

August 22nd, 2018

**INVITATION TO TENDER "ITT" NO. PS20181308  
CONTRACTOR FOR TENANT IMPROVEMENTS - ECHELON CENTRE**

**ADDENDUM NO. 2**

**PLEASE ADD:**

- 2018-08-17 Issued for Addendum # 2, with the following changes:

**1. SPECIFICATIONS**

.1 Appendix 1 - Site Photos

- .1 Photos page 6 to 11: showing photos of 5/F.

**2. ARCHITECTURAL DRAWING REVISIONS**

.1 Drawing A-00 - 6th FLOOR COVER SHEET

- .1 Add General Constructions Note 24.

.2 Drawing A-03 - 6th FLOOR REFLECTED CEILING (EXISTING)

- .1 SK-01 Revised Ceiling as clouded.

.3 Drawing A-05 - 6TH FLOOR REFLECTED CEILING (NEW)

- .1 Revised Ceiling layout as clouded.

.4 Drawing A09 - 6TH FLOOR TYPICAL DETAILS

- .1 SK-02 Revised Detail 7 as clouded.

**3. REFERENCE DRAWINGS**

- 1 Set - Architectural (7 pages)
- 1 Set - Structural (3 pages)
- 1 Set - Mechanical (4 pages)
- 1 Set - Electrical (3 pages)

**This addendum must be completed, and attached to your Tender form.**

Envelopes submitted by courier or otherwise in-person should be delivered to: Supply Chain Management, 453 West 12th Avenue, 4th Floor (Bid Submission Box) Vancouver City Hall, Vancouver, British Columbia, prior to the Closing Time, in an envelope clearly marked "Addendum No. 1 to Invitation to Tender No. PS20181308: CONTRACTOR FOR TENANT IMPROVEMENTS - ECHELON CENTRE before the closing time of 3:00 p.m., Thursday, August 30<sup>th</sup>, 2018.

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NAME OF VENDOR

---

SIGNATURE OF AUTHORIZED SIGNATORY

---

DATE

Nina Wood, Buyer

**ECHELON CENTRE**  
**6/F, 575 WEST 8TH AVENUE**  
**VANCOUVER, BC**

**CHERNOFF THOMPSON ARCHITECTS**

August 17<sup>th</sup>, 2018

Total 29 pages  
including this page

## ADDENDUM NO. 2

Date: August 17<sup>th</sup>, 2018

**Echelon Centre, Vancouver**

**CHERNOFF THOMPSON ARCHITECTS**

CTA PROJECT NO. 38017

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The following revisions supersede the information contained in the original drawings and specification issued for the above named project, and shall become part thereof. No consideration will be allowed for extras due to the contractor or any subcontractor not being familiar with this Addendum.

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### 1. SPECIFICATIONS

- .1 Appendix 1 – Site Photos
  - .1 Photos page 6 to 11: showing photos of 5/F.

### 2. ARCHITECTURAL DRAWING REVISIONS

- .1 Drawing A-00 – 6<sup>th</sup> FLOOR COVER SHEET
  - .1 Add General Constructions Note 24.
- .2 Drawing A-03 - 6<sup>th</sup> FLOOR REFLECTED CEILING (EXISTING)
  - .1 SK-01 Revised Ceiling as clouded.
- .3 Drawing A-05 - 6<sup>TH</sup> FLOOR REFLECTED CEILING (NEW)
  - .1 Revised Ceiling layout as clouded.
- .4 Drawing A09 - 6<sup>TH</sup> FLOOR TYPICAL DETAILS
  - .1 SK-02 Revised Detail 7 as clouded.



### 3. REFERENCE DRAWINGS



For Reference see attached drawings:

- 1 Set Architectural (7 pages)
- 1 Set Structural (3 pages)
- 1 Set Mechanical (4 pages)
- 1 Set Electrical (3 pages)







Number	Photo	Description
11		<p>Floor Plan</p> <p>Sanitary and Floor Plan Below Existing 6th Floor 575 W8th Ave</p>


Number	Photo	Description
12		Existing plumbing kitchen below 6th floor.
13		Existing plumbing men washroom below 6th floor.

Number	Photo	Description
14		Existing beam below 6 <sup>th</sup> floor.
15		View hallway towards workspace.



Number	Photo	Description
16		View hallway towards Reception Area.
17		View hallway towards windows.

Number	Photo	Description
18		View hallway towards windows.
19		View hallway towards Stair 1.

Number	Photo	Description
20		View Ex. Men Washroom.
21		View Ex. Men Washroom towards exit.



# TENANT FIT-OUT AT ECHELON CENTRE

## 6F-575 8TH AVE WEST VANCOUVER, BC

### PROJECT TEAM

<b>LANDLORD</b>	CRESSEY DEVELOPMENT GROUP SUITE 200, 555 WEST 8TH AVENUE VANCOUVER, BRITISH COLUMBIA V5Z 1K6 CONTACT: TOM JOHNSTON PH. 604 995 0145 E-MAIL: TJOHNSTON@CRESSEY.COM	<b>MECHANICAL</b>	WILLIAMS ENGINEERING LTD 100 MELVILLE STREET VANCOUVER, BC V6E 4A6 CONTACT: ALEX GONZALES PH. 780 409 5300 E-MAIL: AGONZALES@WILLIAMSENGINEERING.COM
<b>TENANT / PROJECT</b>	REAL ESTATE AND FACILITIES MANAGEMENT CITY OF VANCOUVER 507 WEST BROADWAY, SUITE 320 VANCOUVER, BC V5Z 0B4 CONTACT: CHERRY DEARING PH. 604 873 7575 E-MAIL: CHERRY.DEARING@VANCOUVER.CA	<b>ELECTRICAL</b>	WILLIAMS ENGINEERING LTD 100 MELVILLE STREET VANCOUVER, BC V6E 4A6 CONTACT: VINCE RAFFER PH. 780 409 5300 E-MAIL: VRAFFER@WILLIAMSENGINEERING.COM
<b>MANAGER</b>	CHERNOFF THOMPSON ARCHITECTS 840-1075 WEST GEORGIA STREET, VANCOUVER, BC V6E 3C9 CONTACT: TONY YIP PH. 604 669 9460 E-MAIL: TONY.YIP@CTABC.CA		
<b>ARCHITECT</b>			

### GENERAL CONSTRUCTION NOTES

- THESE NOTES APPLY TO ALL DRAWINGS.
- THIS IS A COPYRIGHT DRAWING AND DESIGN, AND SHALL NOT BE USED, REPRODUCED OR REVISED WITHOUT WRITTEN PERMISSION.
- CHECK AND VERIFY ALL DIMENSIONS ON SITE AND REPORT ALL ERRORS AND OMISSIONS TO THE CONSULTANT PRIOR TO COMMENCING WORK.
- THESE DRAWINGS ARE NOT TO BE SCALED.
- ALL DIMENSIONS, UNLESS OTHERWISE NOTED, ARE METRIC.
- ALL MATERIALS TO MEET FLAME SPREAD RATINGS REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.
- ALL WORK TO BE COMPLETED TO MEET THE APPLICABLE LOCAL BUILDING CODES, AND LOCAL HEALTH AND FIRE REGULATIONS.
- ALL WALL DIMENSIONS ARE TO THE CENTRE LINE OF STUD UNLESS OTHERWISE NOTED.
- TOUCH UP AND MAKE GOOD ALL EXISTING WALLS TO REMAIN SUITABLE TO RECEIVE NEW PAINT FINISH.
- PROVIDE DEFLECTION TRACKS AT ALL WALL ATTACHMENTS TO UNDERSIDE OF STRUCTURE.
- RATED WALL ASSEMBLIES ARE INDICATED IN AN ABBREVIATED FORMAT, SEE REFERENCED DESIGN NUMBER LISTING (IE WLC) FOR FULL ASSEMBLY.
- PROVIDE CONTINUOUS PLYWOOD BACKING IN WALLS FOR ALL ITEMS SECURED TO WALLS, INCLUDING ELECTRICAL PANEL, MILLWORK AND CASEWORK, DOOR STOPS, TACK AND WHITE BOARDS, SCREENS, ALL WASHROOM ACCESSORIES AND MISC. WALL FIXTURES, WHETHER THEY ARE INSTALLED BY OWNER OR BY CONTRACTOR.
- ALL NEW WALLS ARE CONSTRUCTED TO THE UNDERSIDE OF EXISTING T-BAR CEILING, UNLESS NOTED OTHERWISE.
- FIRESTOP ALL EXISTING AND NEW SERVICE PENETRATIONS THROUGH FLOOR SLAB AND VERTICAL FIRE SEPARATION.
- PROVIDE X-RAY TO EXISTING FLOOR SLAB AND ROOF SLAB PRIOR TO CORING FOR NEW SERVICE PENETRATION.
- UNLESS NOTED ON DRAWINGS, TYPICAL NEW INTERIOR WALLS TO BE WALL TYPE W1.
- ALL GWB FOR NEW WASHROOM TO BE MOISTURE RESISTANT GWB, PROVIDE WATER PROOFING MEMBRANE UNDER THE WHOLE NEW WASHROOM/SHOWER (RM 610) AND WATERPROOFING MEMBRANE ON ALL SIDES OF THE SHOWER FULL HEIGHT OF WALL.
- ALL FIRE SEPARATION TO BE CONSTRUCTED TO THE U/S OF STRUCTURAL SLAB, OR EXTERIOR WALL.
- WALL TYPES ARE TO BE CONTINUOUS ABOVE & BELOW WINDOWS AND DOORS UNO.
- ALL DOOR FRAMES TO BE 50mm AWAY FROM FINISHED FACE OF WALL UNO.
- FLOORING IN HALLWAY EXTENDS TO THE ROOM SIDE OF DOOR FRAME.
- GWB FOR ALL GWB CEILING TO BE 16THK.
- FOR ALL EXISTING AND NEW ITEMS WITHIN THE PROJECT AREA, PROVIDE SEISMIC RESTRAINT TO ALL CEILING SUPPORTING FRAMES, T-BARS ASSEMBLIES, CEILING GYPSUM WALL BOARDS ALL OVERHEAD MECHANICAL DUCTS, AND EQUIPMENT, OVERHEAD ELECTRICAL CONDUITS AND LIGHTS.
- MAKE GOOD ALL DISRUPTED FIRE RESISTIVE SPRAY RESULTING FROM NEW CONSTRUCTION IN THE CEILING OF 5/F & 6/F.

