

TENANT FIT-OUT AT ECHELON CENTRE

6F-575 8TH AVE WEST VANCOUVER, BC

PROJECT TEAM

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ARCHITECT			

GENERAL CONSTRUCTION NOTES

- THESE NOTES APPLY TO ALL DRAWINGS.
- THIS IS A COPYRIGHT DRAWING AND DESIGN, AND SHALL NOT BE USED, REPRODUCED OR REVISED WITHOUT WRITTEN PERMISSION.
- CHECK AND VERIFY ALL DIMENSIONS ON SITE AND REPORT ALL ERRORS AND OMISSIONS TO THE CONSULTANT PRIOR TO COMMENCING WORK.
- THESE DRAWINGS ARE NOT TO BE SCALED.
- ALL DIMENSIONS, UNLESS OTHERWISE NOTED, ARE METRIC.
- ALL MATERIALS TO MEET FLAME SPREAD RATINGS REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.
- ALL WORK TO BE COMPLETED TO MEET THE APPLICABLE LOCAL BUILDING CODES, AND LOCAL HEALTH AND FIRE REGULATIONS.
- ALL WALL DIMENSIONS ARE TO THE CENTRE LINE OF STUD UNLESS OTHERWISE NOTED.
- TOUCH UP AND MAKE GOOD ALL EXISTING WALLS TO REMAIN SUITABLE TO RECEIVE NEW PAINT FINISH.
- PROVIDE DEFLECTION TRACKS AT ALL WALL ATTACHMENTS TO UNDERSIDE OF STRUCTURE.
- RATED WALL ASSEMBLIES ARE INDICATED IN AN ABBREVIATED FORMAT, SEE REFERENCED DESIGN NUMBER LISTING (IE WL0) FOR FULL ASSEMBLY.
- PROVIDE CONTINUOUS PLYWOOD BACKING IN WALLS FOR ALL ITEMS SECURED TO WALLS, INCLUDING ELECTRICAL PANEL, MILLWORK AND CASEWORK, DOOR STOPS, TACK AND WHITE BOARDS, SCREENS, ALL WASHROOM ACCESSORIES AND MISC. WALL FIXTURES, WHETHER THEY ARE INSTALLED BY OWNER OR BY CONTRACTOR.
- ALL NEW WALLS ARE CONSTRUCTED TO THE UNDERSIDE OF EXISTING T-BAR CEILING, UNLESS NOTED OTHERWISE.
- FIRESTOP ALL EXISTING AND NEW SERVICE PENETRATIONS THROUGH FLOOR SLAB AND VERTICAL FIRE SEPARATION.
- PROVIDE X-RAY TO EXISTING FLOOR SLAB AND ROOF SLAB PRIOR TO CORING FOR NEW SERVICE PENETRATION.
- UNLESS NOTED ON DRAWINGS, TYPICAL NEW INTERIOR WALLS TO BE WALL TYPE W1.
- ALL GWB FOR NEW WASHROOM TO BE MOISTURE RESISTANT GWB, PROVIDE WATER PROOFING MEMBRANE UNDER THE WHOLE NEW WASHROOM/SHOWER (RM 610) AND WATERPROOFING MEMBRANE ON ALL SIDES OF THE SHOWER FULL HEIGHT OF WALL.
- ALL FIRE SEPARATION TO BE CONSTRUCTED TO THE U/S OF STRUCTURAL SLAB, OR EXTERIOR WALL.
- WALL TYPES ARE TO BE CONTINUOUS ABOVE & BELOW WINDOWS AND DOORS UNO.
- ALL DOOR FRAMES TO BE 50mm AWAY FROM FINISHED FACE OF WALL UNO.
- FLOORING IN HALLWAY EXTENDS TO THE ROOM SIDE OF DOOR FRAME.
- GWB FOR ALL GWB CEILING TO BE 16THK.
- FOR ALL EXISTING AND NEW ITEMS WITHIN THE PROJECT AREA, PROVIDE SEISMIC RESTRAINT TO ALL CEILING SUPPORTING FRAMES, T-BARS ASSEMBLIES, CEILING GYPSUM WALL BOARDS ALL OVERHEAD MECHANICAL DUCTS, AND EQUIPMENT, OVERHEAD ELECTRICAL CONDUITS AND LIGHTS.

GENERAL DEMOLITION NOTES

- DEMOLITION DRAWING ONLY SHOWS THE GENERAL SCOPE OF DEMOLITION ALSO REFER TO OTHER ARCHITECTURAL DETAIL DRAWINGS, MECHANICAL & ELECTRICAL DRAWINGS FOR FULL SCOPE OF DEMOLITION WORKS REQUIRED TO PRODUCE NEW LAYOUT. CONTRACTOR WILL BE RESPONSIBLE FOR COORDINATING AND CARRYING OUT ALL NECESSARY DEMOLITION NOT SHOWN IN THE DEMOLITION PACKAGE IN ORDER TO PRODUCE NEW LAYOUT.
- ALL DEMOLISHED MATERIAL AND DEBRIS TO BE REMOVED PROMPTLY FROM SITE AND DISPOSED OF IN A LEGAL MANNER.
- SELLING OF ANY MATERIALS ON SITE IS NOT PERMITTED.
- MAKE GOOD DAMAGED AREA AND FIXTURES OR REPLACED WITH NEW WHICH ARE TO BE RETAINED AS SHOWN IN DRAWING.
- COMPLY WITH ALL BYLAWS AND ACQUIRE ALL NECESSARY PERMIT.
- COMPLY WITH ALL WORKER'S COMPENSATION BOARD OF BC, ACCIDENT PREVENTION REGULATIONS.
- DEMOLISH ALL EXPOSED & HIDDEN ELECTRICAL, MECHANICAL & PLUMBING FIXTURES, ENCLOSED CONDUITS AND PIPINGS, & OTHER FIXTURES AND FINISHES THAT ARE NOT TO BE REUSED ASSOCIATED WITH DEMOLITION OF WALLS.

DRAWING LIST

ARCHITECTURAL	A-00 6TH FLOOR COVER SHEET A-01 6TH FLOOR PLAN EXISTING A-02 6TH FLOOR PLAN DEMOLITION A-03 6TH FLOOR REFLECTED CEILING (EXISTING) A-04 6TH FLOOR PLAN NEW A-05 6TH FLOOR REFLECTED CEILING (NEW) A-06 6TH FLOOR INTERIOR ELEVATIONS A-07 6TH FLOOR INTERIOR ELEVATIONS AND MILLWORK DETAILS A-08 6TH FLOOR INTERIOR ELEVATIONS AND MILLWORK DETAILS A-09 6TH FLOOR TYPICAL DETAILS A-10 6TH FLOOR FINISHES PLAN	ELECTRICAL	E001 DRAWING LIST, GENERAL NOTES, & SYMBOLS E002 ELECTRICAL SPECIFICATIONS E003 SINGLE LINE CALCULATIONS & SCHEDULES E100 6TH FLOOR NEW POWER & LOW TENSION PLAN E101 6TH FLOOR NEW LIGHTING PLAN E200 6TH FLOOR DEMOLITION POWER & LOW TENSION PLAN E201 6TH FLOOR DEMOLITION LIGHTING PLAN
		MECHANICAL	M - 10 6TH FLOOR SITE PLAN, DETAILS, & GENERAL NOTES M - 11 6TH FLOOR MECHANICAL SCHEDULES M - 20 6TH FLOOR PLUMBING DEMOLITION PLANS M - 21 6TH FLOOR MECHANICAL DEMOLITION PLAN M - 30 6TH FLOOR NEW PLUMBING PLANS M - 31 6TH FLOOR NEW MECHANICAL PLAN M - 32 6TH FLOOR NEW & EXISTING FIRE SUPPRESSION PLAN M - 40 6TH FLOOR NEW FIRE PROTECTION PLAN

PROJECT DATA

-CIVIC ADDRESS: 6/F 575 W 8TH AVE, VANCOUVER
-FLOOR AREA (EXISTING): 564 SM, APPROX

BUILDING CODE ANALYSIS

-APPLICABLE CODE: VANCOUVER BUILDING BYLAW 2014 PART 3
-MAJOR OCCUPANCY: OFFICE - D (BUSINESS & PERSONAL SERVICES)

-NO. OF STREET FACING: 1
-BUILDING AREA: 1217 SM, APPROX
-BUILDING HEIGHT: 6 STOREY
-FIRST STOREY: MAIN FLOOR
-BUILDING CODE CLASSIFICATION: 3.2.2.56 GROUP D

-PRINCIPAL ENTRANCE: ENTRANCE FACING 8TH AVE.
-CONSTRUCTION TYPE: FLOOR ASSEMBLY AND SUPPORTING STRUCTURE - 1HR FRR, NON-COMBUSTIBLE CONSTRUCTION

-SPRINKLER: EXISTING, AUTOMATIC SPRINKLER SYSTEM ACCORDING TO NFPA-13
-FIRE ALARM: EXISTING, SINGLE STAGE, MONITORED
-FIRE SEPARATION: THE TENANT WILL OCCUPY THE ENTIRE FLOOR AREA THERE WILL NOT BE ANY FIRE SEPARATION REQUIRED WITHIN THE WHOLE PROJECT AREA.

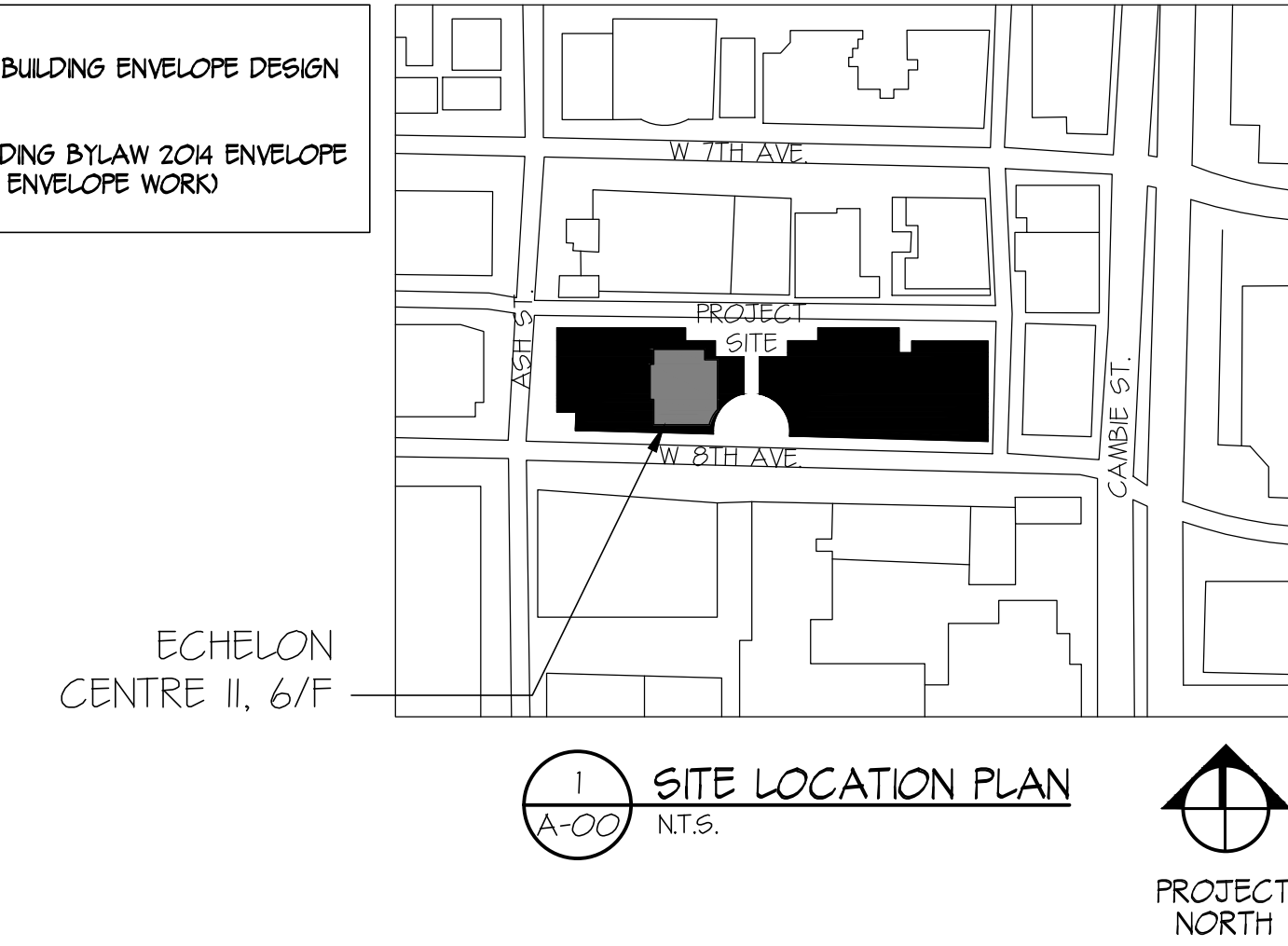
-EXIT SIGNS: PROVIDED ACCORDING TO 3.4.5
-EMERGENCY LIGHT: PROVIDED ACCORDING TO 3.2.7.3
-ACCESSIBILITY: - EXISTING BY BASE BUILDING
-DOOR & DOOR HARDWARE: ALL DOORS & HARDWARE TO COMPLY WITH 3.3.11.5
-OCCUPANT LOAD CALCULATIONS: 37 BASED ON THE NUMBER OF WORKSTATIONS, ALL MEETING ROOMS ARE OF INTERNAL USE SO THERE IS NO EXTRA OCCUPANT LOAD

-PLUMBING FIXTURE CALCULATION FROM EACH FLOOR (ACCORDING TO 3.7.2.2.B):

