

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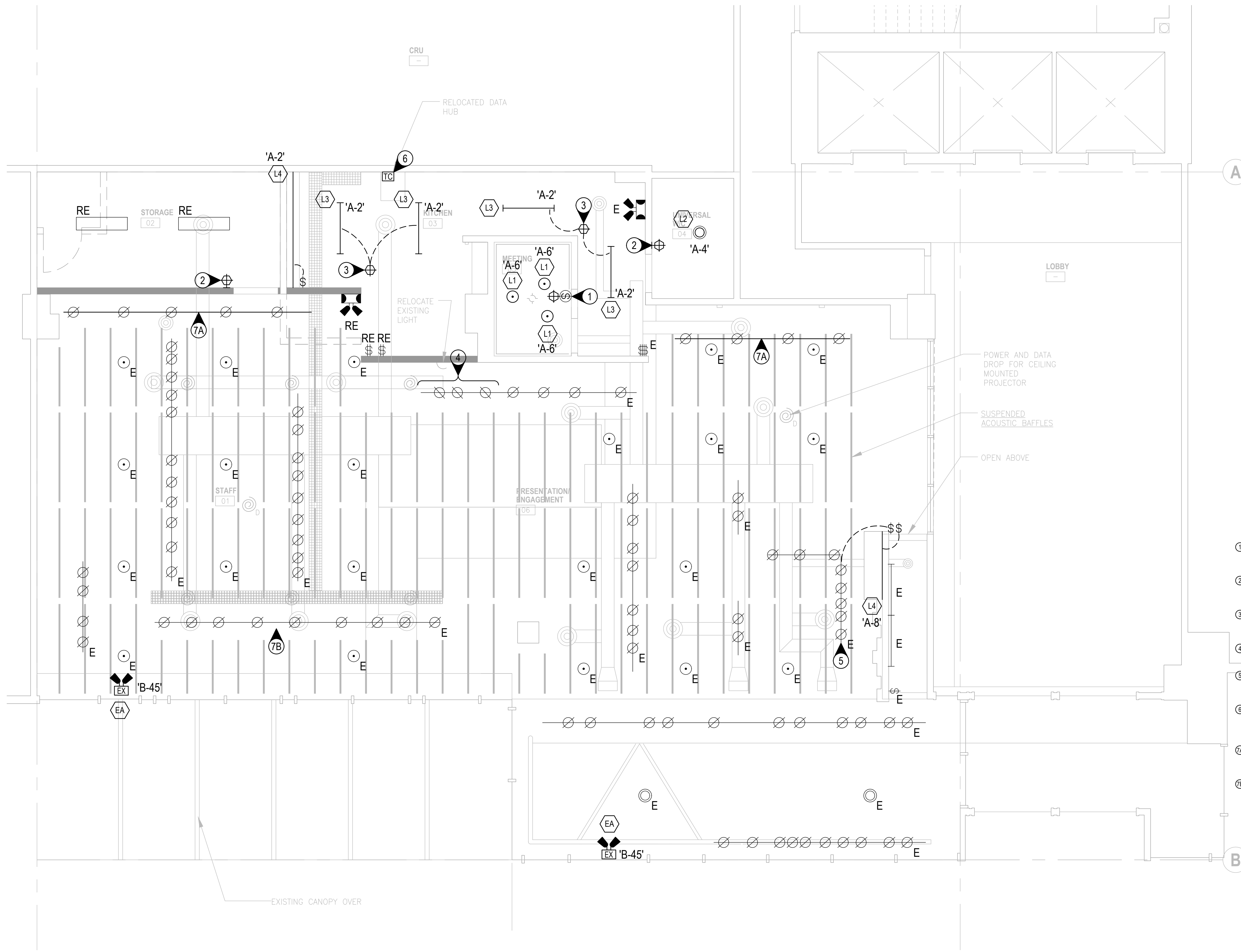
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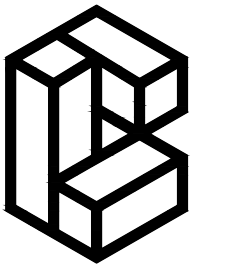
LIGHTING GENERAL NOTES:

- A. CONTRACTOR TO CO-ORDINATE ALL MOUNTING HEIGHTS & LOCATIONS WITH THE ARCHITECT PRIOR TO ROUGH-IN.
- B. SUPPLY AND INSTALL PULLSTRINGS IN ALL NEW EMPTY CONDUIT.
- C. CIRCUIT NUMBERS SHOWN ARE FOR GROUPING PURPOSES ONLY, CONTRACTOR TO UTILIZE THE NEXT AVAILABLE CIRCUIT IN THE PANEL. PROVIDE AND INSTALL NEW BREAKERS AS REQUIRED.
- D. ALL NEW WIRING TO BE CONCEALED AND RUN IN EMT CONDUIT. CONDUITS ARE TO BE RUN IN A NEAT AND TIDY MANNER IN ORDER TO GET TO LUMINAIRE DEVICE LOCATIONS. BIX MAY ONLY BE USED FOR FINAL CONNECTIONS TO LUMINAIRES AND MECHANICAL EQUIPMENT.
- E. CONTRACTOR TO REVIEW ARCHITECT/INTERIOR DESIGNERS DRAWINGS AND NOTES AND BECOME FAMILIAR WITH THE REQUIREMENTS THOSE DRAWINGS INDICATE. CONFIRM WITH CONSULTANT AND/OR ARCHITECT/INTERIOR DESIGNER IF ANY DISCREPANCIES.
- F. FIRE-STOP ALL UNUSED PENETRATIONS IN ALL FIRE RATED WALLS, FLOORS AND CEILINGS WITH APPROVED FIRE SEALANT.
- G. DO NOT USE THE T-BAR CEILING SUPPORTS TO ANCHOR ELECTRICAL DEVICES/EQUIPMENT/CONDUIT/WIRING. ALL ELECTRICAL SHALL HAVE ITS OWN INDEPENDENT ANCHOR SUPPORTS.
- H. REFER TO MECHANICAL DRAWINGS FOR EXACT LOCATIONS FOR ALL MECHANICAL UNIT LOCATIONS PRIOR TO ROUGH-IN.
- I. SUPPLY NEW EXIT SIGNS WHERE SHOWN ON THE NEW LIGHTING PLAN. EXIT SIGNS SHALL BE RUNNING MAN PICTOGRAM WALL OR CEILING MOUNTED. FACTORY WHITE, ANGULAR TRIM. SELF POWERED, 120VAC. PROVIDE DOUBLE SIDED AND ARROWS WHERE REQUIRED.
- J. 80% CIRCUIT LOADING IS NOT TO BE EXCEEDED. PROVIDE NEW CIRCUITS AND BREAKERS AS REQUIRED FROM ELECTRICAL PANEL. VERIFY EXISTING LOAD AND PROPOSED NEW LOAD DOES NOT EXCEED CIRCUIT AND OVERALL PANEL LOADING OF 80%.
- K. CONTRACTOR TO ALLOW FOR THE PROGRAMMING OF ALL LIGHTING CONTROLS WHERE APPLICABLE.
- L. ELECTRICAL CONTRACTOR TO REVIEW CONDITION OF ALL EXISTING FIXTURE LAMPS AND LENS AND REPLACE AS REQUIRED. NO BROKEN OR OTHERWISE NONFUNCTIONAL FIXTURES SHALL BE PERMITTED TO REMAIN AT PROJECT CLOSEOUT.

DRAWING KEY NOTES:

- ① PROVIDE 2 POLE VACANCY SENSOR WALL SWITCH CW 0-10V DIMMING. OPERATION TO BE: MANUAL ON & AUTOMATIC OFF AFTER 20 MINS OF VACANCY.
- ② PROVIDE LINE VOLTAGE VACANCY SENSOR WALL SWITCH. OPERATION TO BE: MANUAL 'ON' & AUTOMATIC 'OFF' AFTER 20 MINS OF VACANCY. (CW MANUAL 'OFF' OPTION)
- ③ PROVIDE CEILING MOUNTED OCCUPANCY-VACANCY SENSOR. MOUNT BELOW ADJACENT LIGHTING. OPERATION TO BE: AUTOMATIC ON & AUTOMATIC OFF AFTER 20 MINS OF VACANCY.
- ④ EXISTING SEGMENT OF TRACK ROTATED 90 DEGREES TO MATCH ADJACENT SEGMENT OF TRACK. SEE DEMO DRAWING FOR EXISTING CONFIGURATION.
- ⑤ EXISTING CONTINUOUS TRACK SEGMENT TO BE BROKEN AT CORNER. RECONNECT EAST-WEST PORTION TO EXISTING SWITCH. CONNECT NORTH-SOUTH PORTION TO NEW SWITCH AS SHOWN.
- ⑥ PROVIDE NEW 7 DAY ASTRONOMICAL TIMECLOCK CW CONTACTORS AS REQUIRED FOR AUTOMATIC LIGHTING SHUTOFF FOR ALL LIGHTING NOT CONNECTED TO A LOCAL VACANCY SENSOR. COORDINATE SCHEDULE WITH OWNER PRIOR TO PROGRAMMING.
- 7A PROVIDE NEW SEGMENT OF TRACK AS SHOWN. RELOCATE EXISTING TRACK HEADS FROM SECTION OF TRACK IDENTIFIED BY KEYNOTE '7B'. SEE DEMO DRAWING FOR EXISTING TRACK SPECIFICATION.
- 7B RELOCATE (8) TRACKHEADS FROM EXISTING SECTION OF TRACK. SPACE REMAINING TRACK HEADS EQUALLY.