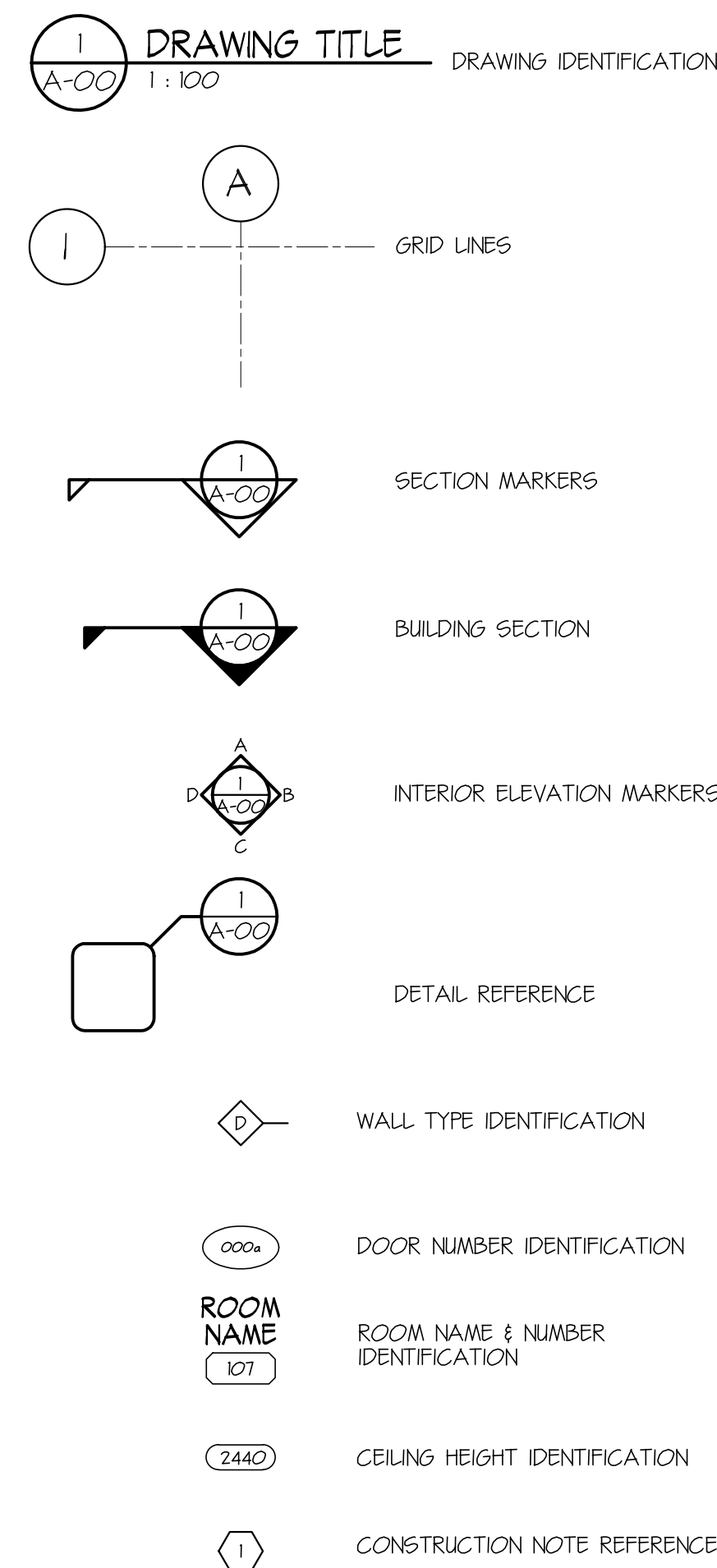
### GENERAL DEMOLITION NOTES

- DEMOLITION DRAWING ONLY SHOWS THE GENERAL SCOPE OF DEMOLITION ALSO REFER TO OTHER ARCHITECTURAL DETAIL DRAWINGS, MECHANICAL & ELECTRICAL DRAWINGS FOR FULL SCOPE OF DEMOLITION WORKS REQUIRED TO PRODUCE NEW LAYOUT. CONTRACTOR WILL BE RESPONSIBLE FOR COORDINATING AND CARRYING OUT ALL NECESSARY DEMOLITION NOT SHOWN IN THE DEMOLITION PACKAGE IN ORDER TO PRODUCE NEW LAYOUT.
- ALL DEMOLISHED MATERIAL AND DEBRIS TO BE REMOVED PROMPTLY FROM SITE AND DISPOSED OF IN A LEGAL MANNER.
- SELLING OF ANY MATERIALS ON SITE IS NOT PERMITTED.
- MAKE GOOD DAMAGED AREA AND FIXTURES OR REPLACED WITH NEW WHICH ARE TO BE RETAINED AS SHOWN IN DRAWING.
- COMPLY WITH ALL BYLAWS AND ACQUIRE ALL NECESSARY PERMIT.
- COMPLY WITH ALL WORKER'S COMPENSATION BOARD OF BC, ACCIDENT PREVENTION REGULATIONS.
- DEMOLISH ALL EXPOSED & HIDDEN ELECTRICAL, MECHANICAL & PLUMBING FIXTURES, ENCLOSED CONDUITS AND PIPINGS, & OTHER FIXTURES AND FINISHES THAT ARE NOT TO BE REUSED ASSOCIATED WITH DEMOLITION OF WALLS.