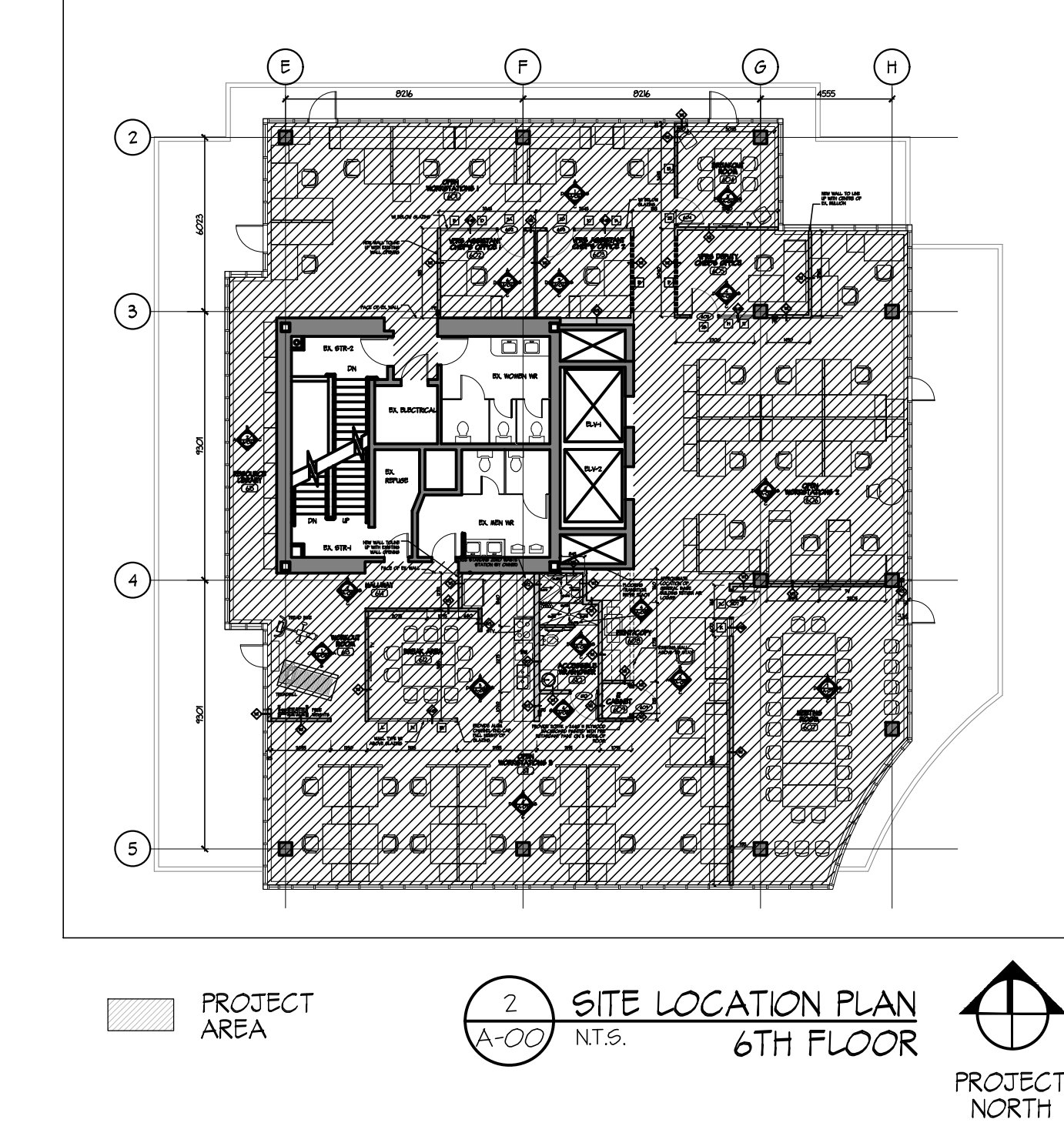
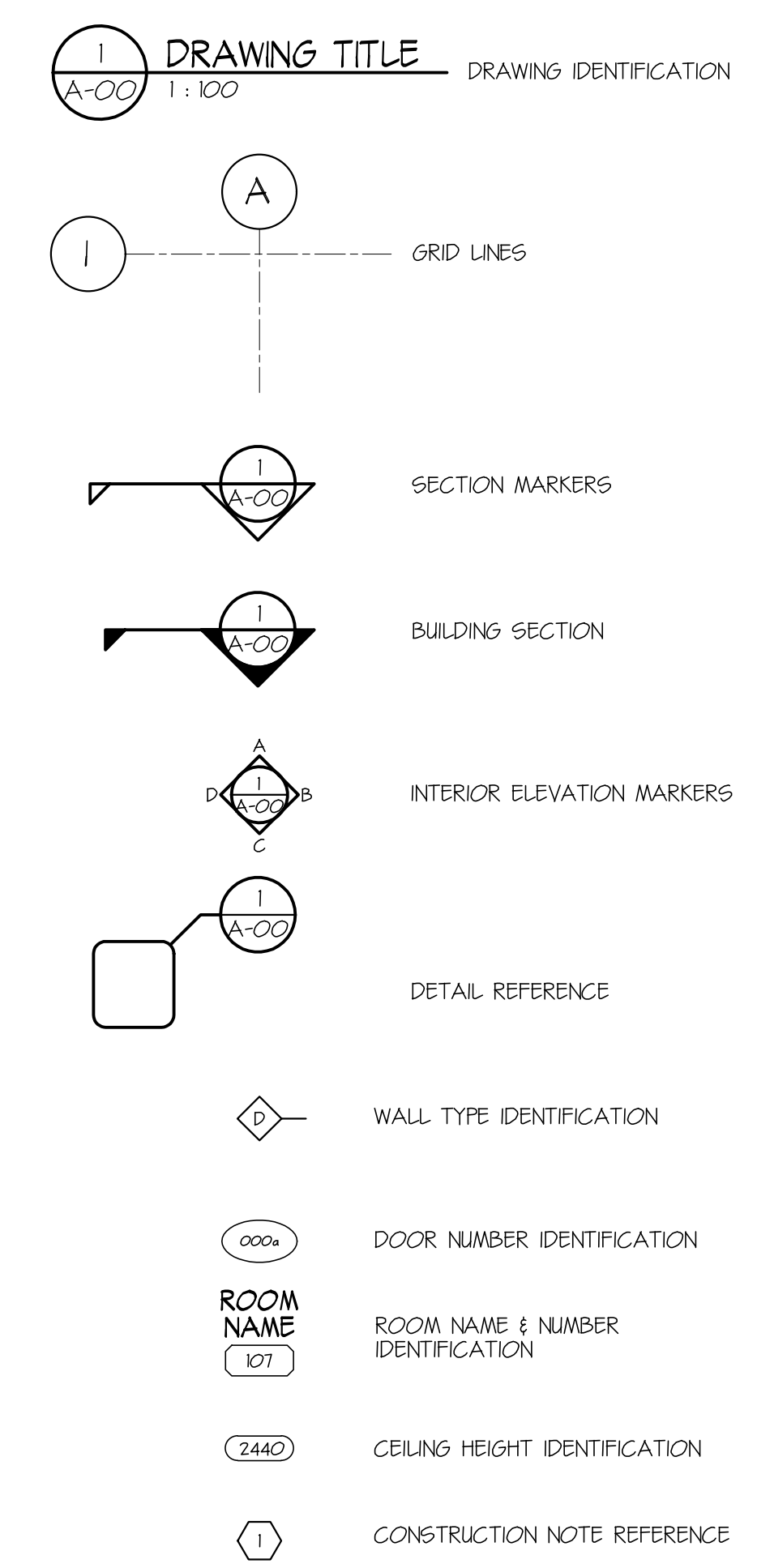
	NO. OF PERSONS EACH SEX	NO. OF WC REQUIRED	NO. OF WC PROVIDED	NO. OF UNIVERSAL WR
MALE	18	1	2	1
FEMALE	18	1	3	

-EXISTING BUILDING UPGRADE MECHANISM MODEL ACCORDING TO A-II.2.1.2, FLOW CHART N° 1 (REHABILITATION, NO CHANGE IN MAJOR OCCUPANCY) MINOR RENOVATION.
-UPGRADE LEVEL - F1, S2, N1, A2, E2.

ARCHITECTURAL BUILDING ENVELOPE DESIGN (ENERGY)
VANCOUVER BUILDING BYLAW 2014 ENVELOPE DESIGN N/A (NO ENVELOPE WORK)



ARCHITECTURAL SYMBOLS



WALL TYPES LEGEND

W1		TYPICAL INTERIOR WALL (STC 47) - 16 GYPSUM WALL BOARD - 92 STEEL STUDS AT 400mm O.C. C/W ACOUSTIC BATT INSULATION - 16 GYPSUM WALL BOARD
W2		TYPICAL INTERIOR PLUMBING WALL (STC 50) - 16mm GYPSUM WALL BOARD - 152 STEEL STUDS AT 400mm O.C. C/W ACOUSTIC BATT INSULATION - 16mm GYPSUM WALL BOARD
W3		TYPICAL INTERIOR PARTITION TO MATCH EXISTING - 12mm GYPSUM WALL BOARD - 64mm STEEL STUD AT 400mm O.C. C/W ACOUSTIC BATT INSULATION - 12mm GYPSUM WALL BOARD
W4A		TYPICAL NEW GLAZED PARTITION - 12mm THICK CLEAR TEMPERED GLASS - SECURED TO T-BAR AND FLOORING WITH CLEAR ANODIZED U-CHANNELS MIN SIZE 4mm AT TOP AND BOTTOM. - GLAZING TO GLAZING VERTICAL BUTT JOINT AND GLAZING TO WALL VERTICAL JOINT ALL BY CLEAR STRUCTURAL SILICONE SEALANT
W4B		TYPICAL REUSED GLAZED PARTITION - REUSED EXISTING GLAZED PANEL SECURED TO T-BAR AND FLOORING WITH NEW CLEAR ANODIZED U-CHANNELS MIN SIZE 4mm AT TOP AND BOTTOM. - GLAZING TO GLAZING VERTICAL BUTT JOINT AND GLAZING TO WALL VERTICAL JOINT ALL BY NEW CLEAR STRUCTURAL SILICONE SEALANT
W5		TYPICAL FURRING WALL - EXISTING WALL - GAP TO SUIT - 64 STEEL STUDS AT 400mm O.C. - 16mm GYPSUM WALL BOARD

2	08/08/18	ISSUED FOR BUILDING PERMIT & TENDER
1	27/07/18	ISSUED FOR CLIENTS
No.	DATE (dd/mm/yy)	REVISION

PROJECT TITLE
TENANT FIT-OUT FOR ECHELON CENTRE
6F-575 8TH AVE WEST VANCOUVER

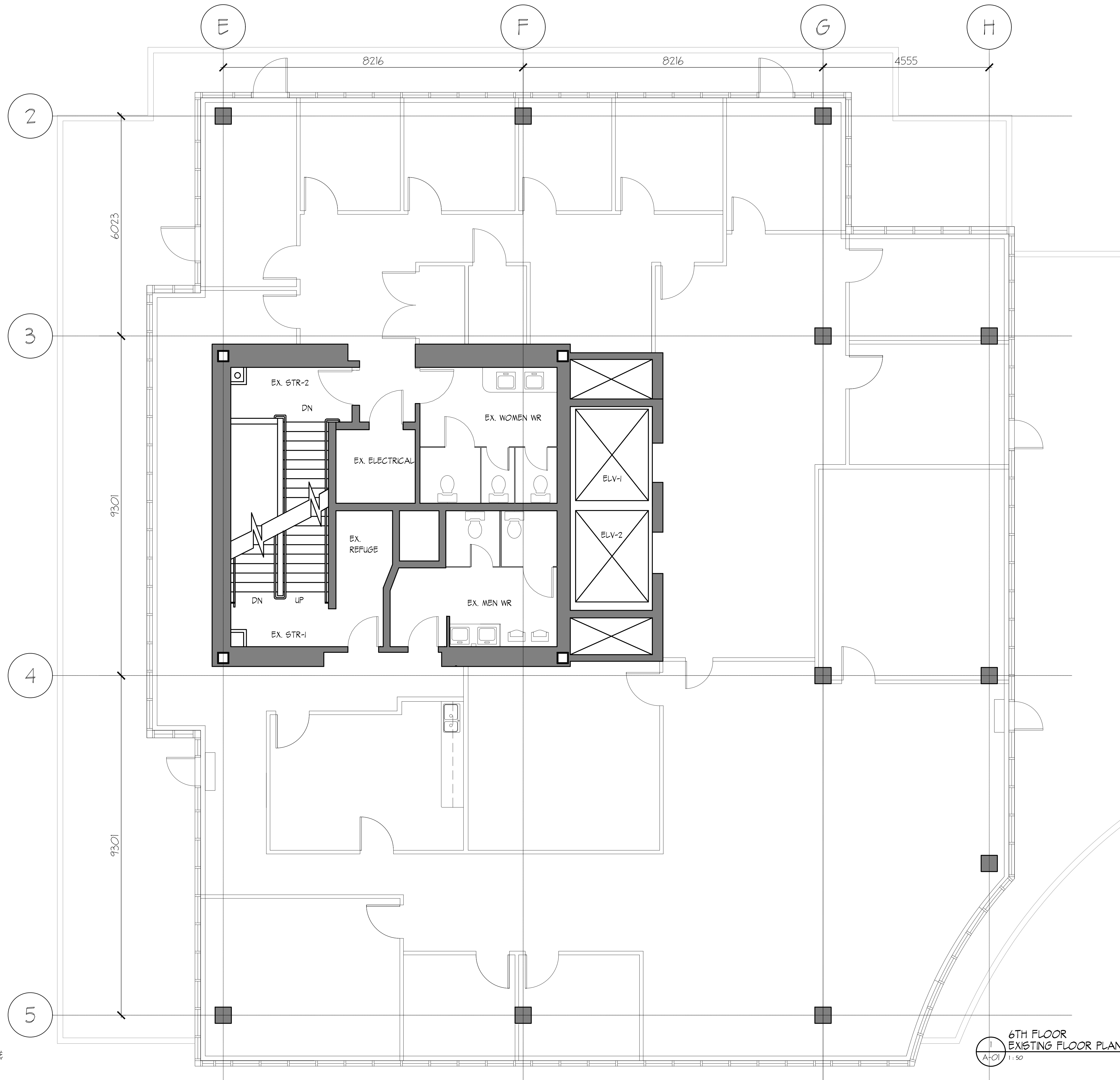
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SHEET TITLE
6TH FLOOR COVER SHEET

PROJECT No.	38017
DRAWN	PM
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SCALE	1:100 - U.N.O.
DATE	27/07/2018
PRINTED	27/07/2018

REVISION No. 2
A-00

CHERNOFF THOMPSON ARCHITECTS
110-1281 WEST GEORGIA, VANCOUVER, B.C. V6E 3J5
TELEPHONE (604) 669-9460 FAX. (604) 683-7684



No.	DATE	REVISION
2	08/08/18	ISSUED FOR BUILDING PERMIT & TENDER
1	27/07/18	ISSUED FOR CLIENTS REVIEW

PROJECT TITLE
TENANT FIT-OUT FOR ECHELON CENTRE
 6F-575 8TH AVE WEST VANCOUVER

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SHEET TITLE
6TH FLOOR PLAN EXISTING

PROJECT No. 38017
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 SCALE 1:100 - U.N.O.
 DATE 27/07/2018
 PRINTED 27/07/2018

REVISION No. 2
A-01

6TH FLOOR EXISTING FLOOR PLAN
 A-01 1:50

EXISTING FLOORING TO BE REMOVED & RECEIVE NEW FLOORING

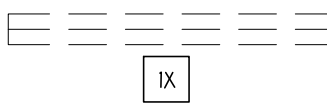
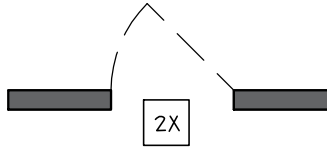
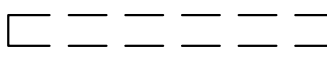
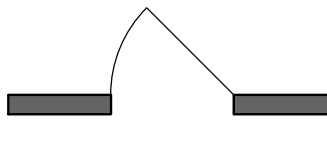

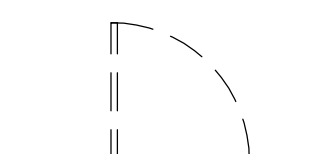
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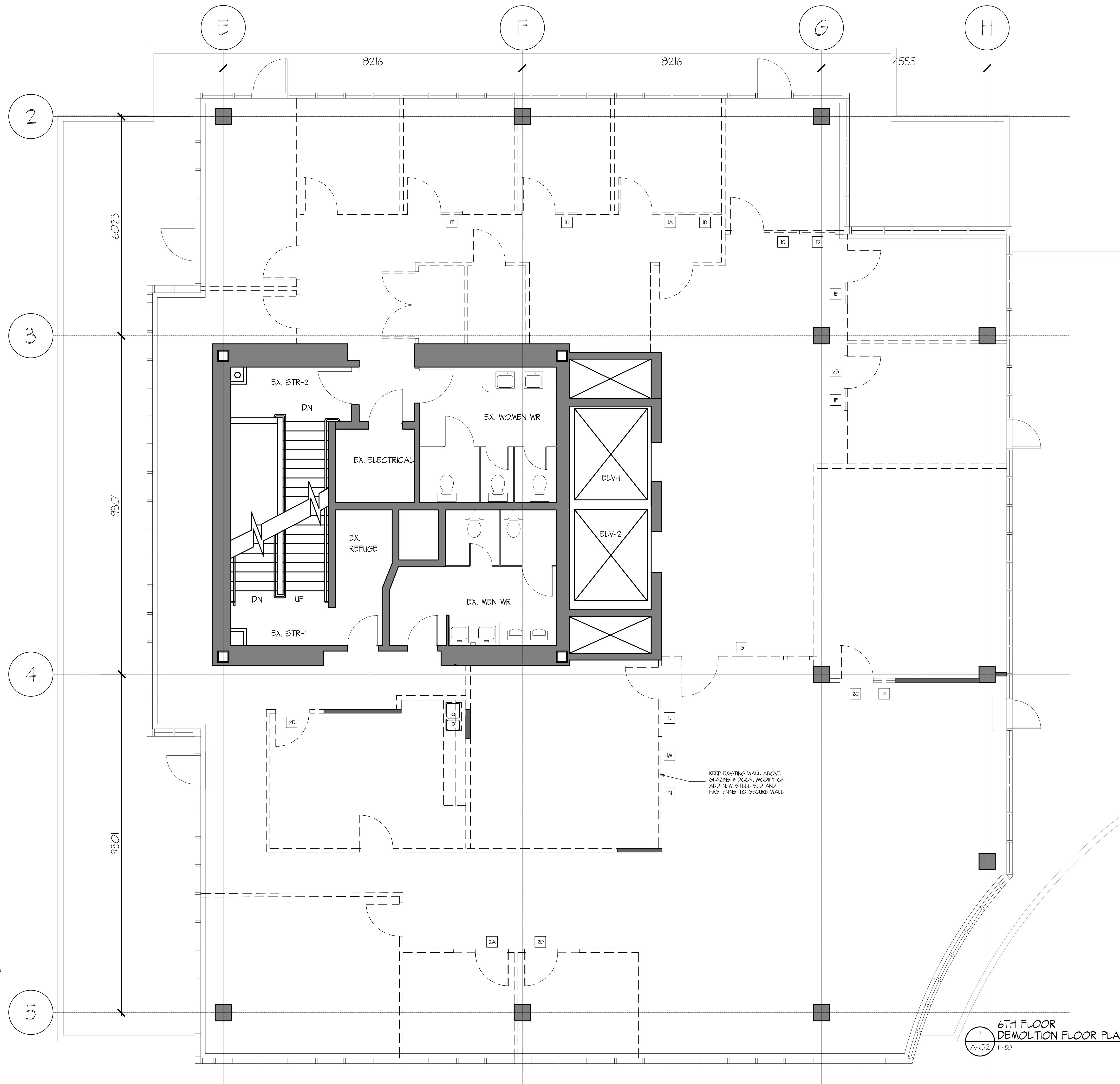
CHERNOFF THOMPSON ARCHITECTS