1 LIGHTING PLAN
 0 2 4 6 8 10 12 1/4"=1'-0"



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LIGHTING PLAN

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TYPE	DESCRIPTION	PRE-APPROVED PRODUCTS	MOUNTING	LAMP						BALLAST/DRIVER	VOLTAGE	REMARKS	NOTES
				WATTS (W)	TYPE	LED LUMENS	COLOUR	MIN CRI	QTY				
L1	LED PENDANT LUMINAIRE	SISTEMALUX BOLLA MEDIUM LED 1934-835-UNV-01-D10	PENDANT	22.5	LED	1551	3500K	80		0-10V	120		
L2	LED CEILING MOUNTED	EUREKA ELROY 4765-NPL-LED-14-35-120-DV-WH	SURFACE	18	LED	990	3500K	80		0-10V	120		
L3	LED LINEAR DOWNLIGHT 4"	FLUXWERX PROFILE 100 DN PF1-F-B-B-35-DV-04-S-F2-M-12	SUSPENDED	23	LED	2550	3500K	80		N/A	120		
L4	LED COVE LIGHT	DIFFUSION SL3-IN-XX-24V-3400K C/W SLC-002S CHANNEL + LENS AND REMOTE DRIVER	COVE	3	LED	263	3400K	91+		N/A	120	WATTS/LUMENS PER 1 FOOT SECTION.	
EA	LED EXT SIGN	BEGHELLI SL-RM-SP-L-2-0LR (ADD R INDICATOR PER DWGS)-M-90SP-AT (2 WIRES)	SURFACE	2	LED	N/A	N/A	N/A		N/A	120	AUTO TEST.	