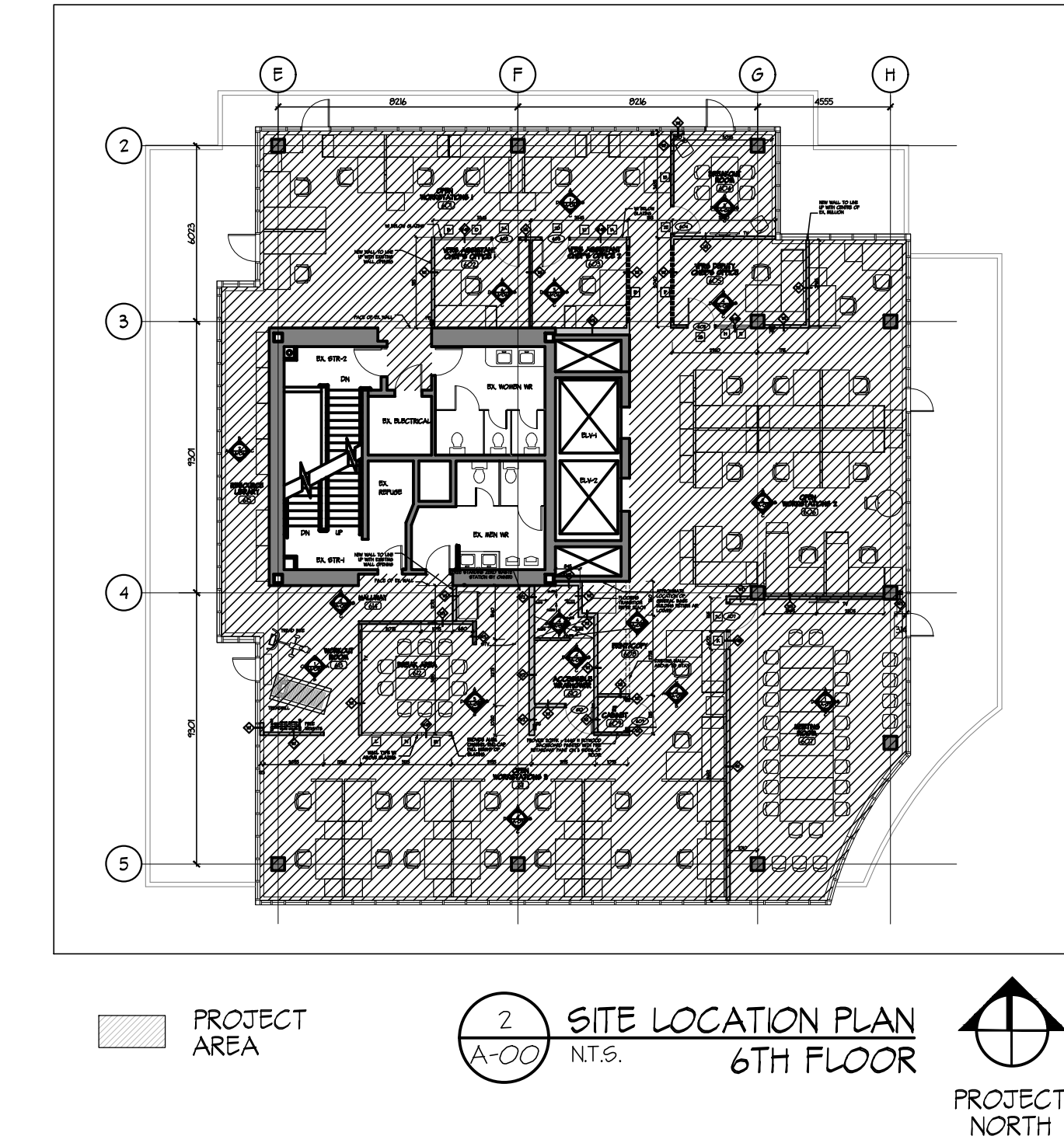
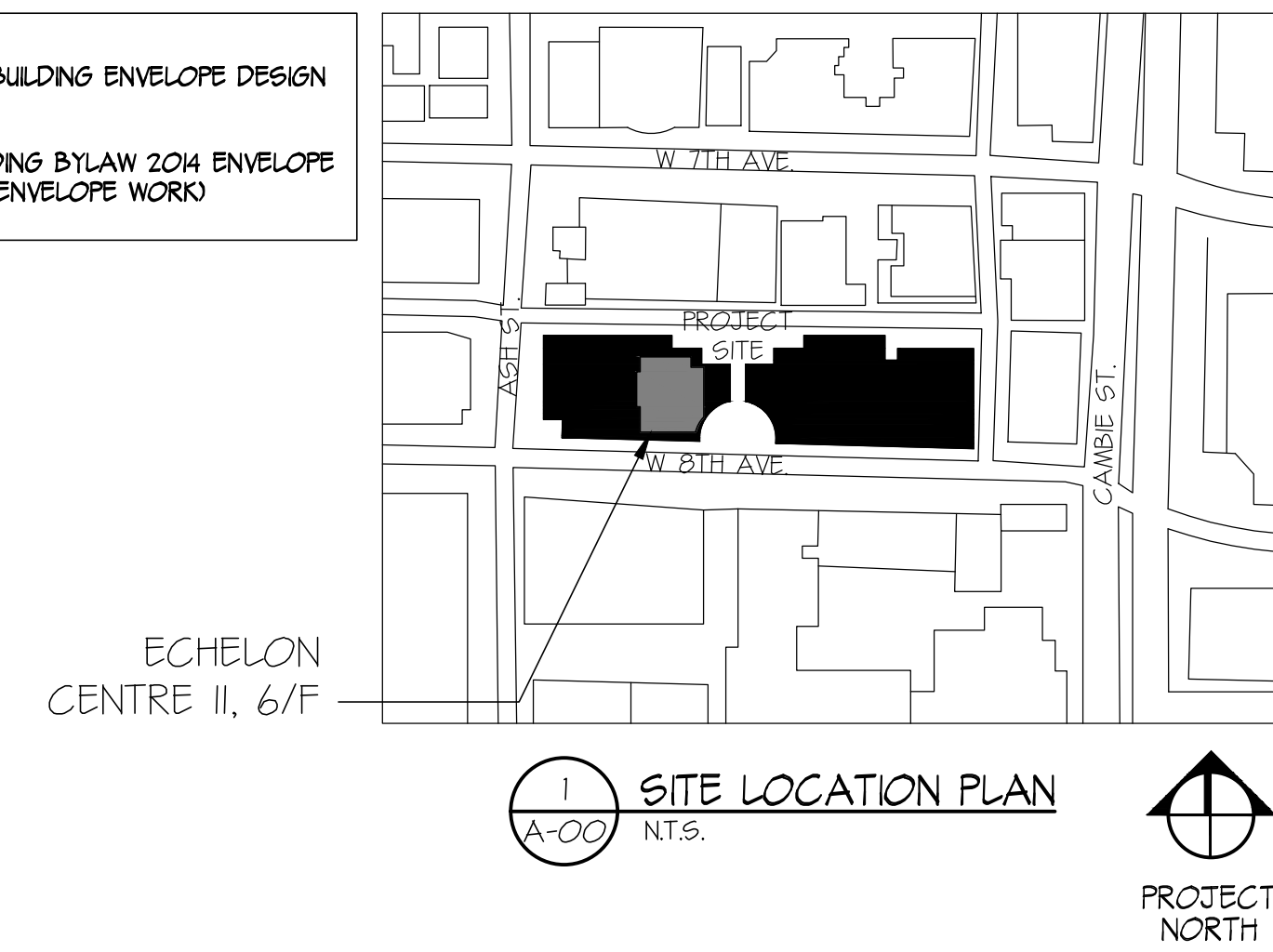
### DRAWING LIST

<b>ARCHITECTURAL</b>	A-00 6TH FLOOR COVER SHEET A-01 6TH FLOOR PLAN EXISTING A-02 6TH FLOOR PLAN DEMOLITION A-03 6TH FLOOR REFLECTED CEILING (EXISTING) A-04 6TH FLOOR PLAN NEW A-05 6TH FLOOR REFLECTED CEILING (NEW) A-06 6TH FLOOR INTERIOR ELEVATIONS A-07 6TH FLOOR INTERIOR ELEVATIONS AND MILLWORK DETAILS A-08 6TH FLOOR INTERIOR ELEVATIONS AND MILLWORK DETAILS A-09 6TH FLOOR TYPICAL DETAILS A-10 6TH FLOOR FINISHES PLAN	<b>ELECTRICAL</b>	E001 DRAWING LIST, GENERAL NOTES, & SYMBOLS E002 ELECTRICAL SPECIFICATIONS E003 SINGLE LINE CALCULATIONS & SCHEDULES E100 6TH FLOOR NEW POWER & LOW TENSION PLAN E101 6TH FLOOR NEW LIGHTING PLAN E200 6TH FLOOR DEMOLITION POWER & LOW TENSION PLAN E201 6TH FLOOR DEMOLITION LIGHTING PLAN
		<b>MECHANICAL</b>	M - 10 6TH FLOOR SITE PLAN, DETAILS, & GENERAL NOTES M - 11 6TH FLOOR MECHANICAL SCHEDULES M - 20 6TH FLOOR PLUMBING DEMOLITION PLANS M - 21 6TH FLOOR MECHANICAL DEMOLITION PLAN M - 30 6TH FLOOR NEW PLUMBING PLANS M - 31 6TH FLOOR NEW MECHANICAL PLAN M - 32 6TH FLOOR NEW & EXISTING FIRE SUPPRESSION PLAN M - 40 6TH FLOOR NEW FIRE PROTECTION PLAN

### ARCHITECTURAL SYMBOLS



ARCHITECTURAL BUILDING ENVELOPE DESIGN (ENERGY)  
VANCOUVER BUILDING BYLAW 2014 ENVELOPE DESIGN N/A (NO ENVELOPE WORK)