DEMOLITION NOTES

1. REMOVE ALL WALLS, DOORS & DOOR FRAMES, AND GLAZING EXCEPT AS SHOWN FOR REUSE
2. REMOVE ALL FLOORING
3. REMOVE ALL EXISTING WALL BASE FOR ALL WALLS TO STAY, INCLUDING THE WALLS AROUND THE BUILDING CORE
4. TEMPORARILY REMOVE ALL CEILING TILES AS NEEDED FOR INSTALLATION/MODIFICATION OF NEW SERVICES IN CEILING SPACE
5. DEMOLISH ALL MILLWORK & PLUMBING FIXTURES EXCEPT AS INDICATED AS REUSE (REFER MECH. DRAWING)

LEGEND

-  REMOVE EXISTING GLAZING CAREFULLY FOR REUSE. REMOVE ALL EXISTING GRAPHIC FILM AND CLEAN UP ALL CAULING (REFER TO NEW FLOOR PLAN FOR NEW LOCATION)
-  REMOVE EXISTING DOOR LEAF AND HARDWARE FOR REUSE (REFER TO NEW FLOOR PLAN FOR NEW LOCATION)
-  EXISTING WALL TO BE DEMOLISHED
-  EXISTING DOOR TO REMAIN
-  EXISTING WALL TO STAY
REMOVE EXISTING GWB AS NEEDED TO ACCESS EXISTING REUSED SERVICES OR INSTALL NEW SERVICES OR BLOCKING AS REQUIRED
-  EXISTING DOOR TO BE DEMOLISHED



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 6F-575 8TH AVE WEST VANCOUVER

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SHEET TITLE
6TH FLOOR PLAN DEMOLITION

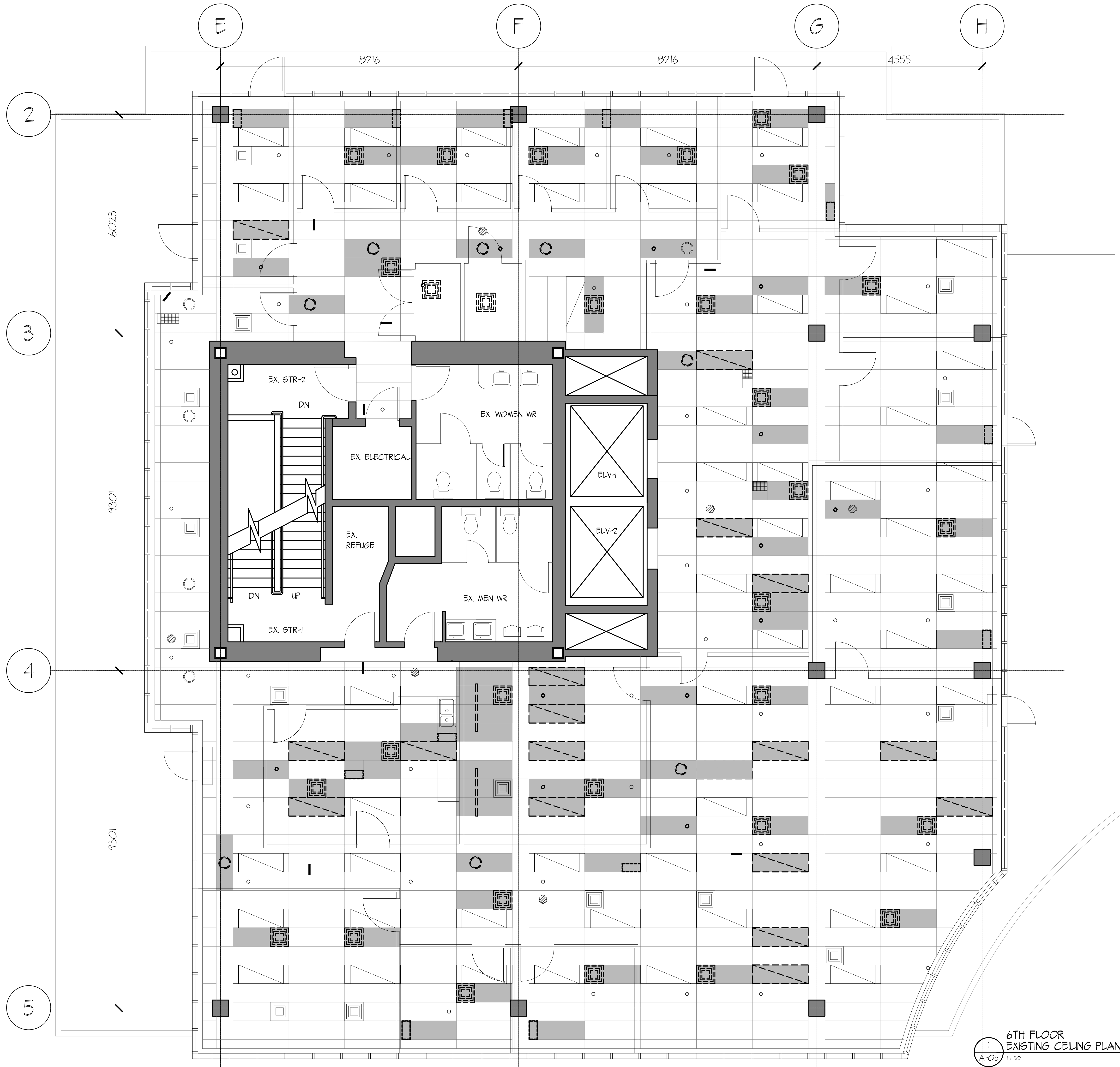
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 DATE 27/07/2018
 PRINTED 27/07/2018

REVISION No.
A-02

1
6TH FLOOR DEMOLITION FLOOR PLAN
 A-02 1:50

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CHERNOFF THOMPSON ARCHITECTS



CEILING DEMOLITION NOTES:

1. REPLACE ALL DAMAGED CEILING TILES RESULTING FROM CONSTRUCTION.
2. REPLACE ALL CEILING TILES AFFECTED BY REMOVAL OR RELOCATION OF EXISTING CEILING FIXTURES.
3. MODIFY EXISTING CEILING TILES TO SUIT NEW OR RELOCATED FIXTURE LOCATION (REFER ELEC AND MECH DRAWINGS).
4. ALL NEW OR REPLACEMENT TILES TO MATCH EXISTING.

EXISTING CEILING FIXTURE LEGEND:

- SPRINKLER
- POT LIGHT
- ▨ T-BAR LIGHT FIXTURE TO STAY
- CEILING DIFFUSER
- EXIT SIGN
- SPEAKER
- SPRINKLER TO BE REMOVED/RELOCATED
- POT LIGHT TO BE RELOCATED
- ▨ T-BAR LIGHT FIXTURE TO BE RELOCATED
- CEILING DIFFUSER TO BE REMOVED
- RETURN AIR GRILLE TO BE REMOVED
- RETURN AIR GRILLE TO BE REMOVED
- TRACK LIGHT TO BE REMOVED
- EXISTING CEILING TILE TO BE REMOVED & SWAPPED WITH NEW. REPLACE WITH NEW IF THERE IS NOT ENOUGH

2	02/08/18	ISSUED FOR BUILDING PERMIT & TENDER
1	27/07/18	ISSUED FOR CLIENTS REVIEW
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 6F-575 8TH AVE WEST VANCOUVER

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SHEET TITLE
6TH FLOOR REFLECTED CEILING (EXISTING)

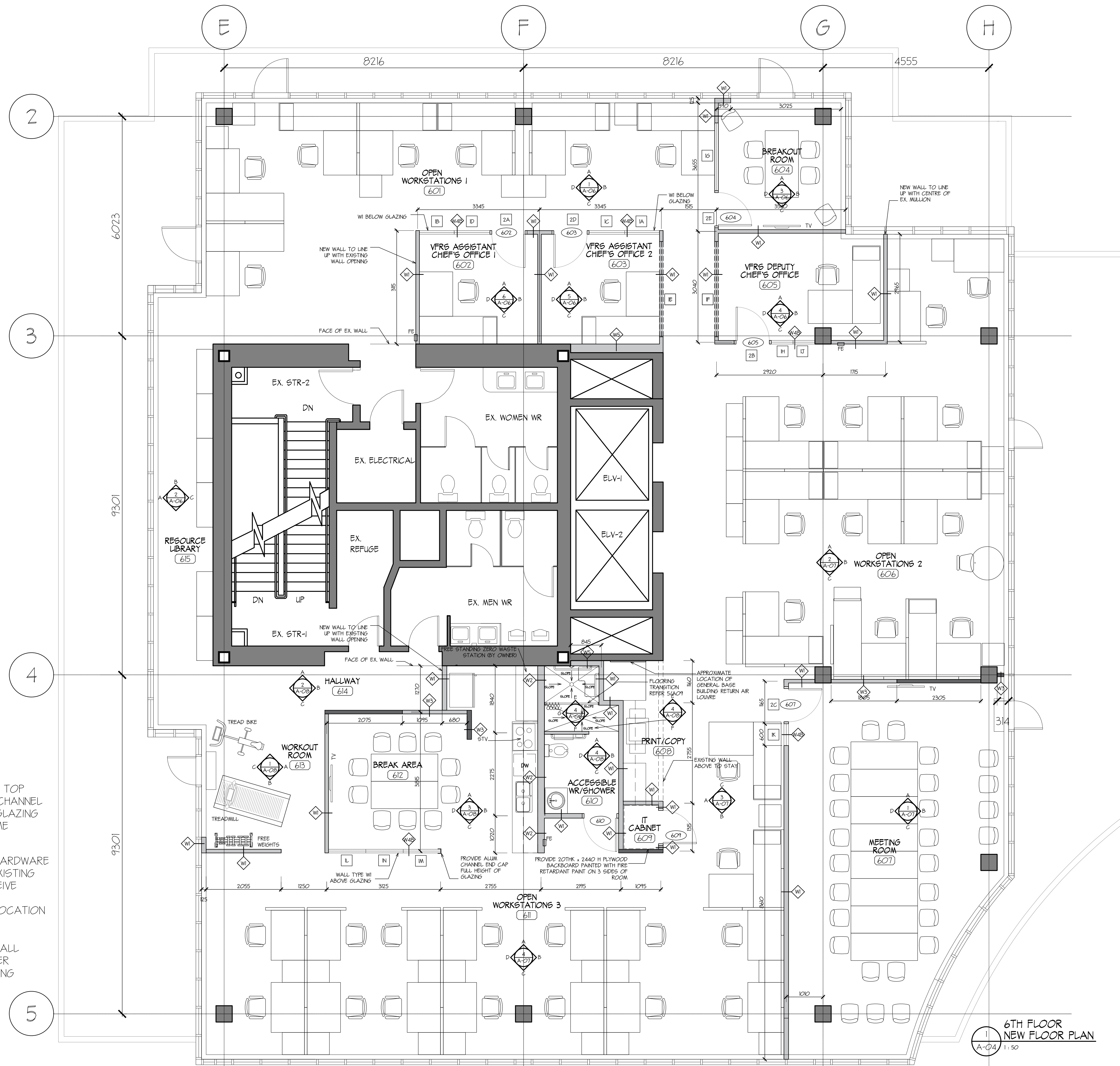
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REVISION No. 2
A-03

1 6TH FLOOR EXISTING CEILING PLAN
 A-03 1:50

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CONSTRUCTION NOTES

1. CONSTRUCT ALL NEW WALLS TO SECURE TO UNDERSIDE OF EXISTING T-BAR CEILING
2. ALL SELECTED RE-USED DOOR AND GLAZING, AFTER REMOVAL AND CLEANING, TO BE REVIEWED BY ARCHITECT PRIOR TO REUSE
3. PREP EXISTING FLOOR SLAB TO SUIT INSTALLATION OF NEW FLOORING
4. RE-PAINT ALL EXISTING WALLS AND DOORS TO STAY U.N.O.
5. REPAINT ALL EXISTING COLUMNS AND PROVIDE NEW RUBBER BASE ON ALL 4 SIDES OF ALL COLUMNS

LEGEND

- 1X REUSE EXISTING GLAZING WITH NEW TOP AND BOTTOM ALUMINIUM GLAZING CHANNEL (REFER DEMOLITION PLAN FOR EX. GLAZING LOCATION THAT INDICATE THE SAME LEGEND)
- 2X REUSE EXISTING DOOR LEAF AND HARDWARE WITH NEW DOOR FRAME TO SUIT EXISTING DOOR. PREP DOOR FRAME TO RECEIVE EXISTING REUSE HARDWARE (REFER DEMOLITION PLAN FOR EX. DOOR LOCATION THAT INDICATE THE SAME LEGEND)
- 3 EXISTING WALL TO BE REUSED. INSTALL NEW GWB TO MATCH EXISTING AFTER INSTALLATION OF SERVICES/BLOCKING
- 4 NEW WALL

No.	DATE	REVISION
2	08/08/18	ISSUED FOR BUILDING PERMIT & TENDER
1	27/07/18	ISSUED FOR CLIENT'S REVIEW

PROJECT TITLE
TENANT FIT-OUT FOR ECHELON CENTRE
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SHEET TITLE
6TH FLOOR FLOOR PLAN (NEW)

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DATE	27/07/2018
PRINTED	27/07/2018

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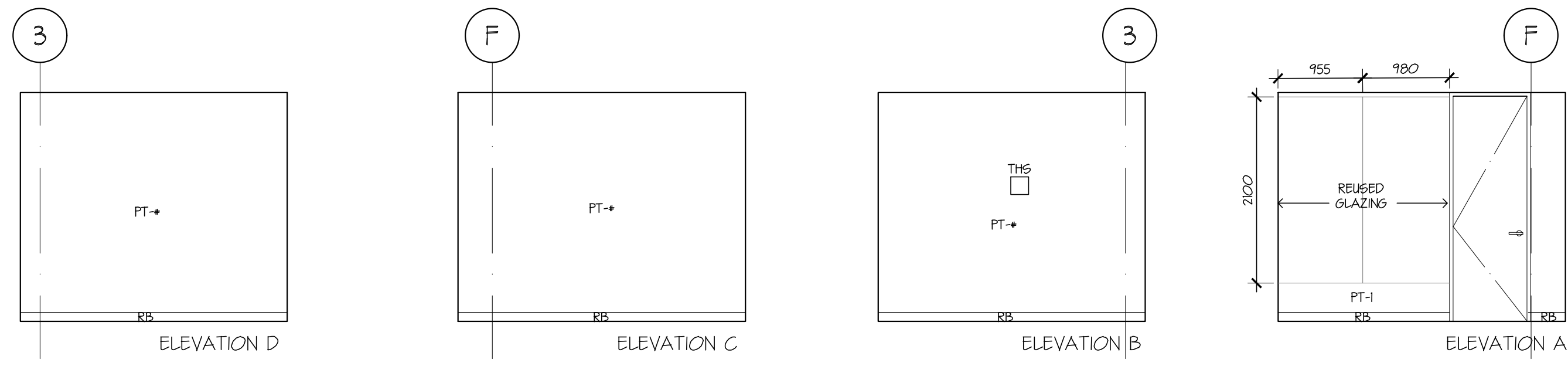
A-04