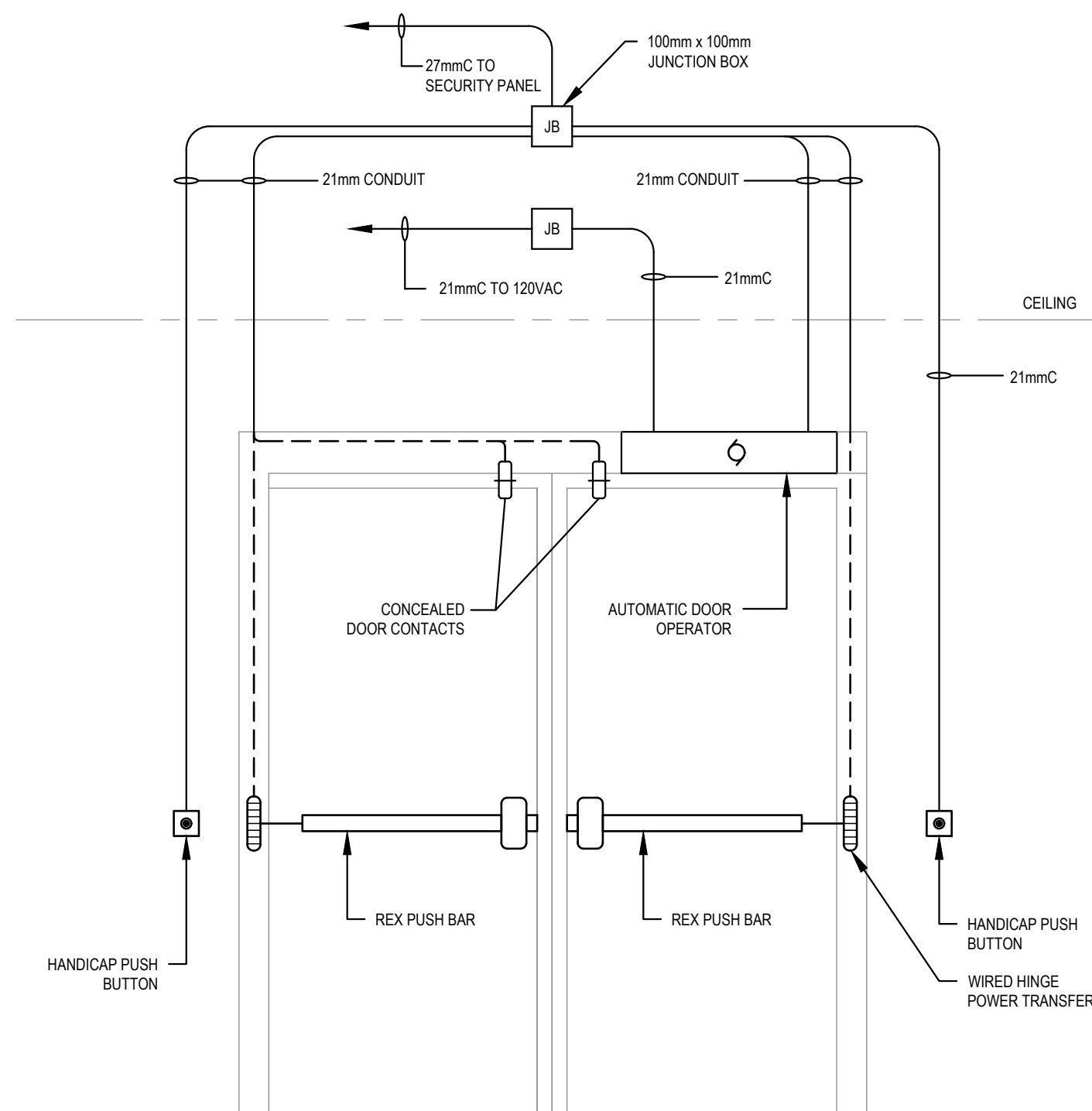
LUMINAIRE NOTE

- LUMINAIRES TO BE COMPLETE WITH INTEGRAL DAYLIGHT SENSORS.
- LUMINAIRES TO BE COMPLETE WITH INTEGRAL OCCUPANCY SENSORS.

GENERAL NOTES

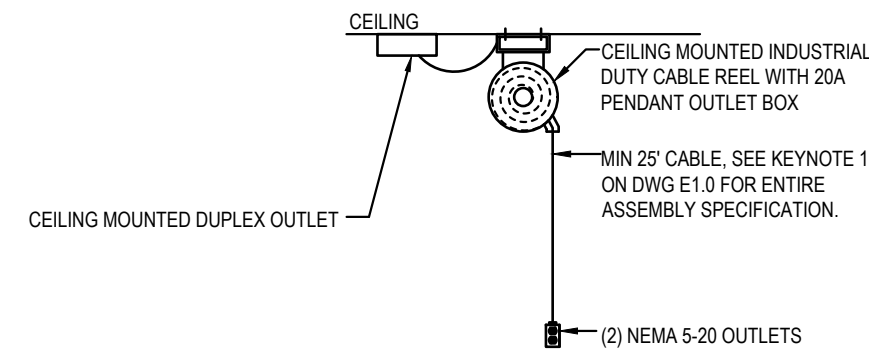
- DUE TO CONSTANT CHANGES IN CATALOGUE NUMBERS, ALL NUMBERS INDICATED MUST BE VERIFIED WITH THE MANUFACTURER PRIOR TO ORDERING.
- ALL LUMINAIRE FINISHES TO BE APPROVED BY ARCHITECT PRIOR TO ORDERING.
- TYPE OF CONSTRUCTION FOR ALL CEILINGS TO BE COORDINATED WITH ARCHITECTURAL DRAWINGS PRIOR TO ORDERING MOUNTING KITS. CONTRACTOR TO OBTAIN A SET OF IFC ARCHITECTURAL DRAWINGS AND COORDINATE MOUNTING WITH CEILING TYPES SHOWN. NO EXTRAS WILL BE ALLOWED FOR RE-ORDERING OF LUMINAIRES OR MOUNTING KITS TO MATCH CEILING TYPES SHOWN ON ARCHITECTURAL PLANS. MOUNTING HEIGHT OF ALL SUSPENDED LUMINAIRES TO BE ADJUSTABLE ON SITE, AND CONTRACTOR TO COORDINATE ON SITE UNDER DIRECTION OF CONSULTANT.
- CONTRACTOR TO ALLOW A MINIMUM 2 WEEKS FOR INITIAL REVIEW OF ENTIRE LIGHTING SHOP DRAWING PACKAGE. NO DELAY CLAIMS WILL BE ALLOWED FOR ANY SUBSEQUENT REVIEW TIME REQUIRED DUE TO INCORRECT SHOP DRAWINGS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE LUMINAIRES ARE DELIVERED IN A TIMELY MANNER TO THE SITE. NO EXTRAS WILL BE ALLOWED FOR DELIVERY.
- ALL CONTROLS INTEGRATED WITH LUMINAIRES TO BE COMMISSIONED ON SITE AFTER INSTALL. CONTRACTOR TO ENSURE THAT ALLOWANCE IS MADE FOR ADJUSTING AND COMMISSIONING OF ALL CONTROLS AS REQUIRED.
- COORDINATE MOUNTING HEIGHT OF ALL WALL MOUNTED LUMINAIRES WITH ARCHITECT PRIOR TO ROUGH-IN. COORDINATE SUSPENSION HEIGHT OF ALL SUSPENDED LUMINAIRES WITH ARCHITECT PRIOR TO INSTALLATION.
- ALL JUNCTION BOXES FOR SURFACE MOUNT LUMINAIRES SHALL NOT BE WIDER THAN THE LUMINAIRE MOUNTING PLATE.
- ALL LED LUMINAIRES ARE TO BE INCLUDED WITH CONSTANT CURRENT DRIVERS UNLESS SPECIFIED.
- ALL LUMINAIRES SHALL BE APPROVED AS DEFINED IN CURRENT CANADIAN ELECTRICAL CODE (CEC)