### WALL TYPES LEGEND

W1		TYPICAL INTERIOR WALL (STC 47) - 16 GYPSUM WALL BOARD - 92 STEEL STUDS AT 400mm O.C. C/W ACOUSTIC BATT INSULATION - 16 GYPSUM WALL BOARD
W2		TYPICAL INTERIOR PLUMBING WALL (STC 50) - 16mm GYPSUM WALL BOARD - 152 STEEL STUDS AT 400mm O.C. C/W ACOUSTIC BATT INSULATION - 16mm GYPSUM WALL BOARD
W3		TYPICAL INTERIOR PARTITION TO MATCH EXISTING - 12mm GYPSUM WALL BOARD - 64mm STEEL STUD AT 400mm O.C. C/W ACOUSTIC BATT INSULATION - 12mm GYPSUM WALL BOARD
W4A		TYPICAL NEW GLAZED PARTITION - 12mm THICK CLEAR TEMPERED GLASS - SECURED TO T-BAR AND FLOORING WITH CLEAR ANODIZED U-CHANNELS MIN SIZE 4mm AT TOP AND BOTTOM. - GLAZING TO GLAZING VERTICAL BUTT JOINT AND GLAZING TO WALL VERTICAL JOINT ALL BY CLEAR STRUCTURAL SILICONE SEALANT
W4B		TYPICAL REUSED GLAZED PARTITION - REUSED EXISTING GLAZED PANEL SECURED TO T-BAR AND FLOORING WITH NEW CLEAR ANODIZED U-CHANNELS MIN SIZE 4mm AT TOP AND BOTTOM. - GLAZING TO GLAZING VERTICAL BUTT JOINT AND GLAZING TO WALL VERTICAL JOINT ALL BY NEW CLEAR STRUCTURAL SILICONE SEALANT
W5		TYPICAL FURRING WALL - EXISTING WALL - GAP TO SUIT - 64 STEEL STUDS AT 400mm O.C. - 16mm GYPSUM WALL BOARD

No.	DATE	REVISION
3	17/08/18	ISSUED FOR ADDENDUM 1
2	08/08/18	ISSUED FOR BUILDING PERMIT & TENDER
1	27/07/18	ISSUED FOR CLIENTS

PROJECT TITLE  
**TENANT FIT-OUT FOR ECHELON CENTRE**  
6F-575 8TH AVE WEST VANCOUVER

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date: \_\_\_\_\_

SHEET TITLE  
**6TH FLOOR COVER SHEET**

PROJECT No. 38017  
DRAWN PM  
CHECKED TY  
SCALE 1:100 - U.N.O.  
DATE 27/07/2018  
PRINTED 27/07/2018

REVISION No. 3

**A-00**

110-1281 WEST GEORGIA, VANCOUVER, B.C. V6E 3J5  
TELEPHONE (604) 669-9460 FAX. (604) 683-7684

CHERNOFF THOMPSON ARCHITECTS

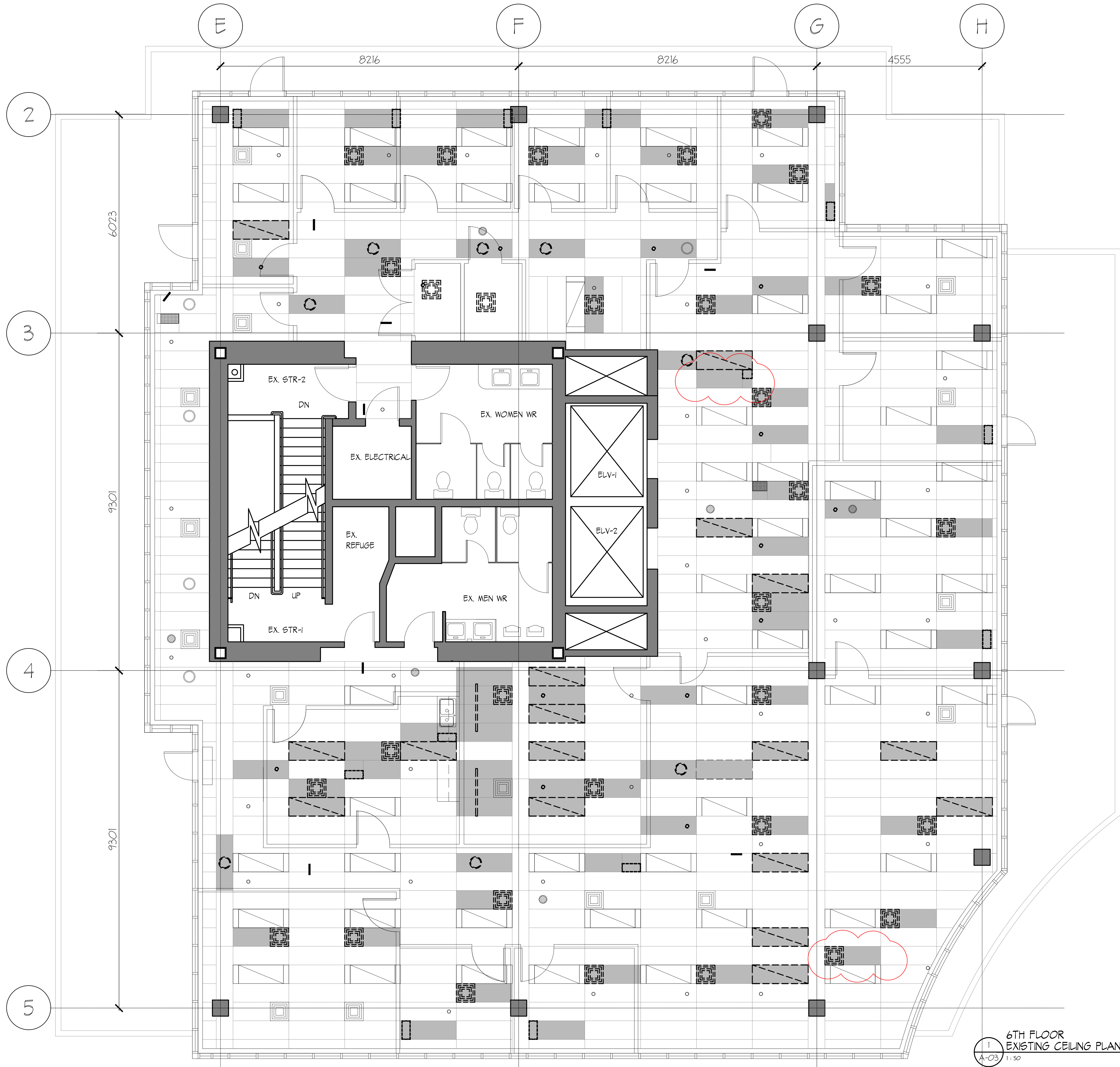


**CEILING DEMOLITION NOTES:**

1. REPLACE ALL DAMAGED CEILING TILES RESULTING FROM CONSTRUCTION.
2. REPLACE ALL CEILING TILES AFFECTED BY REMOVAL OR RELOCATION OF EXISTING CEILING FIXTURES.
3. MODIFY EXISTING CEILING TILES TO SUIT NEW OR RELOCATED FIXTURE LOCATION (REFER ELEC AND MECH DRAWINGS).
4. ALL NEW OR REPLACEMENT TILES TO MATCH EXISTING.

**EXISTING CEILING FIXTURE LEGEND:**

- SPRINKLER
- POT LIGHT
- ▨ T-BAR LIGHT FIXTURE TO STAY
- ◻ CEILING DIFFUSER
- EXIT SIGN
- SPEAKER
- SPRINKLER TO BE REMOVED/RELOCATED
- POT LIGHT TO BE RELOCATED
- ▨ T-BAR LIGHT FIXTURE TO BE RELOCATED
- ◻ CEILING DIFFUSER TO BE REMOVED
- ◻ RETURN AIR GRILLE TO BE REMOVED
- TRACK LIGHT TO BE REMOVED
- EXISTING CEILING TILE TO BE REMOVED & SWAPPED WITH NEW. REPLACE WITH NEW IF THERE IS NOT ENOUGH



No.	DATE	REVISION
3	17/08/18	ISSUED FOR ADDENDUM 1
2	02/08/18	ISSUED FOR BUILDING PERMIT & TENDER
1	27/07/18	ISSUED FOR CLIENTS REVIEW

PROJECT TITLE  
**TENANT FIT-OUT FOR ECHELON CENTRE**  
 6F-575 8TH AVE WEST VANCOUVER

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 clat:                      date:

SHEET TITLE  
**6TH FLOOR REFLECTED CEILING (EXISTING)**

PROJECT No. 38017  
 DRAWN PM  
 CHECKED TY  
 SCALE 1:100 - U.N.O.  
 DATE 27/07/2018  
 PRINTED 27/07/2018

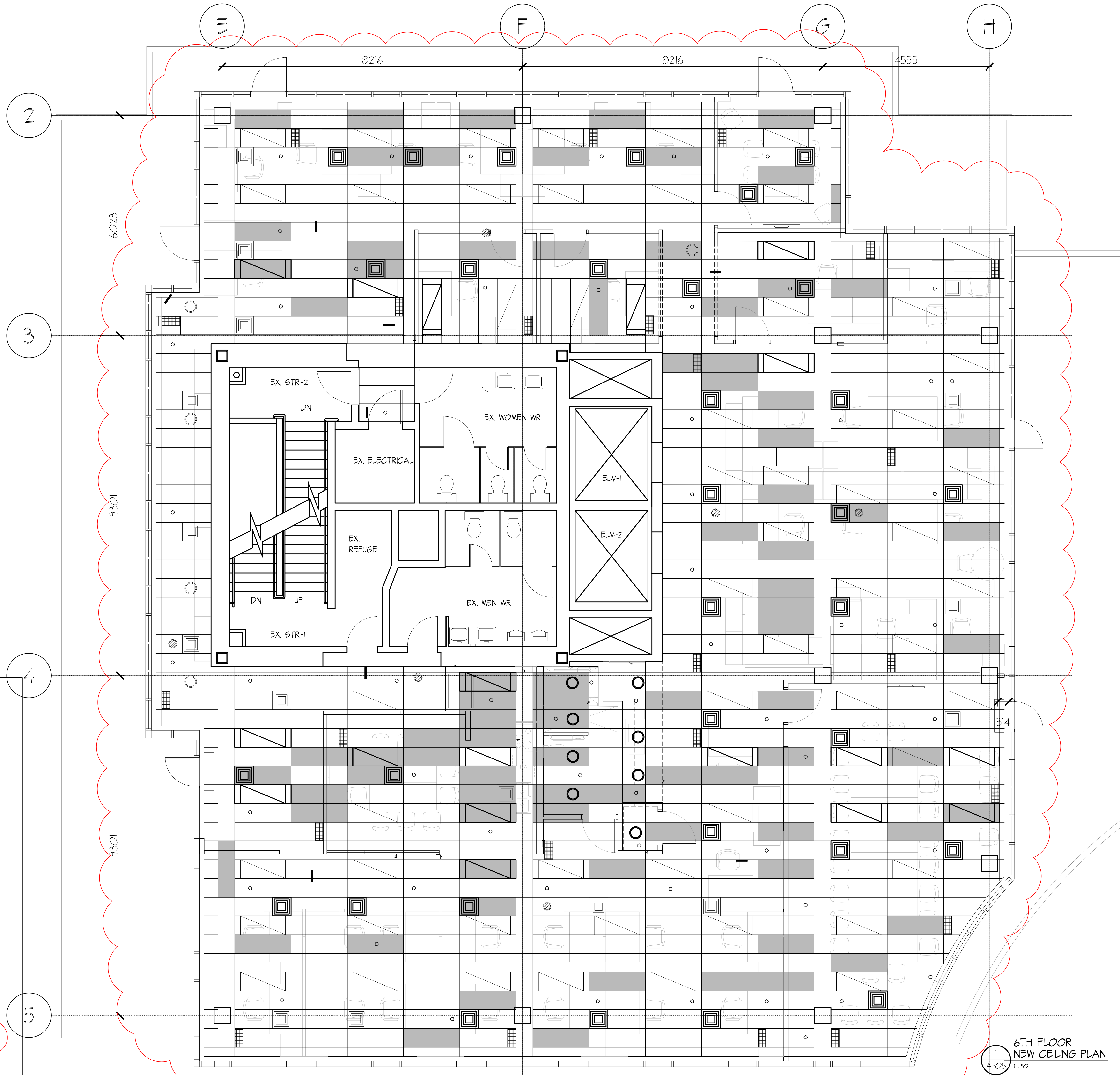
REVISION No. 3  
**A-03**

1 6TH FLOOR EXISTING CEILING PLAN  
 A-03 1:50

110-1281 WEST GEORGIA, VANCOUVER, B.C. V6E 3J5  
 TELEPHONE (604) 669-9460 FAX. (604) 683-7684

CHERNOFF THOMPSON ARCHITECTS





**CEILING CONSTRUCTION NOTES:**

1. ALL CEILING HEIGHT TO BE SAME AS EXISTING AT APPROX. 2585MM HIGH U.N.O.
2. ALSO REFER TO MECHANICAL AND ELECTRICAL DRAWINGS FOR SCOPE OF WORK.

**CEILING FIXTURE LEGEND:**

- EXISTING RELOCATED CEILING DIFFUSER
- EXISTING RELOCATED POT LIGHT
- EXISTING RELOCATED T-BAR LIGHT FIXTURE
- SPRINKLER
- EXISTING T-BAR LIGHT FIXTURE
- EXISTING POT LIGHT TO STAY
- EXISTING CEILING DIFFUSER TO STAY
- NEW EXIT SIGN
- EXISTING SPEAKER
- NEW VENT
- NEW CEILING TILES TO MATCH EXISTING

No.	DATE	REVISION
3	17/08/18	ISSUED FOR ADDENDUM 1
2	08/08/18	ISSUED FOR BUILDING PERMIT AND TENDER
1	27/07/18	ISSUED FOR CLIENTS REVIEW

PROJECT TITLE  
**TENANT FIT-OUT FOR ECHELON CENTRE**  
 6F-575 8TH AVE WEST VANCOUVER

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 clat:                      date:

SHEET TITLE  
**6TH FLOOR REFLECTED CEILING (NEW)**

PROJECT No.	38017
DRAWN	PM
CHECKED	TY
SCALE	1:50 - U.N.O.
DATE	27/07/2018
PRINTED	27/07/2018

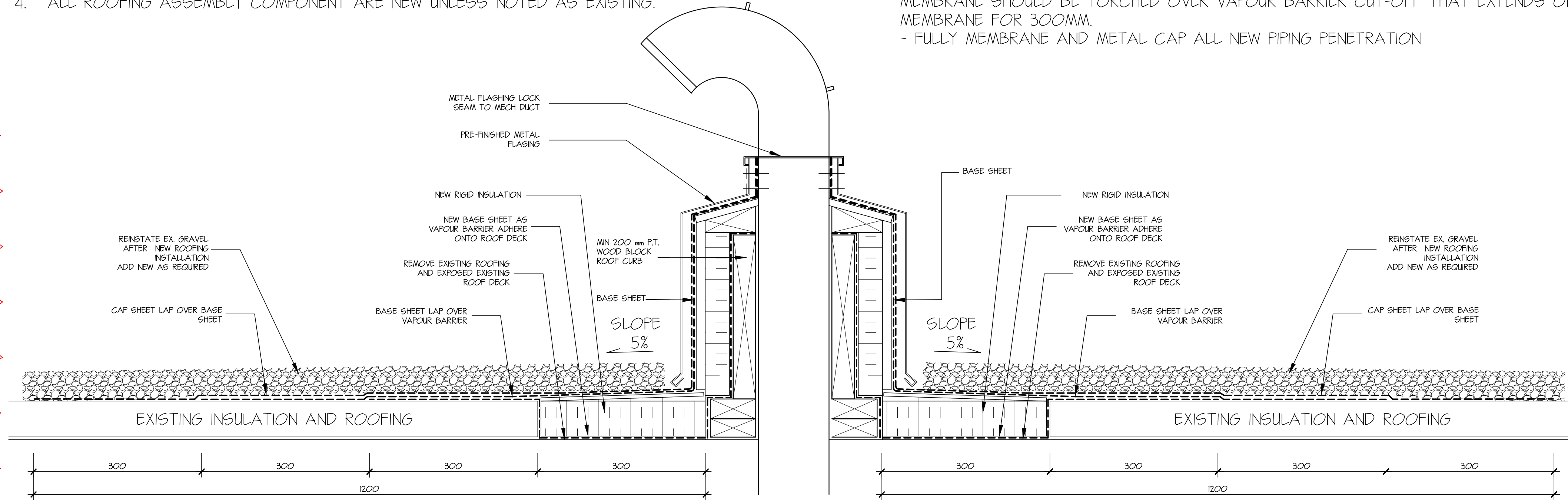
REVISION No. 3  
**A-05**

6TH FLOOR  
 NEW CEILING PLAN  
 1  
 A-05 1:50

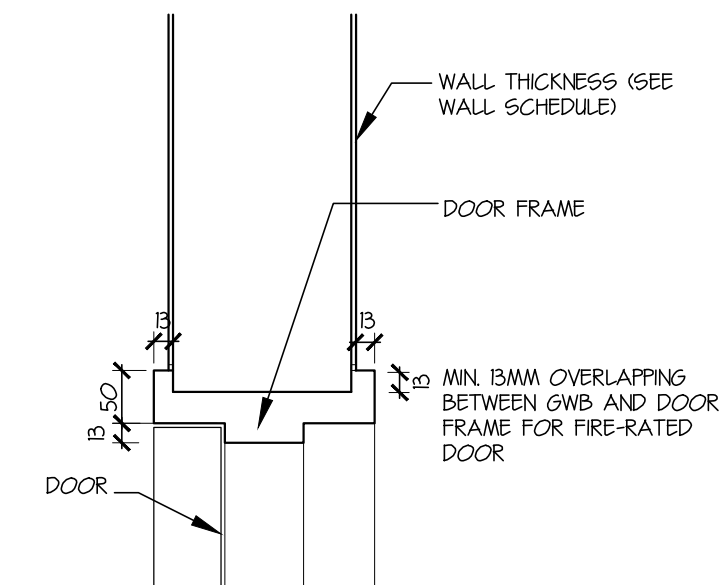


ROOFING NOTES :