6TH FLOOR NEW FLOOR PLAN
 1:50
 A-04

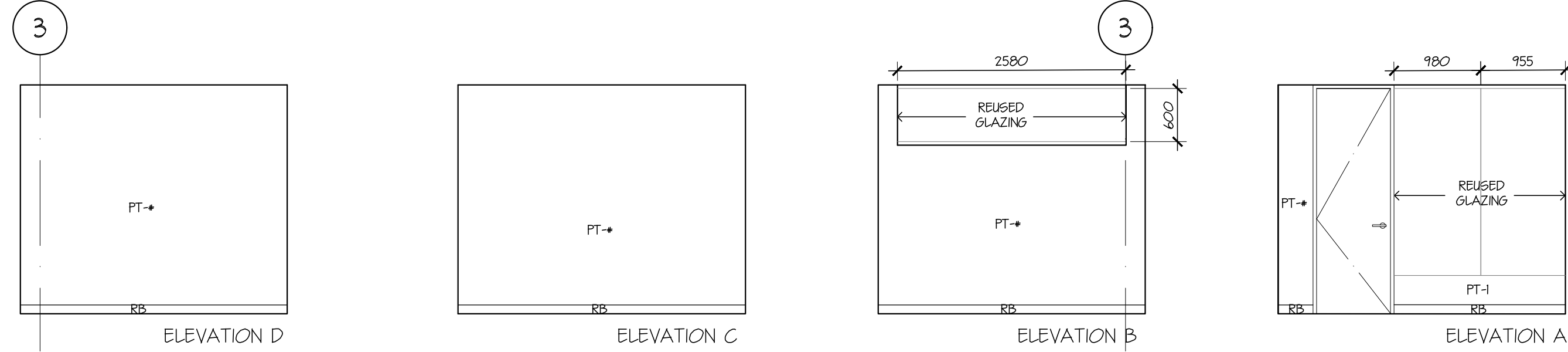
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CHERNOFF THOMPSON ARCHITECTS

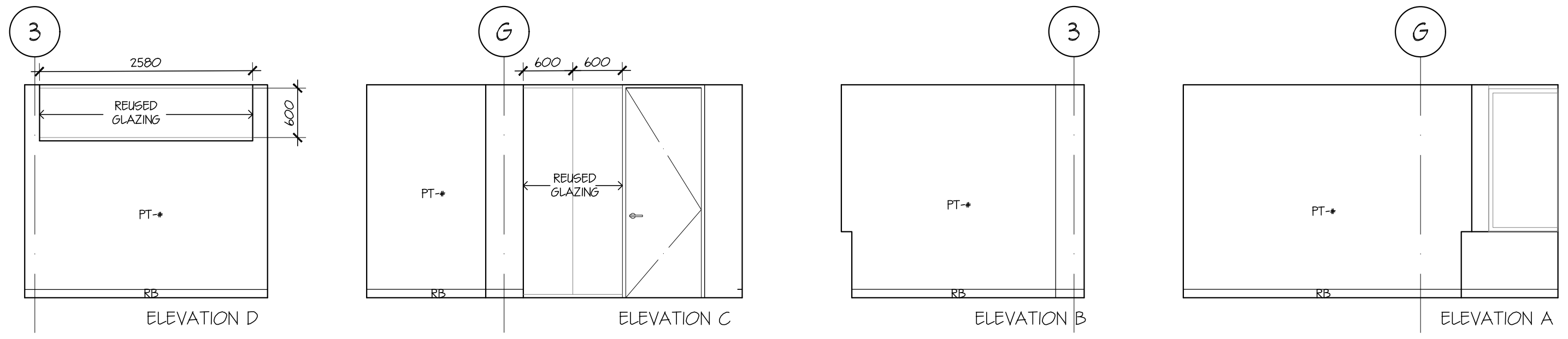
- KEY ABBREVIATIONS:**
- AP PAINTED EXISTING ACCESS PANEL
 - DO DATA OUTLET
 - DW DISHWASHER (SUPPLIED BY OWNER & INSTALLED BY CONTRACTOR)
 - EB EPOXY INTEGRAL COVERED BASE
 - EXS EXIT SIGN (REFER ELEC.)
 - EW EPOXY WALL COATING
 - FE FIRE EXTINGUISHER
 - FR FRIDGE (SUPPLIED & INSTALLED BY OWNER)
 - FSG FOLDING SHOWER SEAT
 - GB GRAB BAR
 - GF DIGITAL PRINTED SELF-ADHESIVE GRAPHIC FILM ON PAINTED WALL
 - GL GLAZING
 - GWB GYPSUM WALL BOARD
 - HK COAT HOOK
 - KEH KITCHEN EXHAUST HOOD (SUPPLIED AND INSTALLED BY CONTRACTOR)
 - KP KICKPLATE
 - LS LIGHT SWITCH (REFER ELEC.)
 - MR MIRROR
 - MW MICROWAVE (SUPPLIED & INSTALLED BY OWNER)
 - ND SANITARY NAPKIN DISPOSAL
 - PL PLASTIC LAMINATE (REFER TO SPEC)
 - PR POWER RECEPTACLE (REFER ELEC.)
 - PR-C PRINTER/COPPER (SUPPLIED & INSTALLED BY OWNER)
 - PT→ PAINTED (COLOR REFER FINISHES PLAN)
 - PTDD PAPER TOWEL DISPENSER AND DISPOSAL
 - RB RUBBER BASE
 - SC SHOWER CURTAIN AND SHOWER ROD
 - SD SOAP DISPENSER
 - SS SOLID SURFACING (REFER TO SPEC)
 - SSL STAINLESS STEEL
 - ST STROBE (REFER ELEC.)
 - STV STOVE (SUPPLIED BY OWNER & INSTALLED BY CONTRACTOR)
 - THS THERMOSTAT / TEMPERATURE SENSOR (REFER MECH)
 - TTD TOILET TISSUE DISPENSER
 - TV TV MONITOR (SUPPLIED BY OWNER & INSTALLED BY CONTRACTOR)
 - WS WRITABLE / MAGNETIC SURFACE



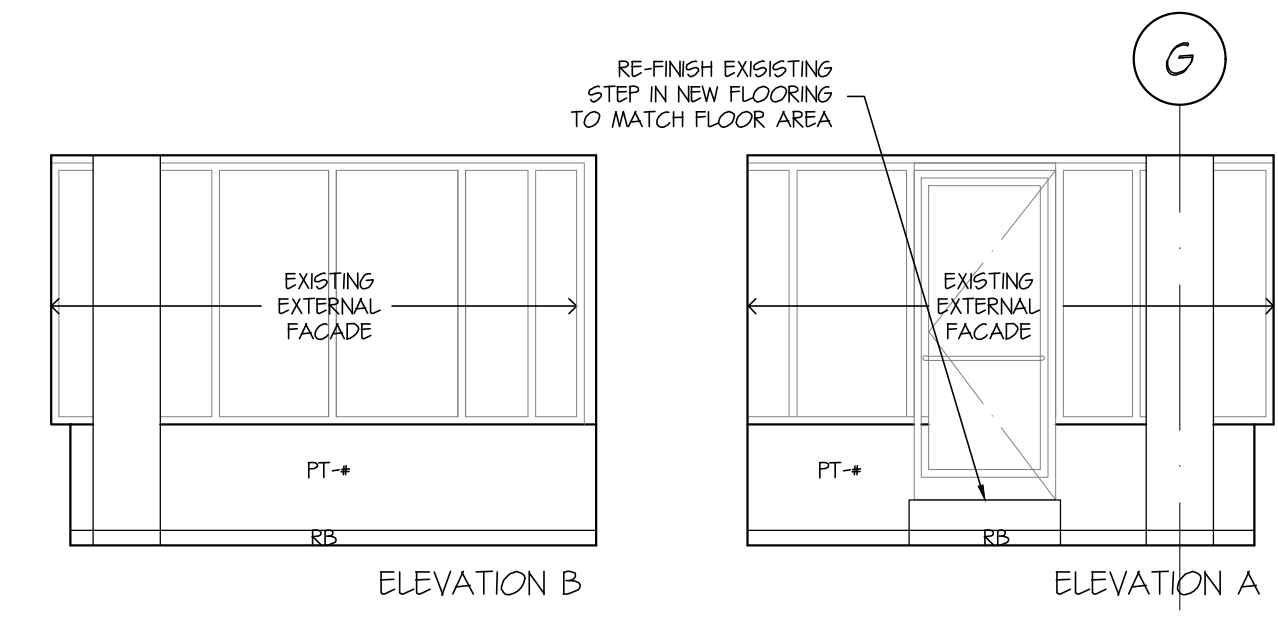
6 INTERIOR ELEVATION - VFRS ASSISTANT CHIEF'S OFFICE 1
A-06 1:50



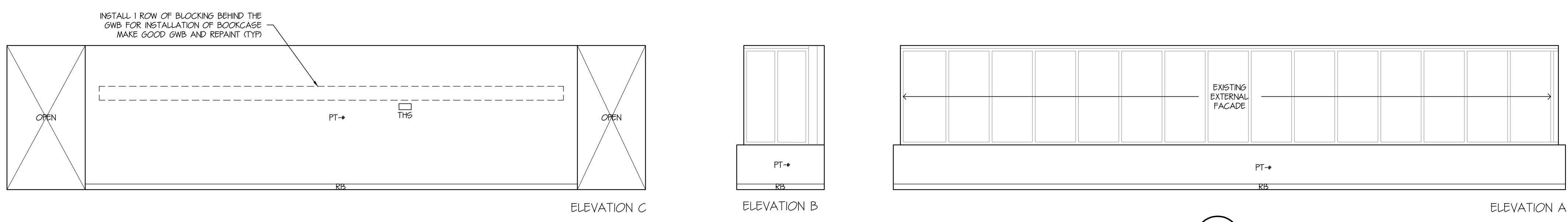
5 INTERIOR ELEVATION - VFRS ASSISTANT CHIEF'S OFFICE 2
A-06 1:50



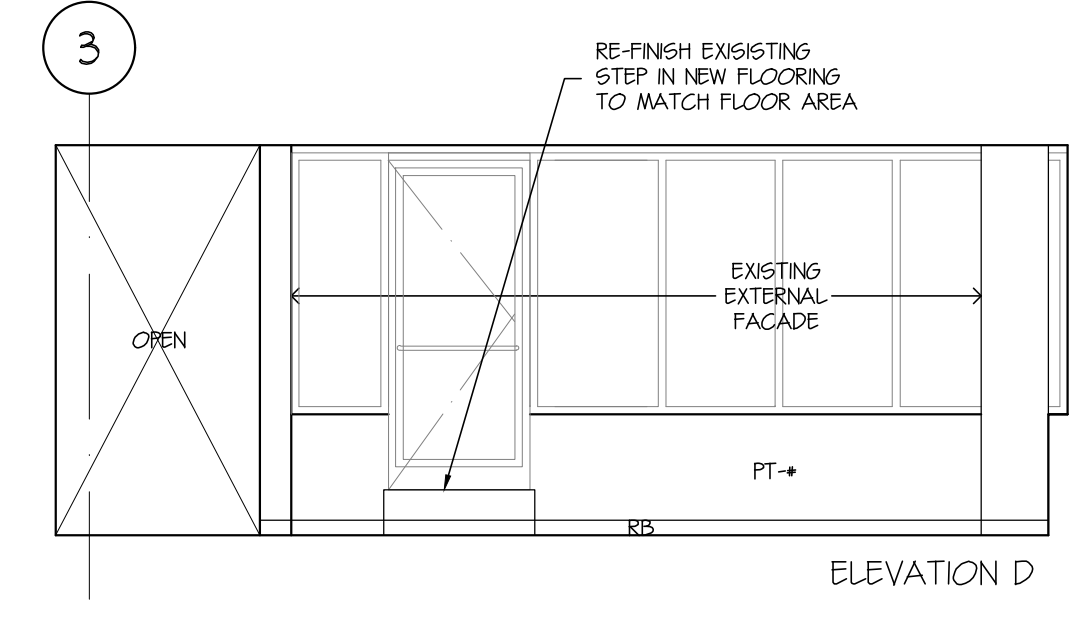
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A-06 1:50



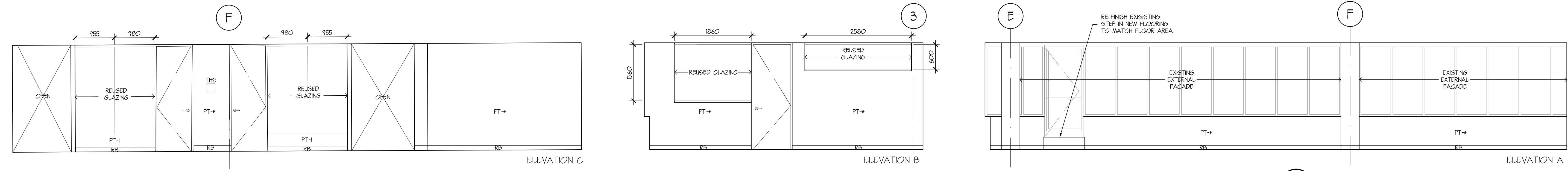
3 INTERIOR ELEVATION - BREAKOUT ROOM
A-06 1:50



2 INTERIOR ELEVATION - RESOURCE LIBRARY
A-06 1:50



3 INTERIOR ELEVATION - OPEN WORKSTATIONS
A-06 1:50



1 INTERIOR ELEVATION - OPEN WORKSTATIONS
A-06 1:50

No.	DATE	REVISION
2	08/08/18	ISSUED FOR BUILDING PERMIT & TENDER
1	27/07/18	ISSUED FOR CLIENTS REVIEW

PROJECT TITLE
TENANT FIT-OUT FOR ECHELON CENTRE
6F-575 8TH AVE WEST VANCOUVER

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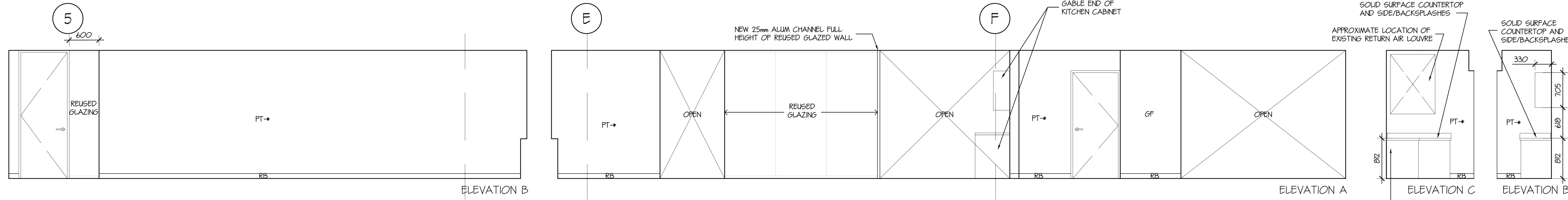
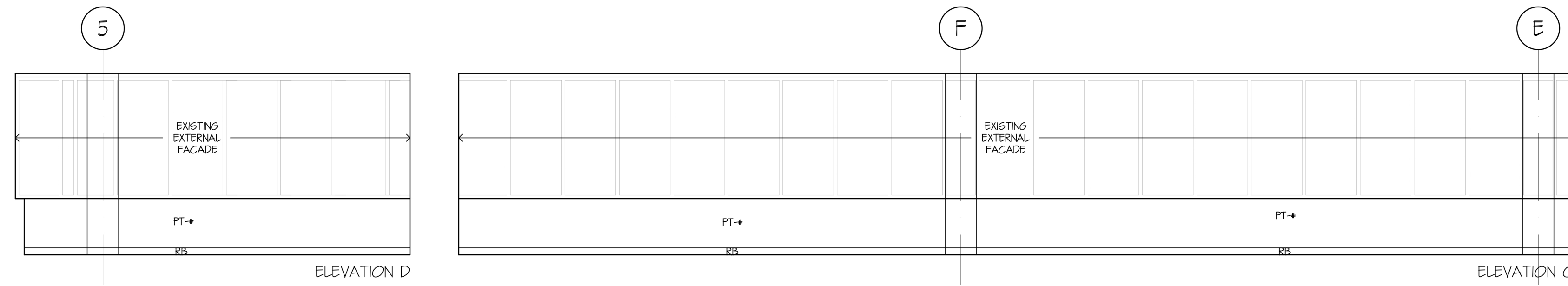
SHEET TITLE
6TH FLOOR INTERIOR ELEVATIONS