4 LUMINAIRE SCHEDULE
NTS



- NOTES:**
- ALL WIRING SHALL BE CONCEALED IN CONDUIT UNLESS OTHERWISE INDICATED.
 - ALL DOOR CONTACTS SHALL BE RECESS. SURFACE MOUNTED CONTACTS ARE NOT ACCEPTABLE.
 - DOOR HARDWARE AND WIRING SHALL BE SUPPLIED AND INSTALLED BY COV SECURITY DEPARTMENT.

2 CONDUIT ROUGH-IN DOOR DETAIL
NTS



1 RETRACTABLE RECEPTACLE DETAIL
NTS

UNIT No.	UNIT DESCRIPTION	LOCATION	V	Ph	HP	(A)	(VA)	Breaker	Feeder	Conduit	Panel & Circuit #	STARTER	DISC.	CONTROL DEVICE			NOTES					
												T	S	W	S	W		T	S	W		
EF-1	EXHAUST FAN	MEETING ROOM 05	115	1	FRAC	3	345	15	2c	12	3/4"	PANEL B	MRR	E	E	E	M	E	RT	E	E	E

GENERAL NOTES FOR MECH EQUIPMENT SCHEDULE:

- CONTRACTOR TO OBTAIN AND REVIEW MECHANICAL DRAWINGS AND SCHEDULES DURING TENDER TO ENSURE ALL SCOPE REQUIRED FOR ELECTRICAL CONNECTION TO MECHANICAL UNITS HAS BEEN ALLOWED FOR. NO EXTRAS WILL BE ALLOWED FOR STARTERS, DISCONNECTS, OR ANY OTHER EQUIPMENT IF IT IS SHOWN ON THE MECHANICAL TENDER DRAWINGS TO BE SUPPLIED BY ELECTRICAL.
- CONTRACTOR TO REVIEW MECH SHOP DRAWINGS AND CONFIRM ALL EQUIPMENT LOADS, OVERCURRENT PROTECTION, WIRE AND CONDUIT SIZES AND MOUNTING HEIGHTS PRIOR TO ROUGH-IN.
- CONTRACTOR TO INSPECT ALL MECH EQUIPMENT LABELS ON SITE PRIOR TO INSTALLATION AND INFORM THE CONSULTANT OF ANY DISCREPANCIES. FOLLOW THE MECH LABELS FOR FINAL SIZE OF THE BREAKERS AS PER C.E.C.
- ALL MOTORS LOCATED OUTSIDE TO BE C/W WEATHER PROOF DISCONNECT SWITCHES & RAIN TIGHT CONNECTIONS.

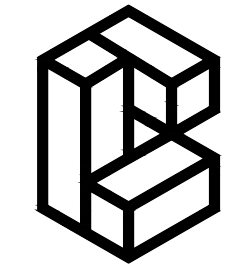
MECH MOTOR SCHEDULE ABBREVIATIONS:

(a) Supplied By:
E = Electrical Contractor
M = Mechanical Contractor

(b) Starter Type:
PCS = Packaged Control System
INT = Integral to Unit
MRR = Motor Rated Relay C/W 24VAL Coil, HOA switch, and Motor Protection Switch
VFD = Variable Frequency Drive Complete with Bypass and HOA Magnetic Starter.
MG = Magnetic Starter Complete with HOA switch and aux status contact

(c) Control Device:
PT = 7 - Day Programmable Thermostat
INTT = Integral thermostat c/w Unit
SC = Solid State Variable speed controller
IL = Interlocked with -
TC = 7 - Day Time Clock
RT = Reverse Acting Thermostat

3 MECHANICAL MOTORLIST
NTS



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