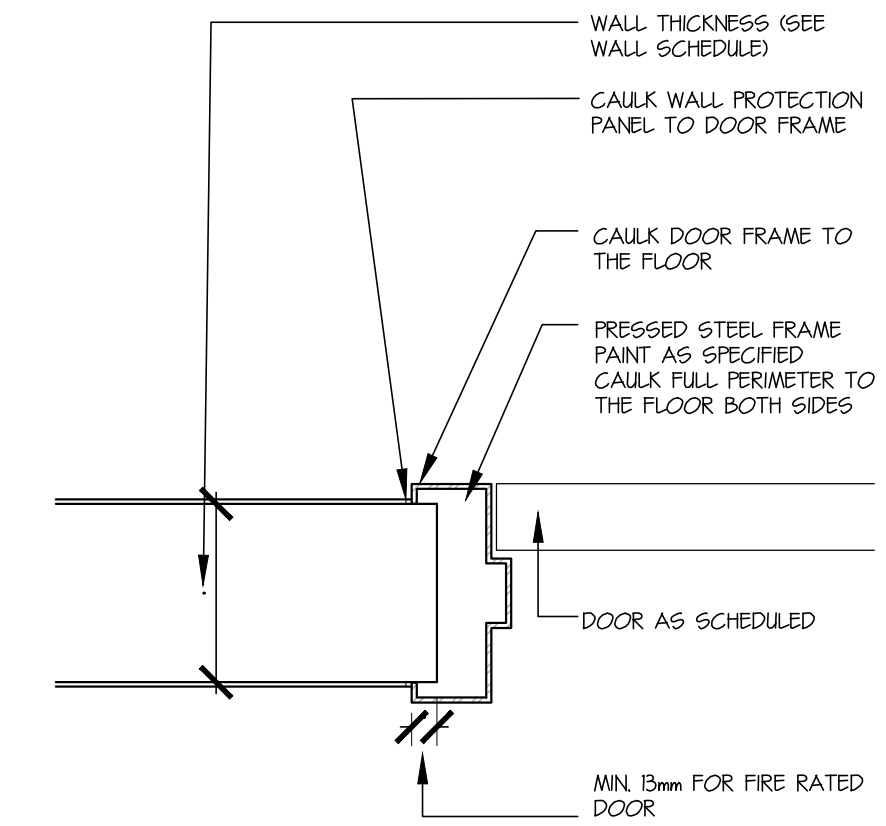
- ROOFING TO BE TORCH APPLIED 2 PLY SBS TO RCABC REQUIREMENT. ACCEPTABLE PRODUCT :  
 VAPOUR BARRIER - SOPRAPLY 520 BASE  
 RIGID INSULATION - TYP. FLAT BOARD POLYISOCYANURATE FOAM TO CGSB 51-GP-21M 1978, THICKNESS TO MATCH EXISTING  
 BASE SHEET - SOPRAPLY 520 BASE  
 CAP SHEET - SOPRASTAR FLAM HD GR. , COLOR GREY
- PROVIDE GALVANIZED METAL SLEEVES CAULKING, AND FLASHING & ROOFING TIE-IN IN ACCORDANCE W/ RCABC STANDARD
- METAL FLASHING TO BE 24GA MIN. GALVANIZED TO MATCH EXISTING.
- ALL ROOFING ASSEMBLY COMPONENT ARE NEW UNLESS NOTED AS EXISTING.
- EXISTING ROOFING INTERFACE :  
 - TIE IN AREAS SHOULD BE 1200 IN WIDTH. SPUD EXISTING ROOF TO REMOVE GRAVEL SURFACING.  
 - CUT DOWN TO THE DECK TO PROVIDE MEMBRANE WATER CUT-OFFS TO PREVENT LEAKAGE INTO THE NEW ROOF AREA.  
 - INSTALL TORCHED BASED PLY TO DECK AS VAPOUR BARRIER ONTO EXISTING ROOF FOR 300MM AS CUT OFF MEMBRANE.  
 - INSTALL NEW INSULATION, POLYISOCYANURATE AND OVERLAY BOARDS. USE SPRAY FOAM ADHESIVE TO ADHERE INSULATION AND FIBRE PROTECTION BOARD OVERLAY. FULLY TORCH TWO PLY S.B.S. BASE AND CAP SHEET. PROVIDE MINIMUM OF 2 SEALS ONTO EXISTING ROOF FOR 1800MM TIE IN. NEW MEMBRANE SHOULD BE TORCHED OVER VAPOUR BARRIER CUT-OFF THAT EXTENDS ONTO EXISTING MEMBRANE FOR 300MM.  
 - FULLY MEMBRANE AND METAL CAP ALL NEW PIPING PENETRATION



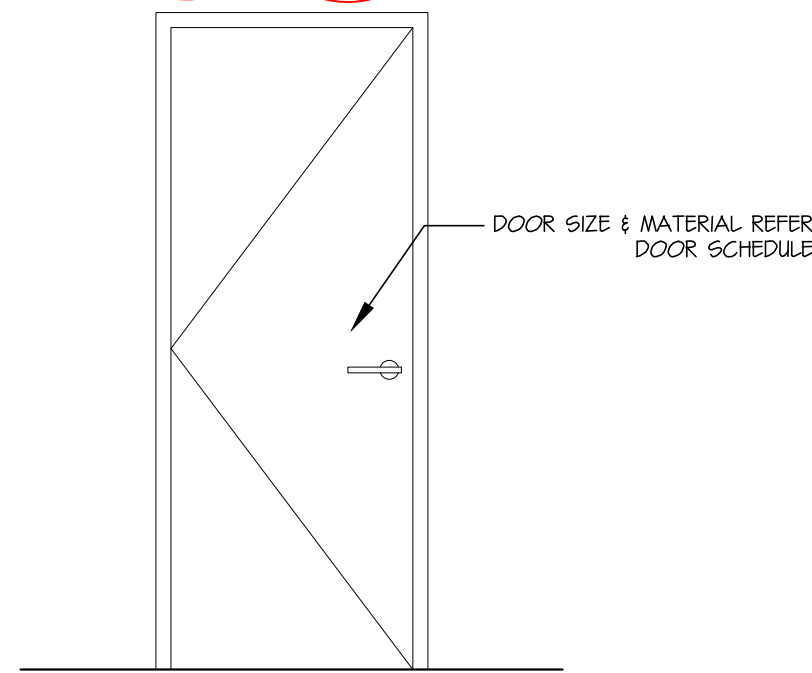
7 TYPICAL GOOSNECK PENETRATION  
A-09 1:5



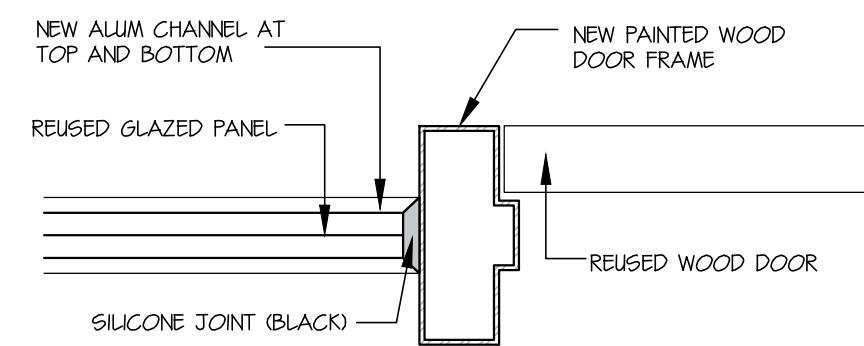
4 TYPICAL PRESS STEEL FRAME HEAD DETAIL  
A-09 1:5



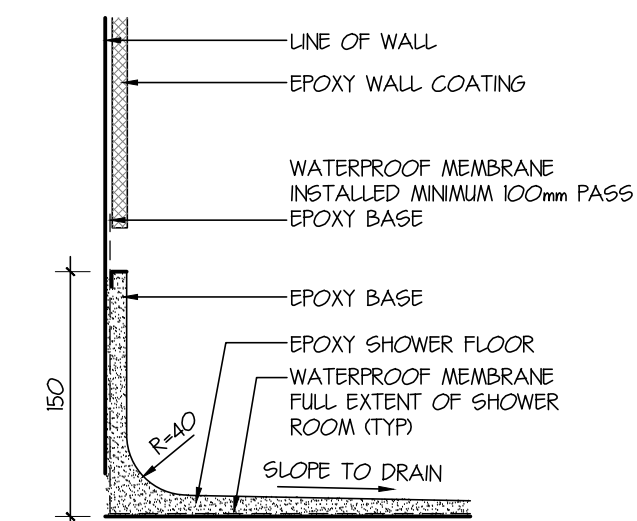
3 TYPICAL PRESS STEEL JUMP DETAIL  
A-09 1:5