PROJECT No. 38017
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SCALE 1:50 - U.N.O.
DATE 27/07/2018
PRINTED 27/07/2018

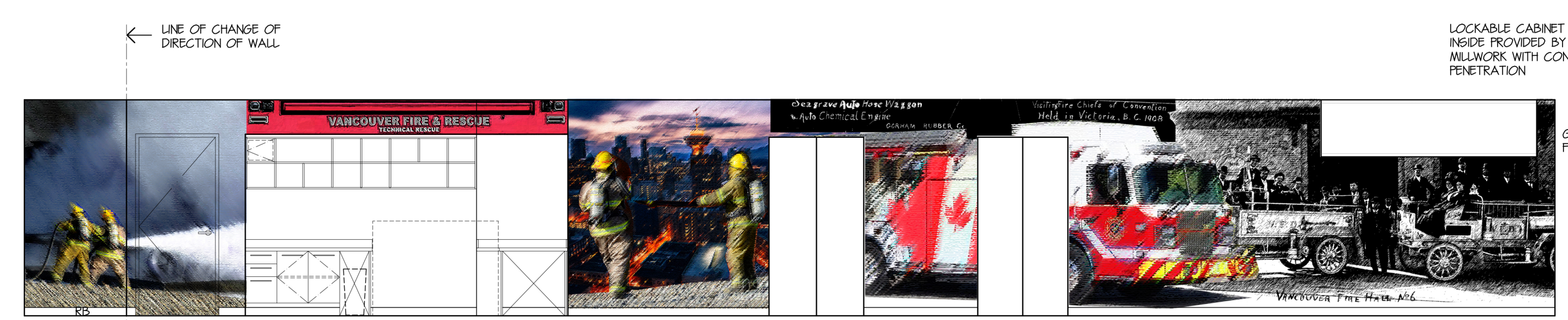
REVISION No. 2
A-06

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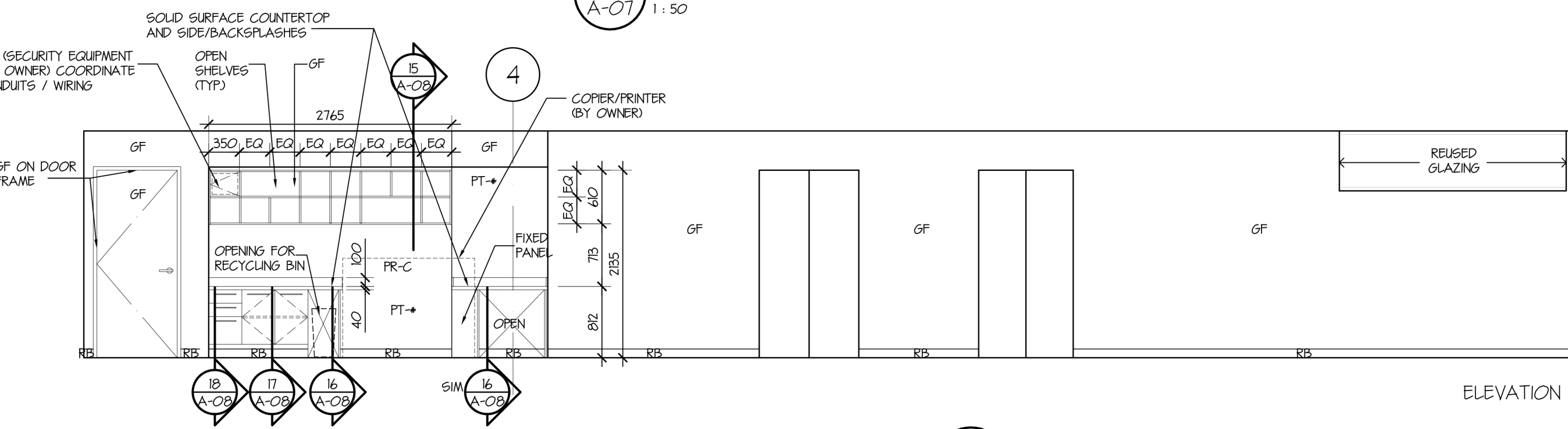
- KEY ABBREVIATIONS:**
- AP PAINTED EXISTING ACCESS PANEL
 - DO DATA OUTLET
 - DW DISHWASHER (SUPPLIED BY OWNER & INSTALLED BY CONTRACTOR)
 - EB EPOXY INTEGRAL COVERED BASE
 - EXS EXIT SIGN (REFER ELEC.)
 - EW EPOXY WALL COATING
 - FE FIRE EXTINGUISHER
 - FR FRIDGE (SUPPLIED & INSTALLED BY OWNER)
 - FSG FOLDING SHOWER SEAT
 - GB GRAB BAR
 - GF DIGITAL PRINTED SELF-ADHESIVE GRAPHIC FILM ON PAINTED WALL
 - GL GLAZING
 - GWB GYPSUM WALL BOARD
 - HK COAT HOOK
 - KEH KITCHEN EXHAUST HOOD (SUPPLIED AND INSTALLED BY CONTRACTOR)
 - KP KICKPLATE
 - LS LIGHT SWITCH (REFER ELEC.)
 - MR MIRROR
 - MW MICROWAVE (SUPPLIED & INSTALLED BY OWNER)
 - ND SANTARY NAPKIN DISPOSAL
 - PL PLASTIC LAMINATE (REFER TO SPEC)
 - PR POWER RECEPTACLE (REFER ELEC.)
 - PR-C PRINTER/COPPER (SUPPLIED & INSTALLED BY OWNER)
 - PT- PAINTED (COLOR REFER FINISHES PLAN)
 - PTDD PAPER TOWEL DISPENSER AND DISPOSAL
 - RB RUBBER BASE
 - SC SHOWER CURTAIN AND SHOWER ROD
 - SD SOAP DISPENSER
 - SS SOLID SURFACING (REFER TO SPEC)
 - SSL STAINLESS STEEL
 - ST STROBE (REFER ELEC.)
 - STV STOVE (SUPPLIED BY OWNER & INSTALLED BY CONTRACTOR)
 - THS THERMOSTAT / TEMPERATURE SENSOR (REFER MECH)
 - TTD TOILET TISSUE DISPENSER
 - TV TV MONITOR (SUPPLIED BY OWNER & INSTALLED BY CONTRACTOR)
 - WS WRITABLE / MAGNETIC SURFACE



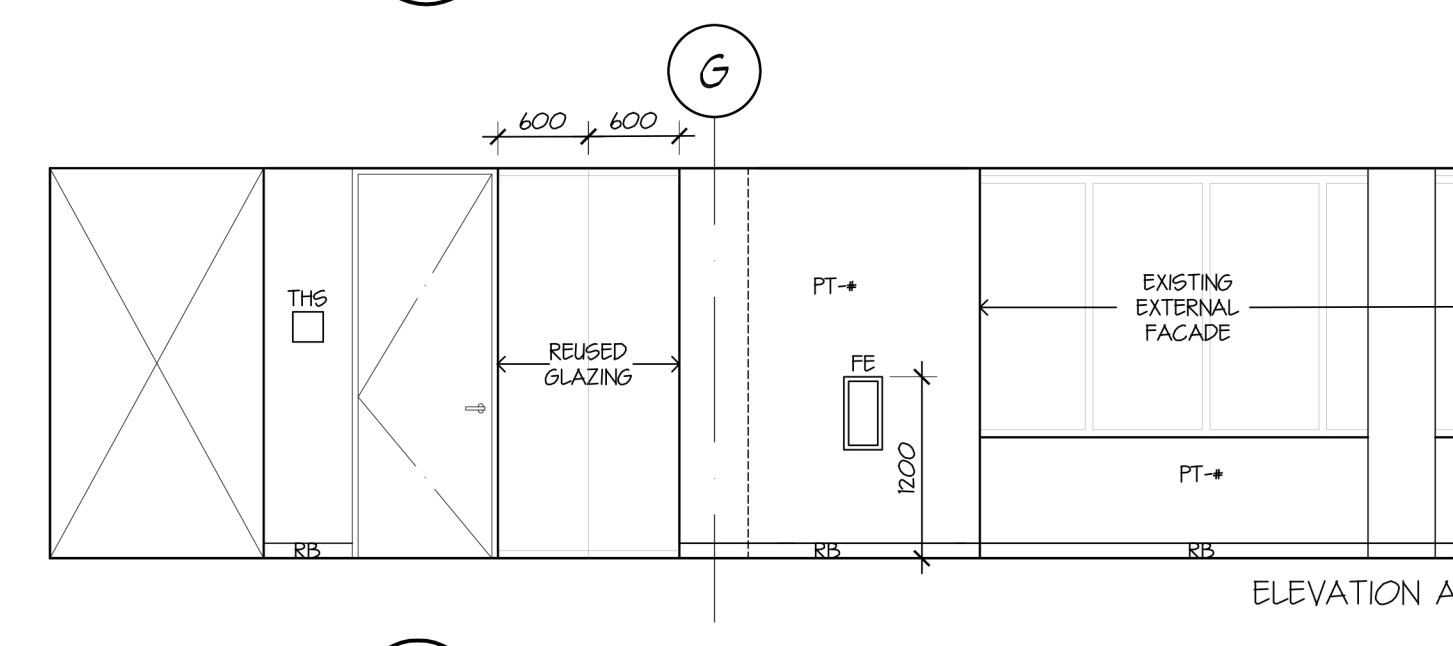
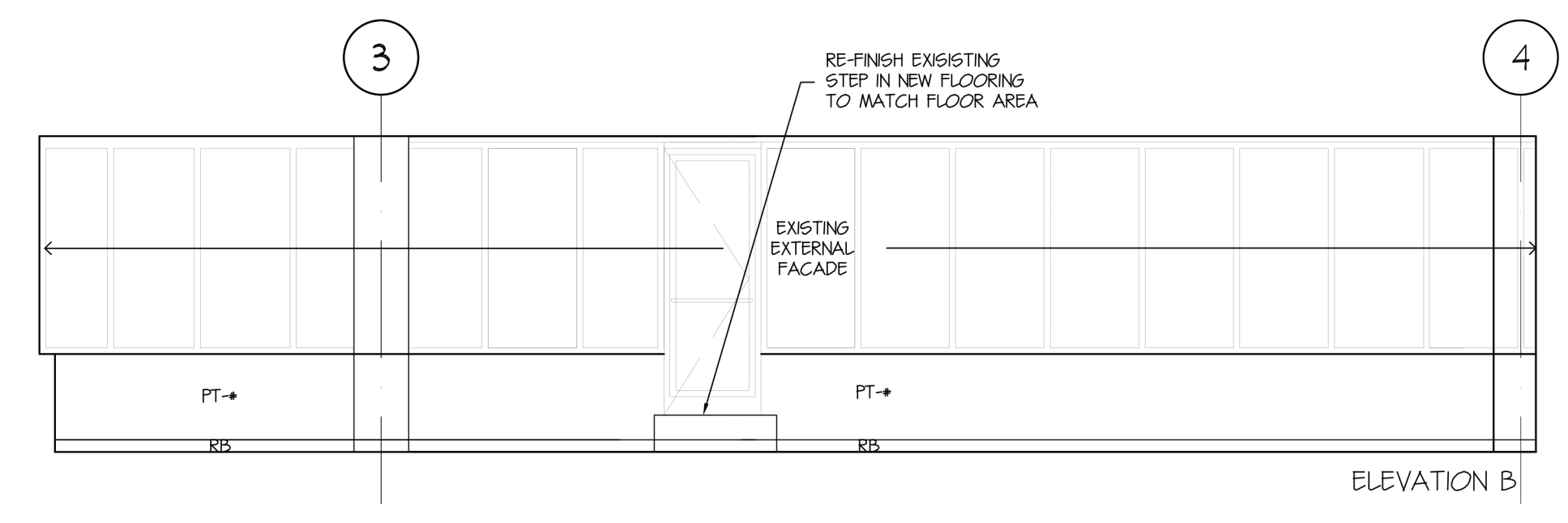
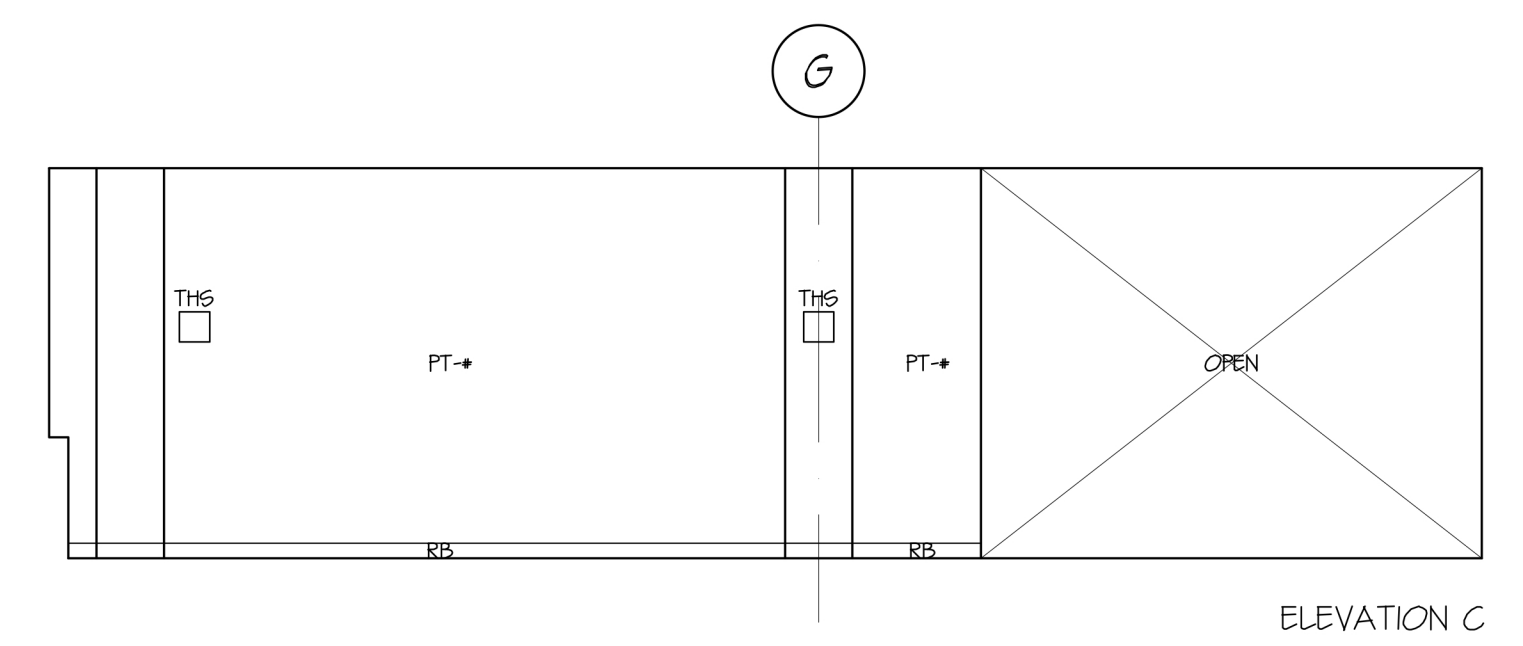
4 INTERIOR ELEVATION - OPEN WORKSTATIONS 3
A-07 1:50



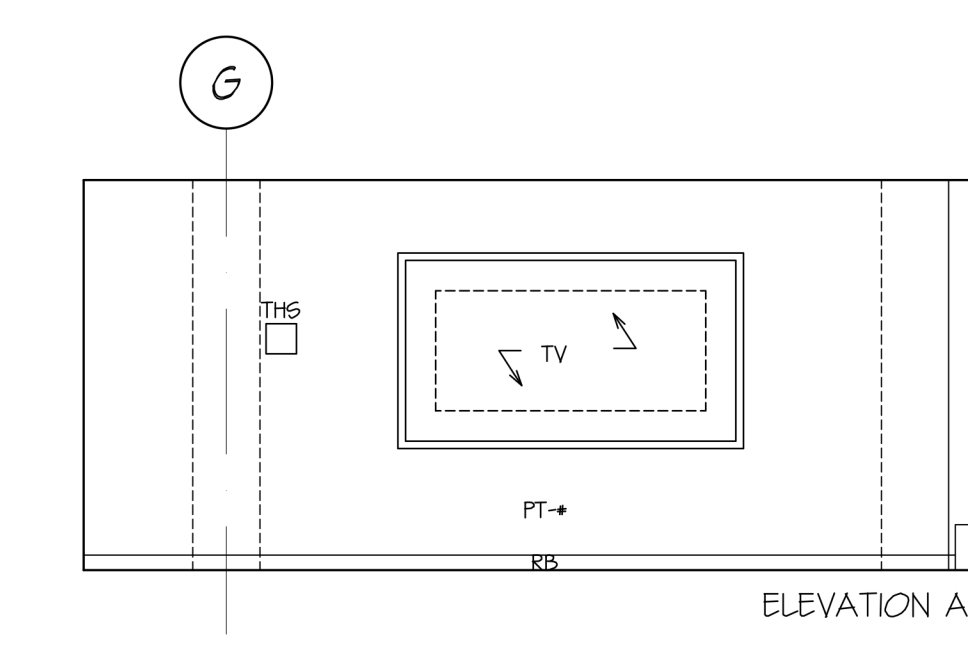
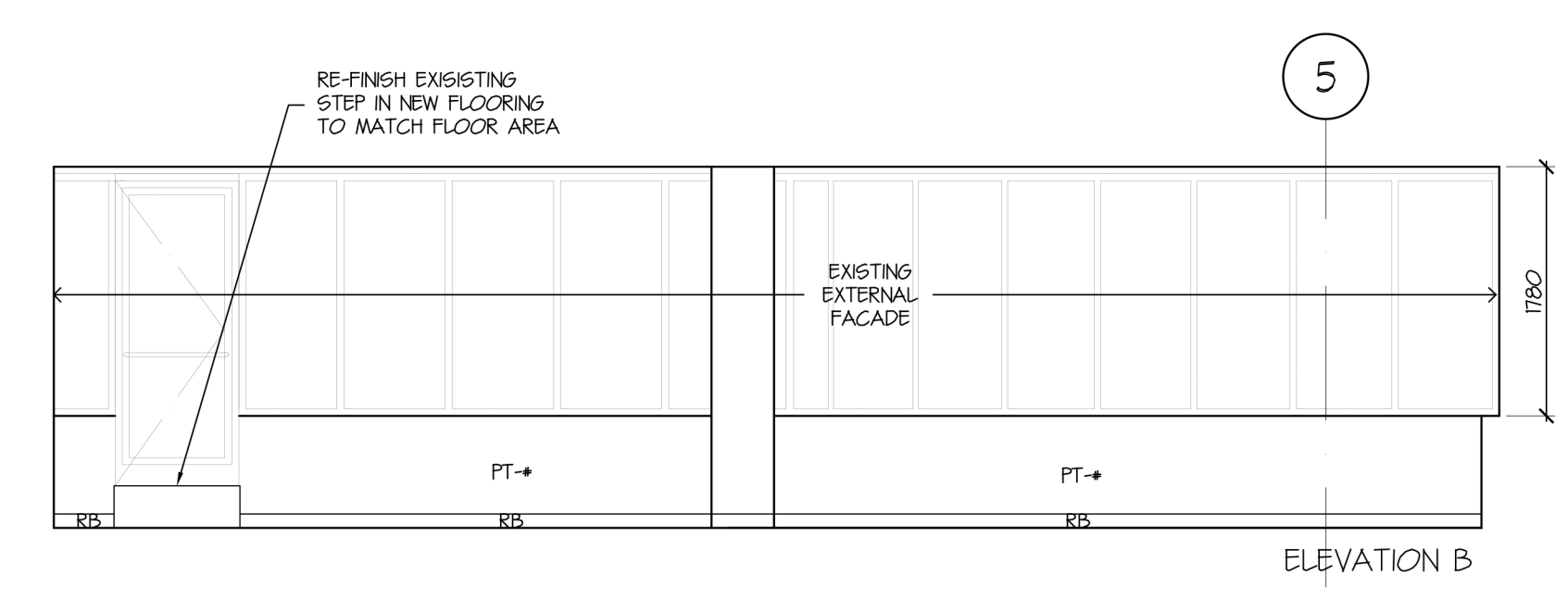
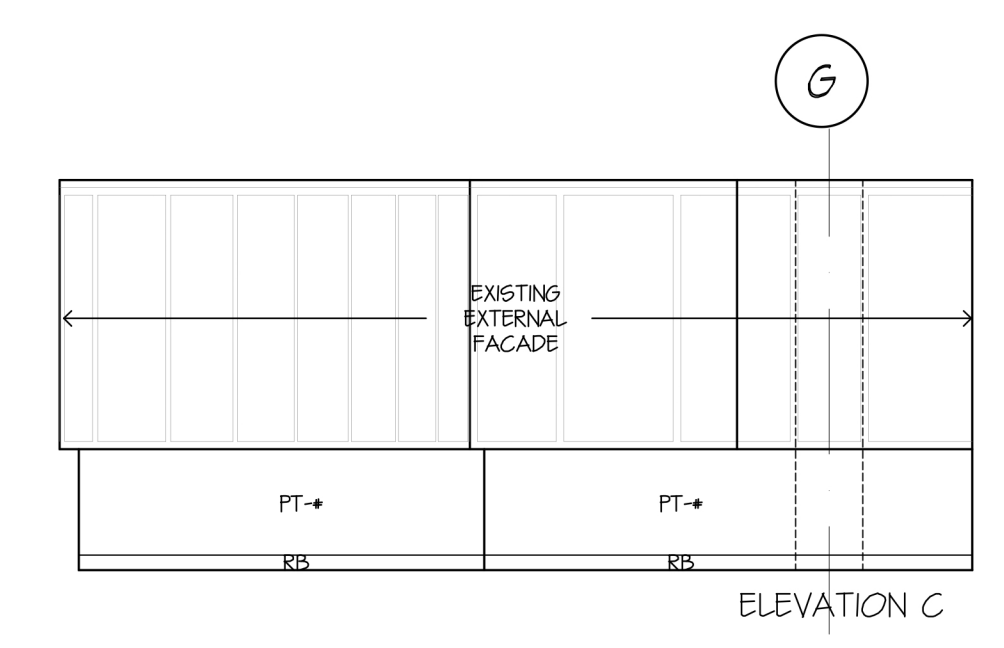
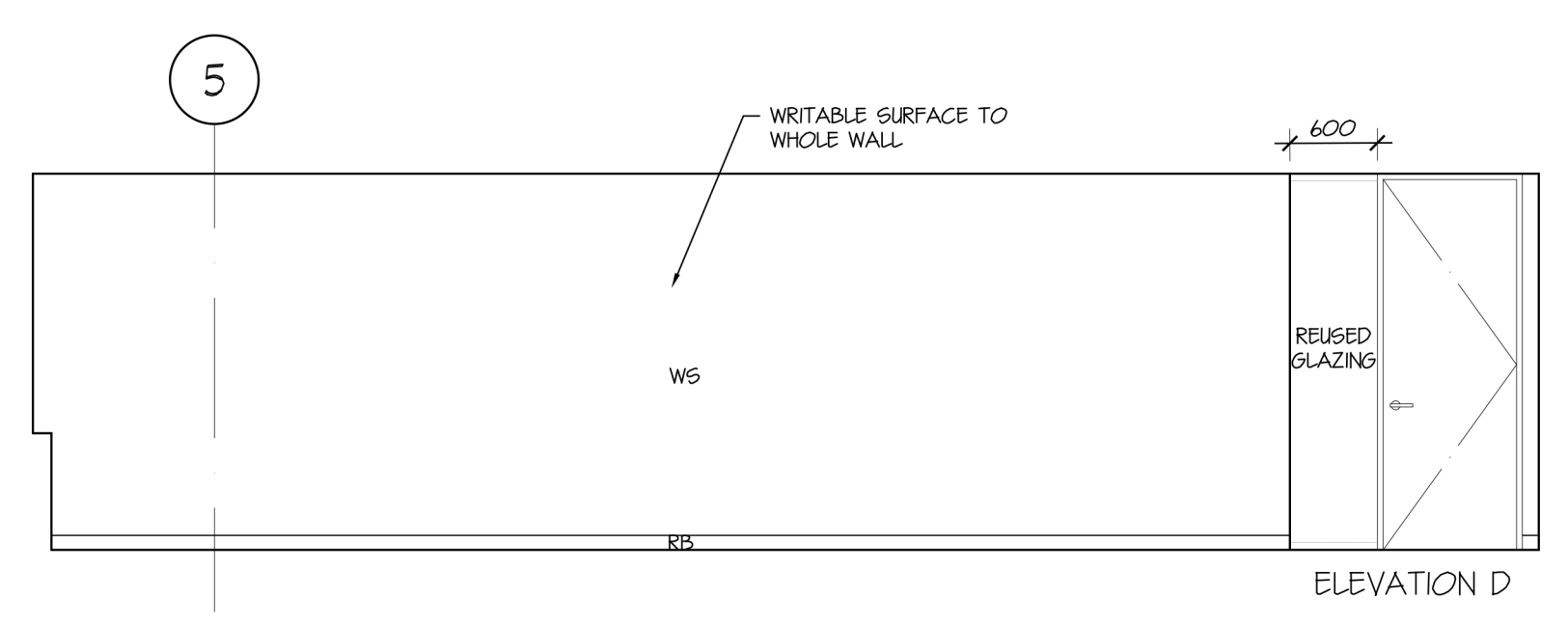
ELEVATION A (GRAPHICS)



3 INTERIOR ELEVATION - COPY / PRINT STATION
A-07 1:50



2 INTERIOR ELEVATION - OPEN WORKSTATIONS 2
A-07 1:50



1 INTERIOR ELEVATION - MEETING ROOM
A-07 1:50

No.	DATE	REVISION
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PROJECT TITLE
TENANT FIT-OUT FOR ECHELON CENTRE
6F-575 8TH AVE WEST VANCOUVER

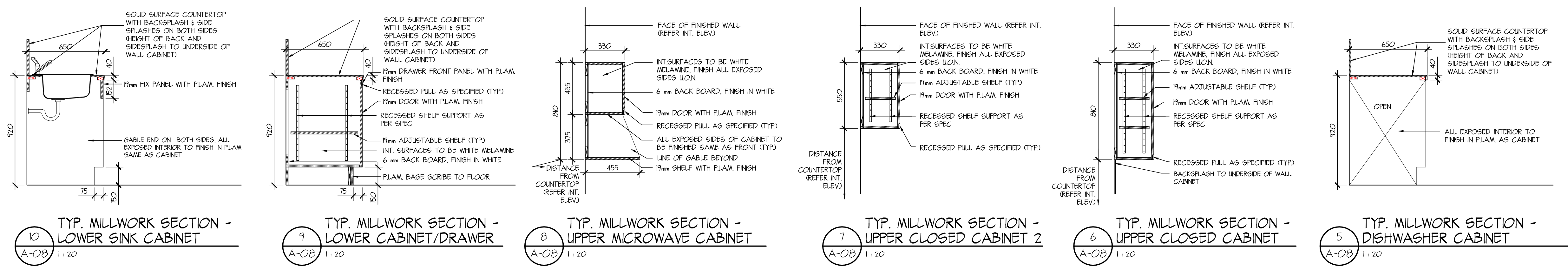
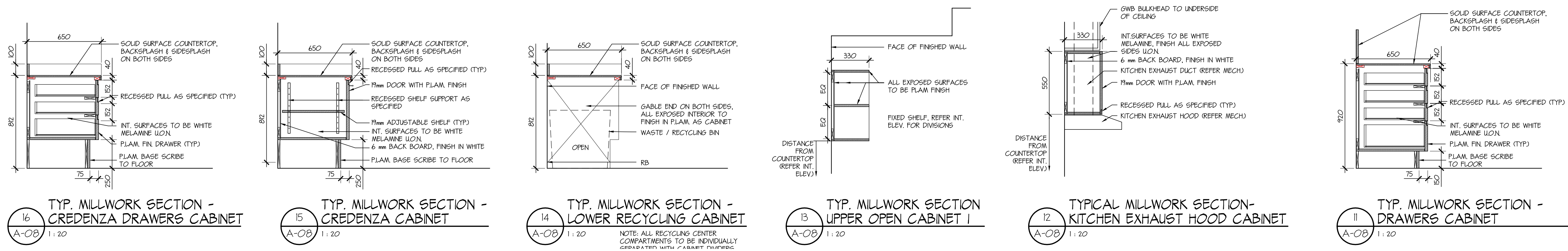
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SHEET TITLE
6TH FLOOR INTERIOR ELEVATIONS

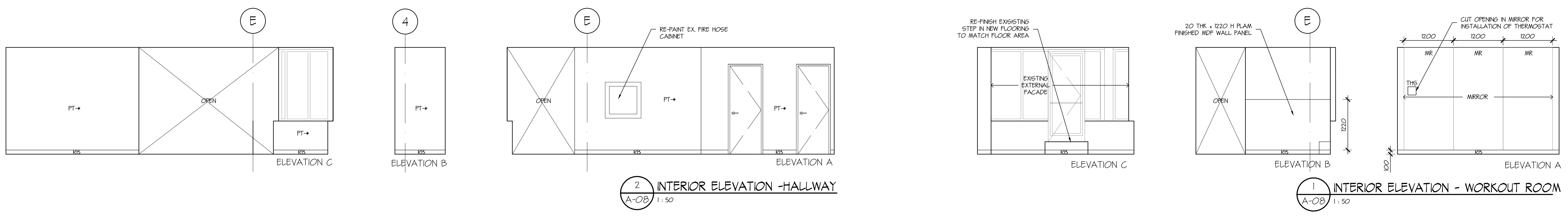
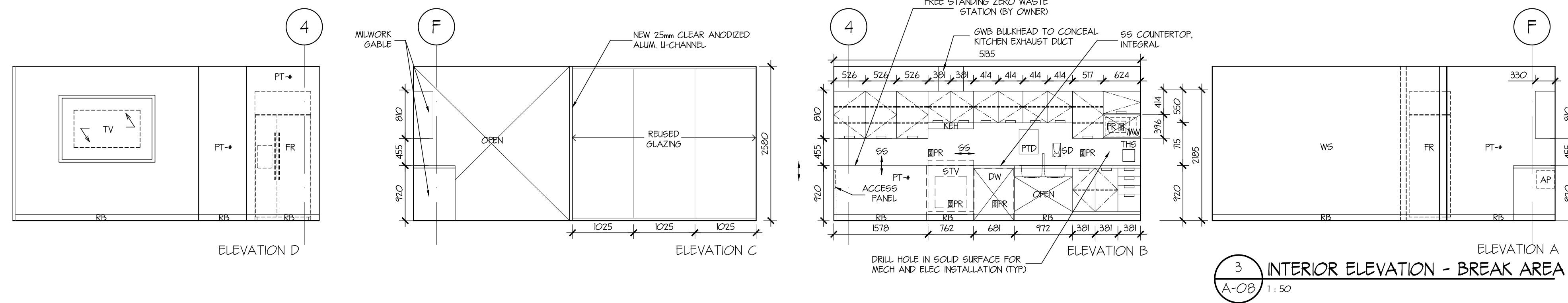
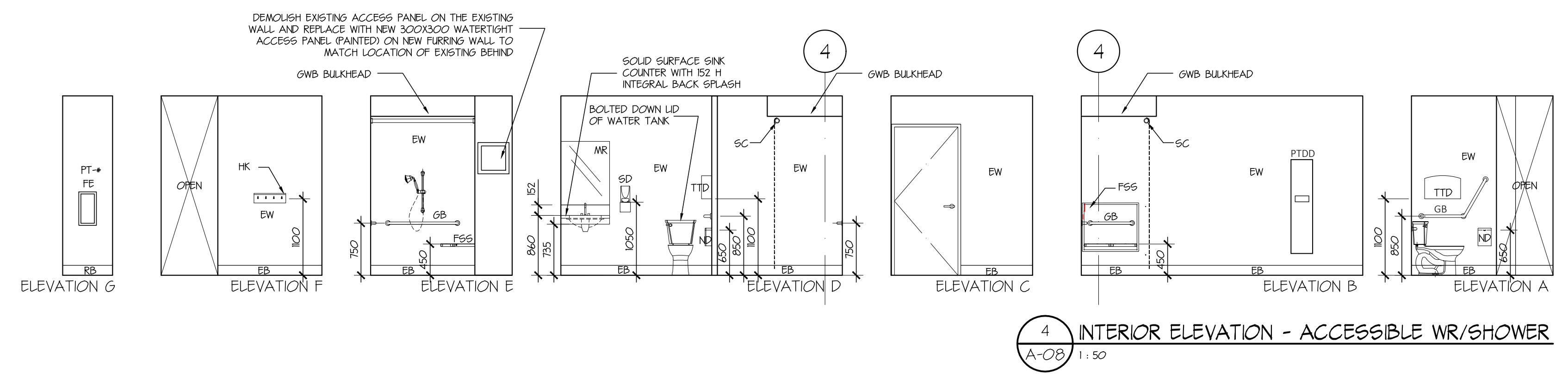
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 - EB EPOXY INTEGRAL COVERED BASE
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PROJECT TITLE
TENANT FIT-OUT FOR ECHELON CENTRE
6F-575 8TH AVE WEST VANCOUVER

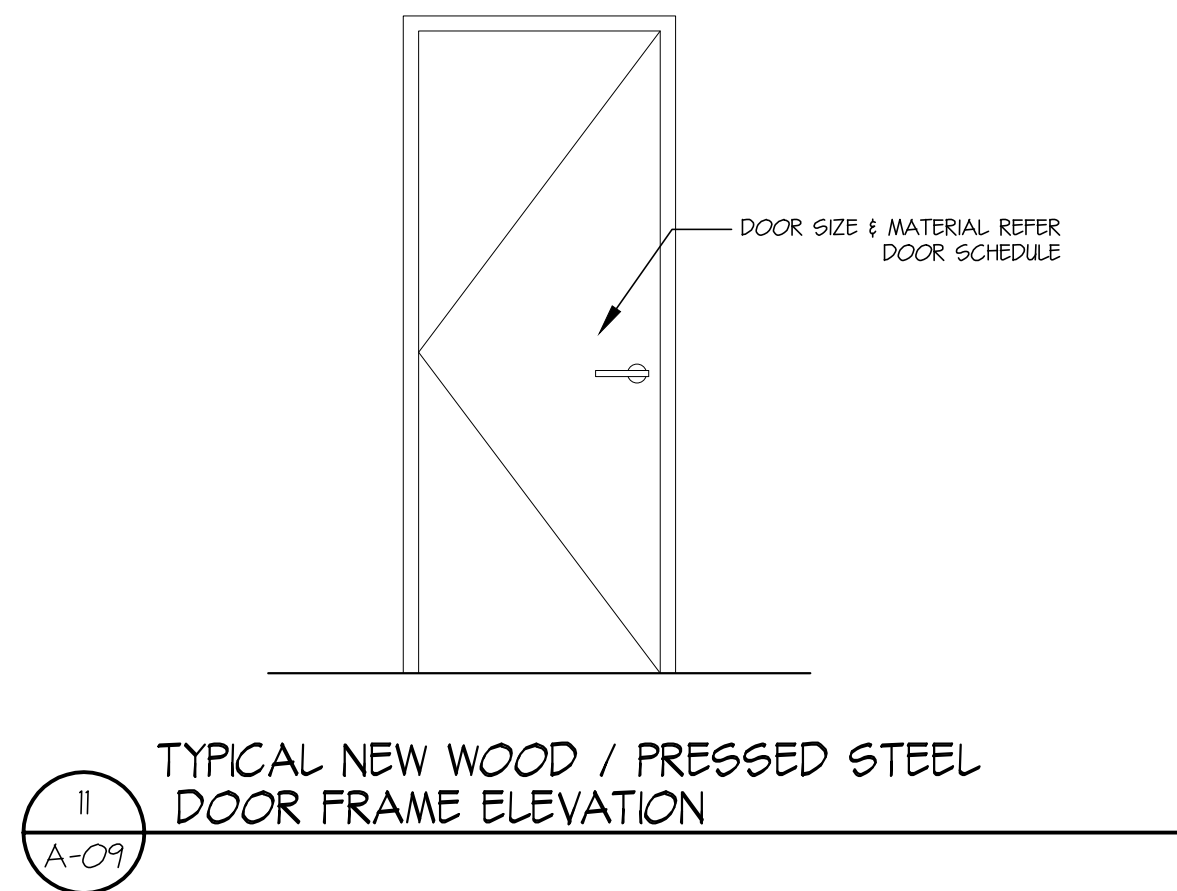
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SHEET TITLE
6TH FLOOR INTERIOR ELEV. AND MILLWORK DETAILS

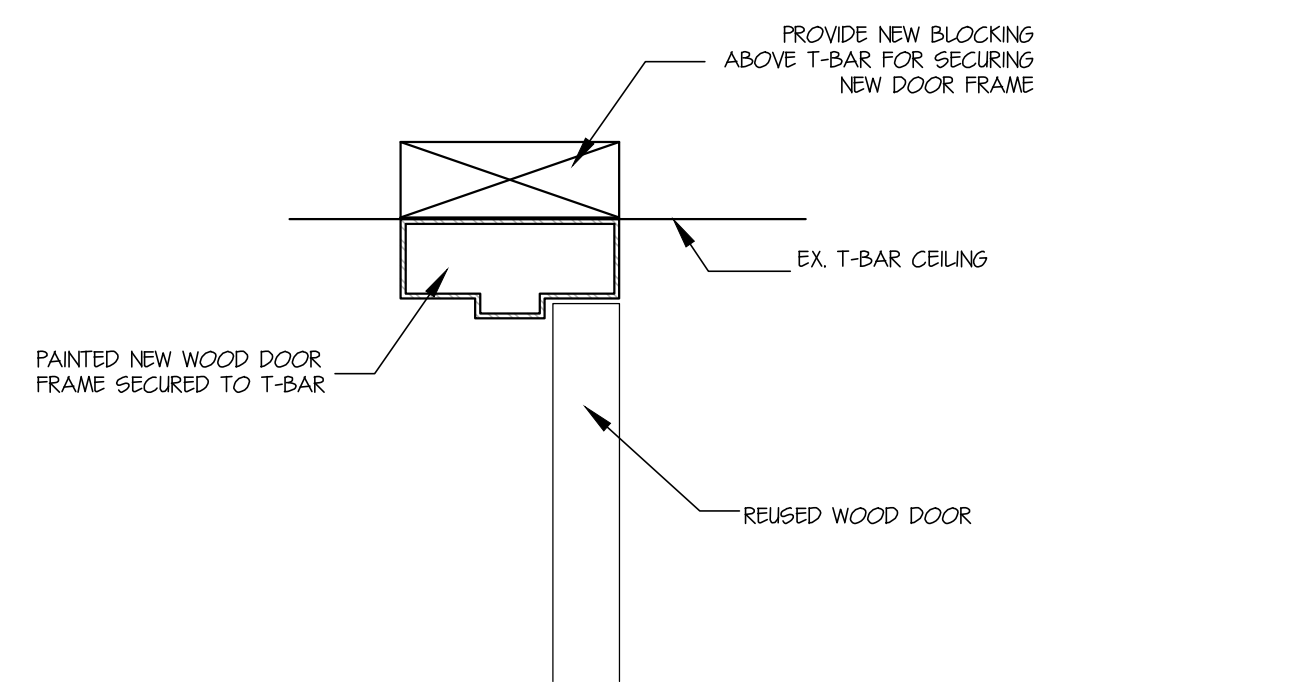
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A-08

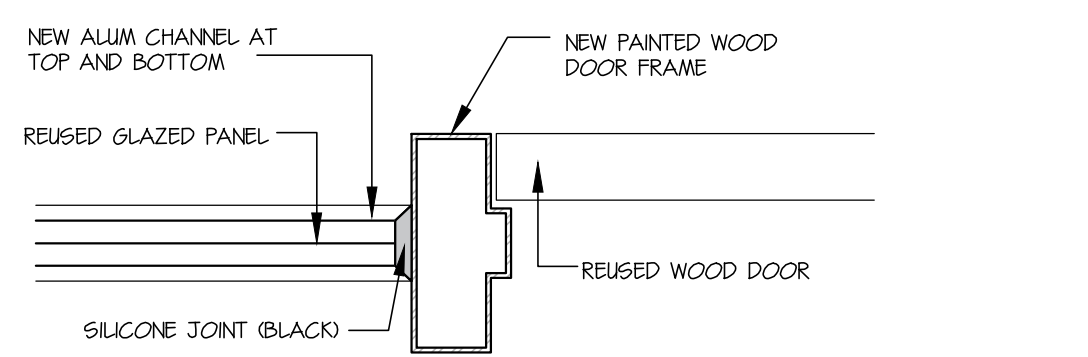
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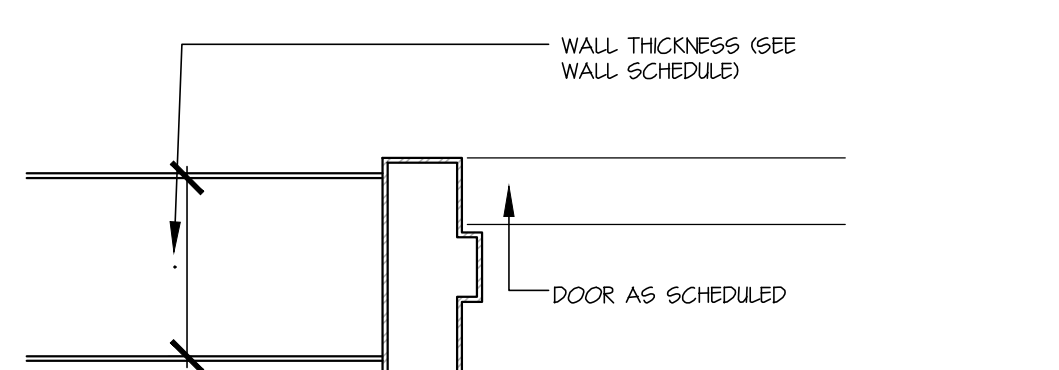
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A-09
TYPICAL NEW WOOD / PRESSED STEEL DOOR FRAME ELEVATION



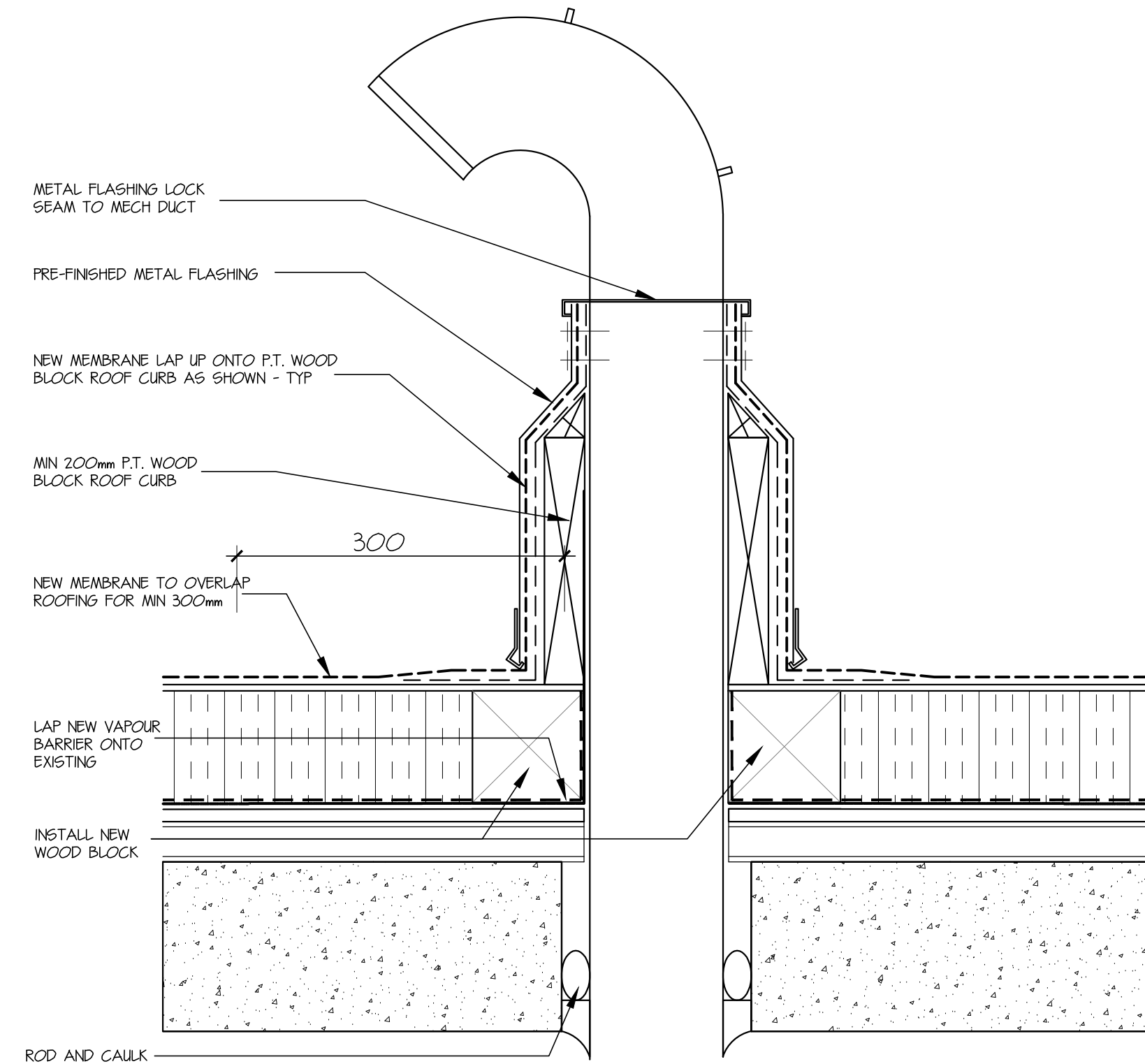
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TYPICAL WOOD DOOR HEAD 1:5



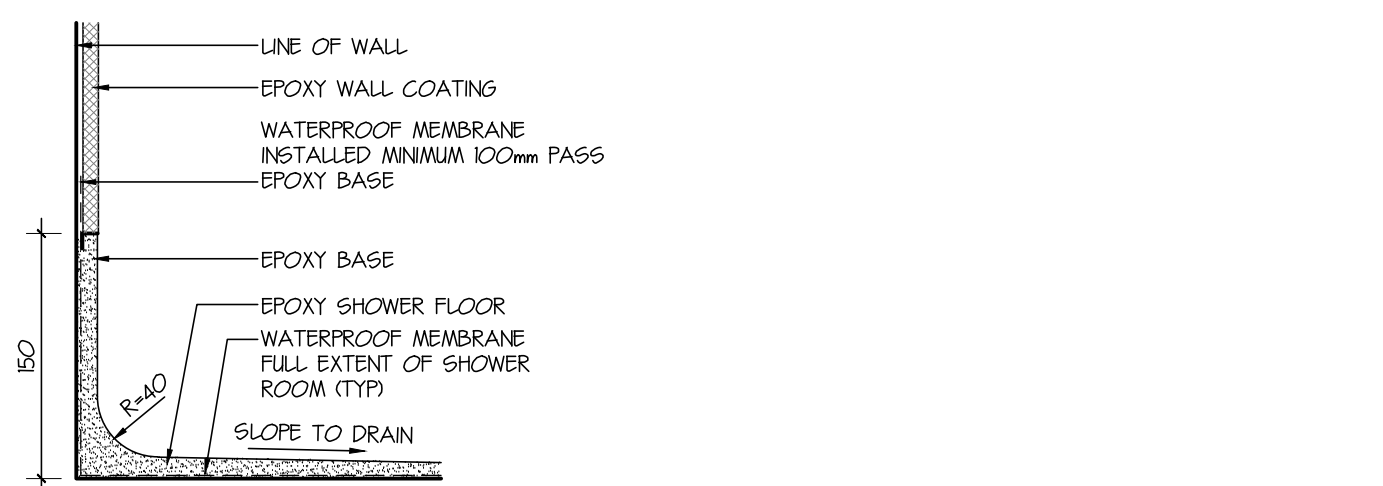
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A-09
TYPICAL WOOD DOOR JAMB WITH SIDELITE 1:5



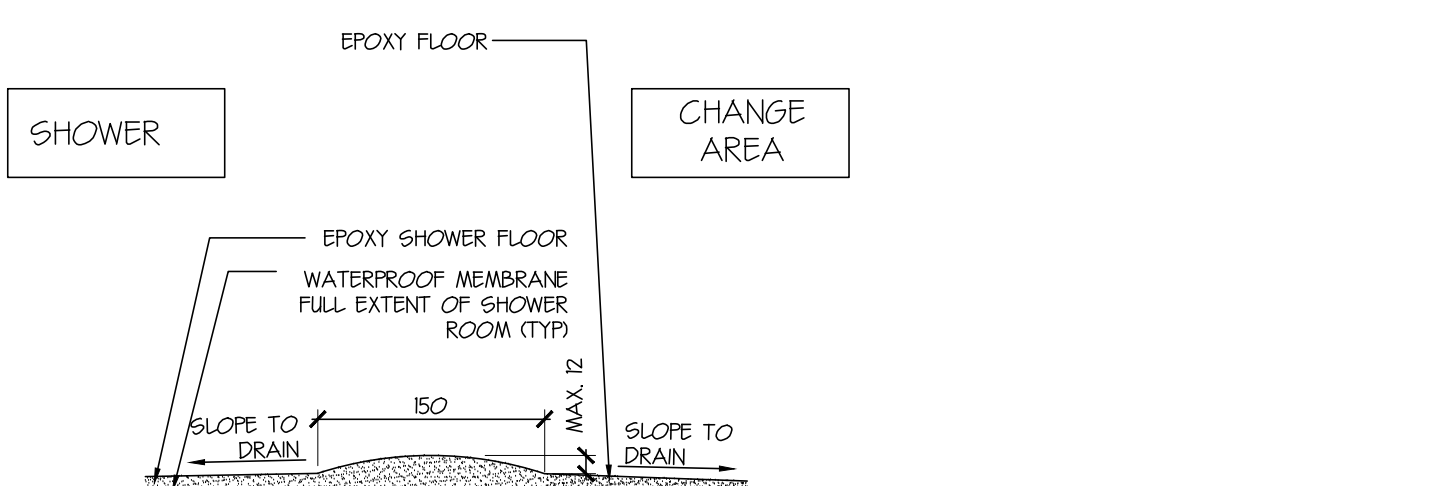
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TYPICAL WOOD DOOR JAMB 1:5



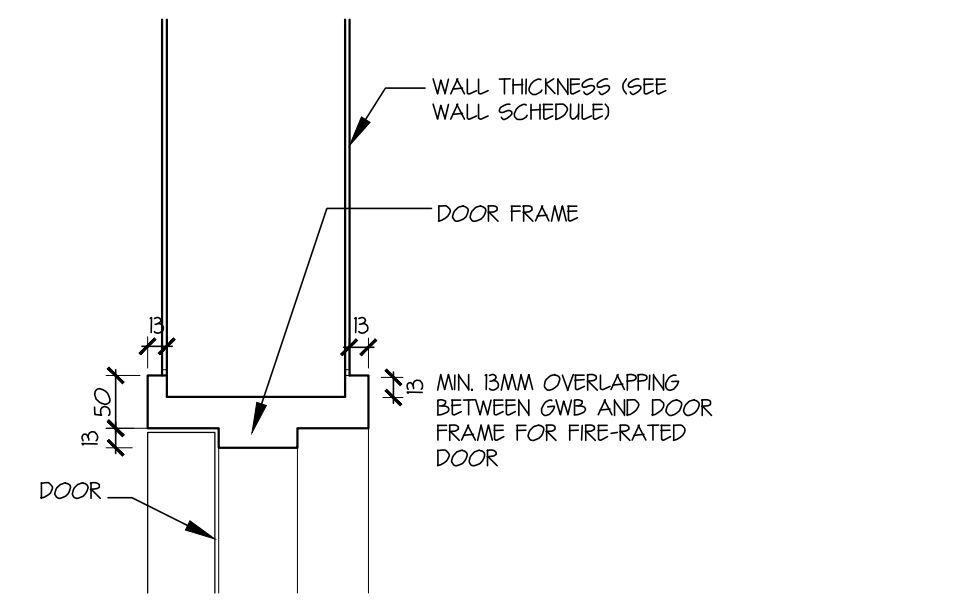
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TYPICAL GOOSNECK PENETRATION 1:5



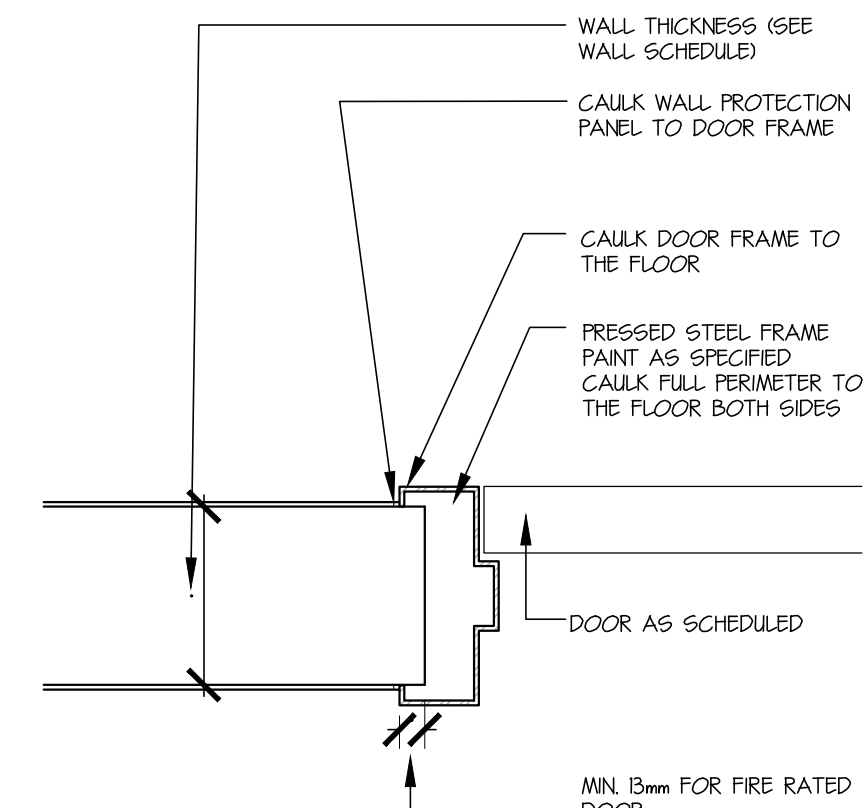
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A-15
TYP. SHOWER FLOORING AND BASE DETAIL 1:5



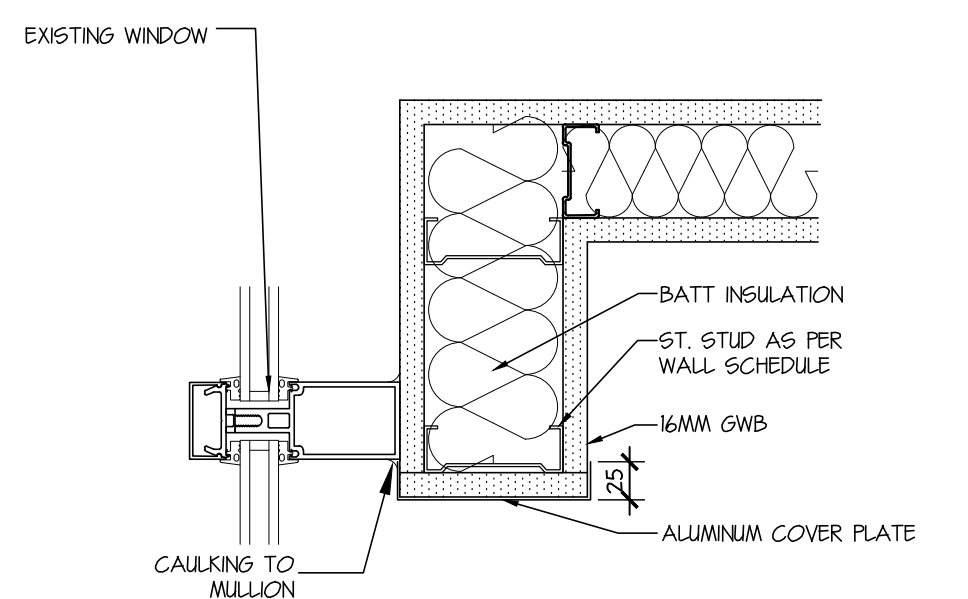
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TYPICAL SHOWER TRANSITION DETAIL 1:5



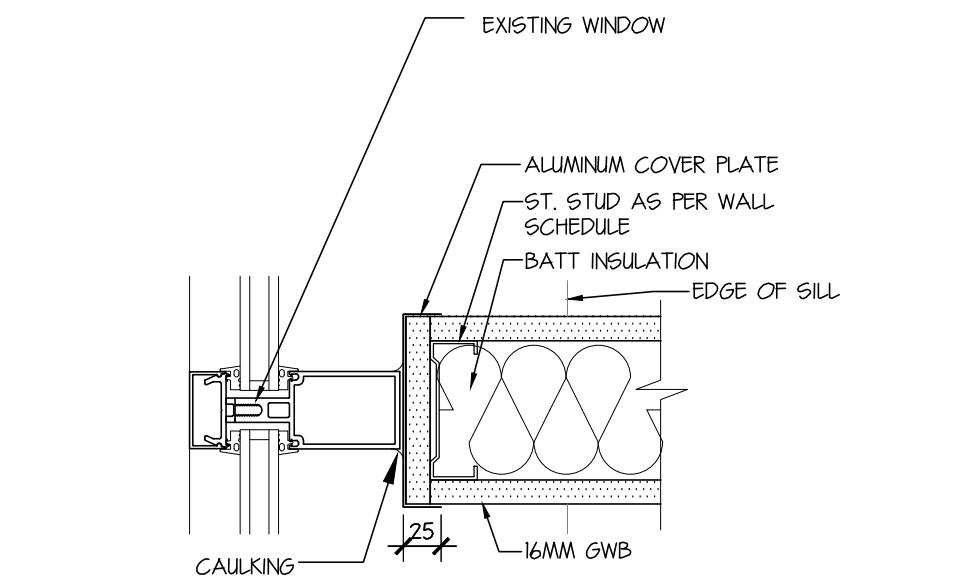
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A-09
TYPICAL PRESS STEEL FRAME HEAD DETAIL 1:5



3
A-09
TYPICAL PRESS STEEL JAMB DETAIL 1:5



2
A-09
TYPICAL INTERIOR WALL @ MULLION DETAIL 1:5



1
A-09
TYPICAL INTERIOR WALL @ MULLION DETAIL 1:5

1	08/08/18	ISSUED FOR BUILDING PERMIT AND TENDER
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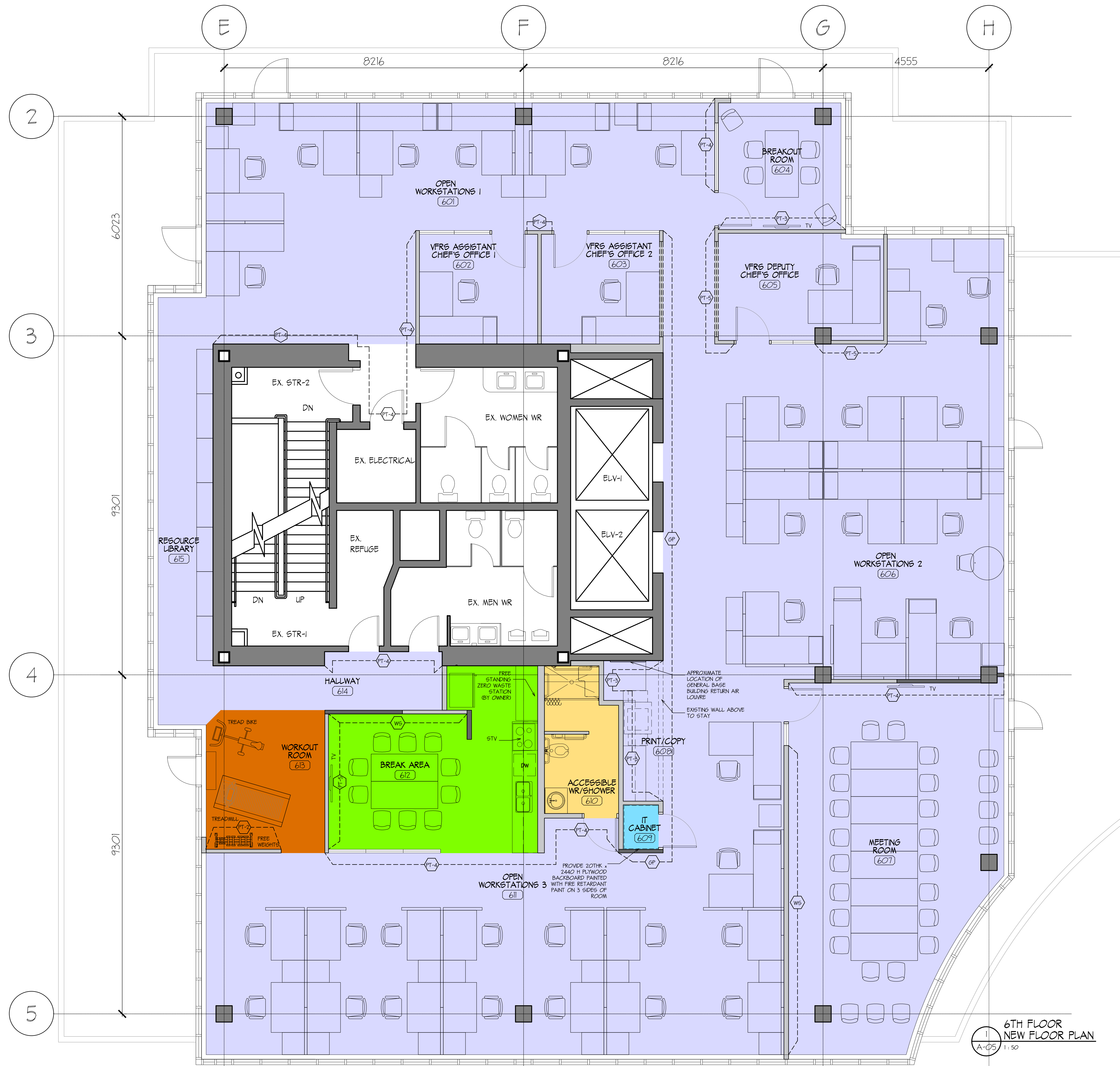
SHEET TITLE
6TH FLOOR TYPICAL DETAILS

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WALL PAINT LEGEND

- PT-X PAINT COLOR REFER SPECIFICATION
- GP DIGITAL COLOR PRINT GRAPHIC SELF ADHESIVE FILM
- WS WRITABLE/MAGNETIC SURFACE

NOTE: ALL WALL PAINT TO BE PT-1 UNLESS NOTED OTHERWISE

FLOOR FINISHES LEGEND

- SPORTS RUBBER FLOORING (RF)
- EPOXY FLOORING (EF)
- ANTI-STATIC VINYL TILE (AVT)
- LINOLEUM SHEET FLOORING (LN)
- CARPET TILE (CPT)

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PROJECT TITLE
TENANT FIT-OUT FOR ECHELON CENTRE
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SHEET TITLE
6TH FLOOR FINISHES PLAN

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1
 A-05
 1:50
6TH FLOOR NEW FLOOR PLAN