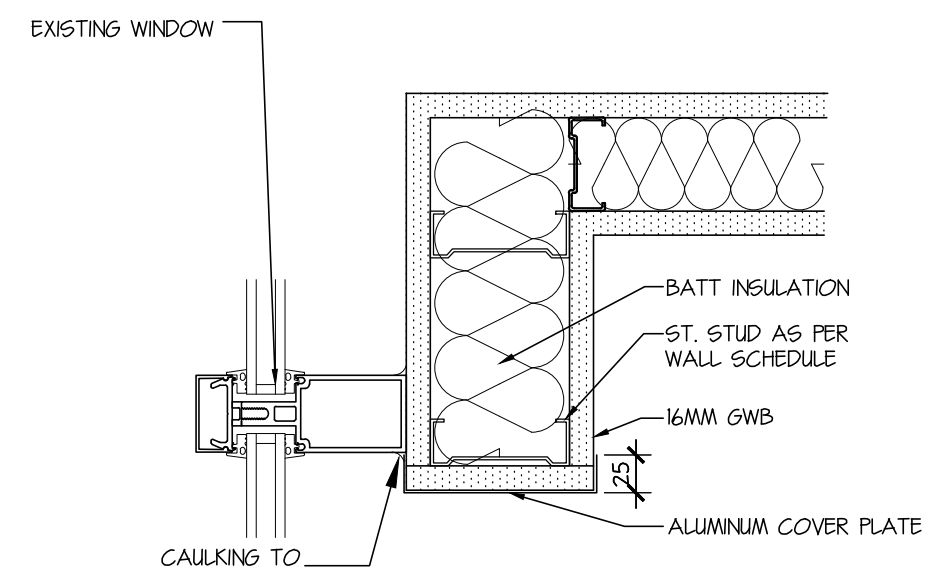
11 TYPICAL NEW WOOD / PRESSED STEEL DOOR FRAME ELEVATION  
A-09



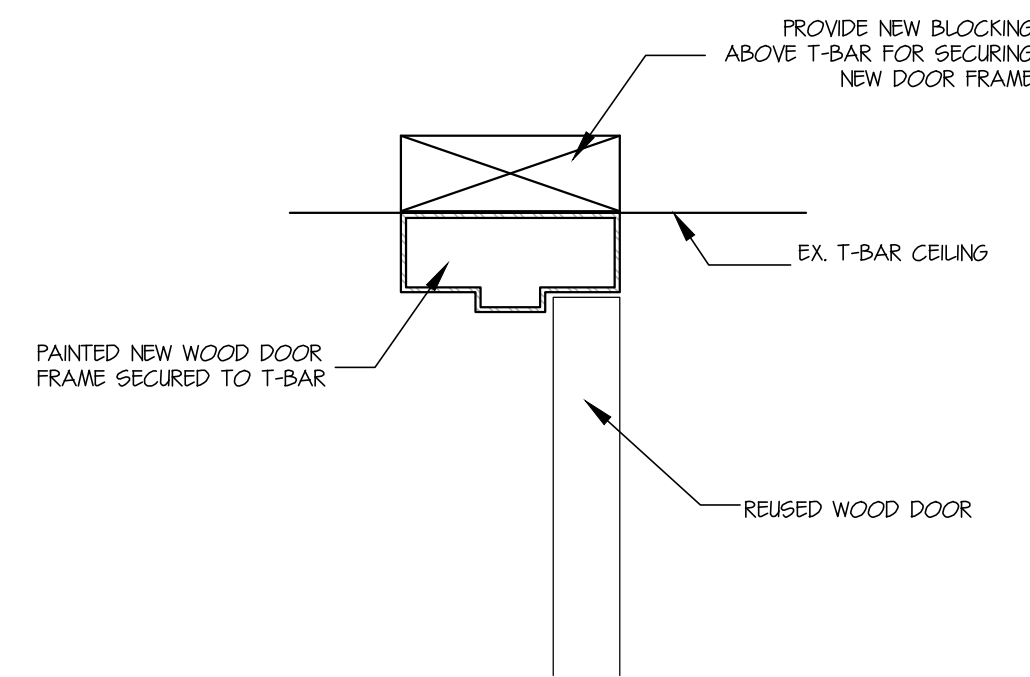
9 TYPICAL WOOD DOOR JAMB WITH SIDELITE  
A-09 1:5



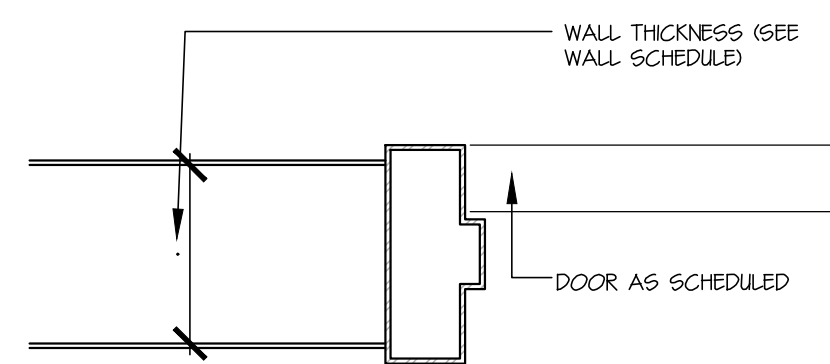
6 TYP. SHOWER FLOORING AND BASE DETAIL  
A-15 1:5



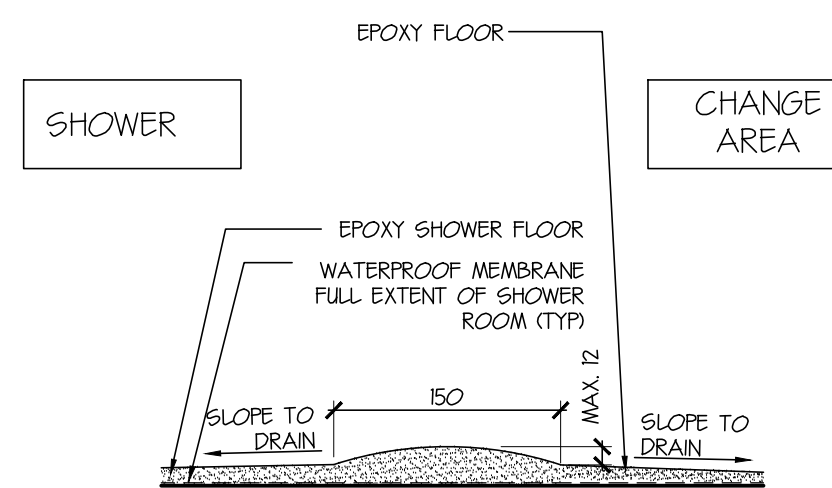
2 TYPICAL INTERIOR WALL @ MULLION DETAIL  
A-09 1:5



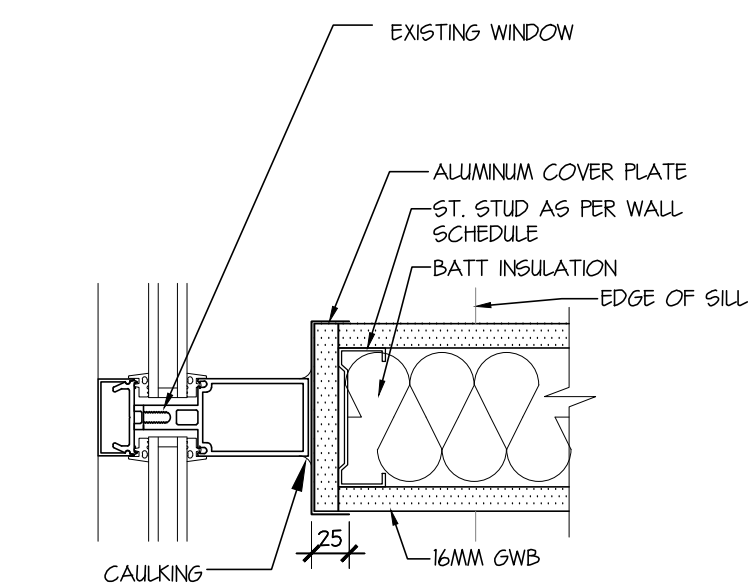
10 TYPICAL WOOD DOOR HEAD  
A-09 1:5



8 TYPICAL WOOD DOOR JAMB  
A-09 1:5



5 TYPICAL SHOWER TRANSITION DETAIL  
A-09 1:5



1 TYPICAL INTERIOR WALL @ MULLION DETAIL  
A-09 1:5

No.	DATE	REVISION
2	17/08/18	ISSUED FOR ADDENDUM 1
1	08/08/18	ISSUED FOR BUILDING PERMIT AND TENDER

PROJECT TITLE  
**TENANT FIT-OUT FOR ECHELON CENTRE**  
 6F-575 8TH AVE WEST VANCOUVER

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 clat: date:

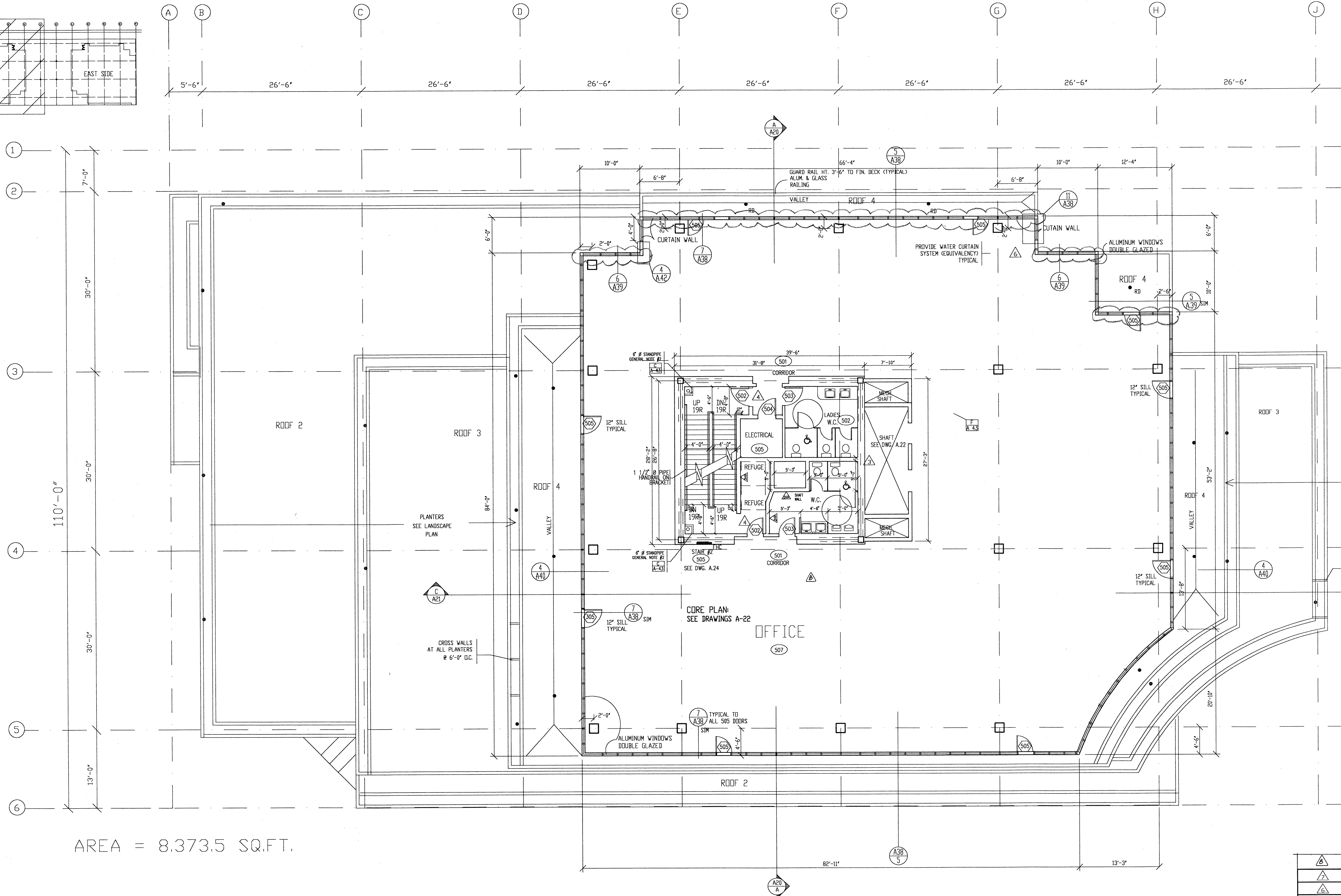
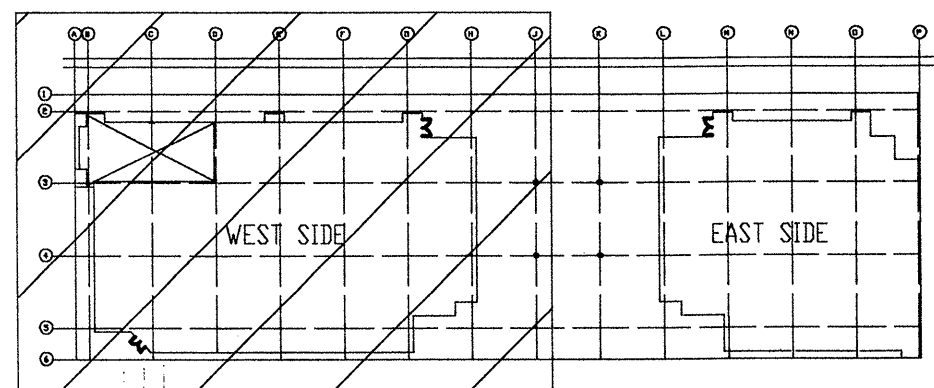
SHEET TITLE  
**6TH FLOOR TYPICAL DETAILS**

PROJECT No. 38017  
 DRAWN PM  
 CHECKED TY  
 SCALE 1:50 - U.N.O.  
 DATE 27/07/2018  
 PRINTED 27/07/2018

REVISION No. 2

**A-09**





- GENERAL NOTE:**
- STEEL FRAME AND GEORGIAN WIRE GLASS WINDOWS ARE TO BE PROTECTED WITH SPRINKLERS TO VESTIBULE AREAS, CORRIDORS FROM VESTIBULE TO EXIT STAIRS, AND AT STAIR #1 ENTRANCES, IN ACCORDANCE WITH VANCOUVER BUILDING BY-LAW SECTION 3.3.1.1
  - ALL FIRE STANDPIPES IN STAIR SHAFTS ARE TO BE ENCLOSED IN 2HR. SHAFT WALL ON EXPOSED STARWELL SIDE, IN ACCORDANCE WITH [6] TYPICAL [A-33]
  - ALL PARKING LEVELS: VANCOUVER BUILDING BY-LAW REQUIRES 2 METERS MINIMUM CLEARANCE HEIGHT TO STRUCTURE OR PIPING.
  - SEE WALL SCHEDULE ON DWG. A-43 FOR ALL U.L.C. FIRE RATINGS AND WALL TYPE SPECIFICATIONS.
  - ALL MECHANICAL DUCTS TO BE ENCLOSED WITH 2 HR. FIRE RATED SHAFT WALL (TYPICAL)
  - DESIGN, DETAILS, FABRICATION AND INSTALLATION OF ALL:
    - GUARDRAILS
    - METAL STUDS, SPANDREL WALLS
    - WINDOW GLAZING WALL
    - GLAZED CURTAIN WALL
 TO BE PREPARED, REVIEWED AND INSPECTED BY A REGISTERED B.C. STRUCTURE ENGINEER AND TO BE PROVIDED BY RED JONES CHRISTOFFERSEN FOR WIND, SEISMIC AND DEAD LOADS AS WELL AS FOR ADEQUATE ANCHORING IN ACCORDANCE WITH PART 4 OF THE VANCOUVER BUILDING CODE.
  - SPANDREL WALL DESIGN, FABRICATION AND INSTALLATION TO BE UNDER THE DIRECTION OF MANNOCK HERBY AND REVIEWED BY RED JONES CHRISTOFFERSEN.
  - ALL RIGID INSULATION TO BE NON-COMBUSTIBLE TYPE. ALL EXTERIOR SHEATHING TO BE EXTERIOR GRADE GYPSUM BOARD.
  - ALL GUARDRAILS MIN. 3'-8" HT. REVERE FINISH FLOOR OR DECK
  - WALL SCHEDULES AND COLUMN FIREPROOFING SEE DWG. A-43.

NUMBER	REVISION DESCRIPTION	DATE
△	CORRIDOR WALL DELETED	11 JUN '92
△	GENERAL	10 DEC '91
△	WATER CURTAIN SYSTEM	18 NOV '91
△	6" PERIMETRE INCREASE	NOV '91
△	GENERAL	25 OCT '91
△	ELEVATOR CORE WALL REDUCED FIRE RATINGS	05 SEPT '91
△	FOR BUILDING PERMIT	29 APR '91
△	GENERAL	13 FEB '91

**JONES DESIGN CORPORATION**  
 ARCHITECTS AND INTERIOR DESIGNERS  
 #201-567 Hornby St. Vancouver, B.C. V6C 2E8 (604) 689-5888 FAX 689-4032

**OFFICE BUILDING**  
 539 WEST EIGHTH AVENUE, VANCOUVER, B.C.

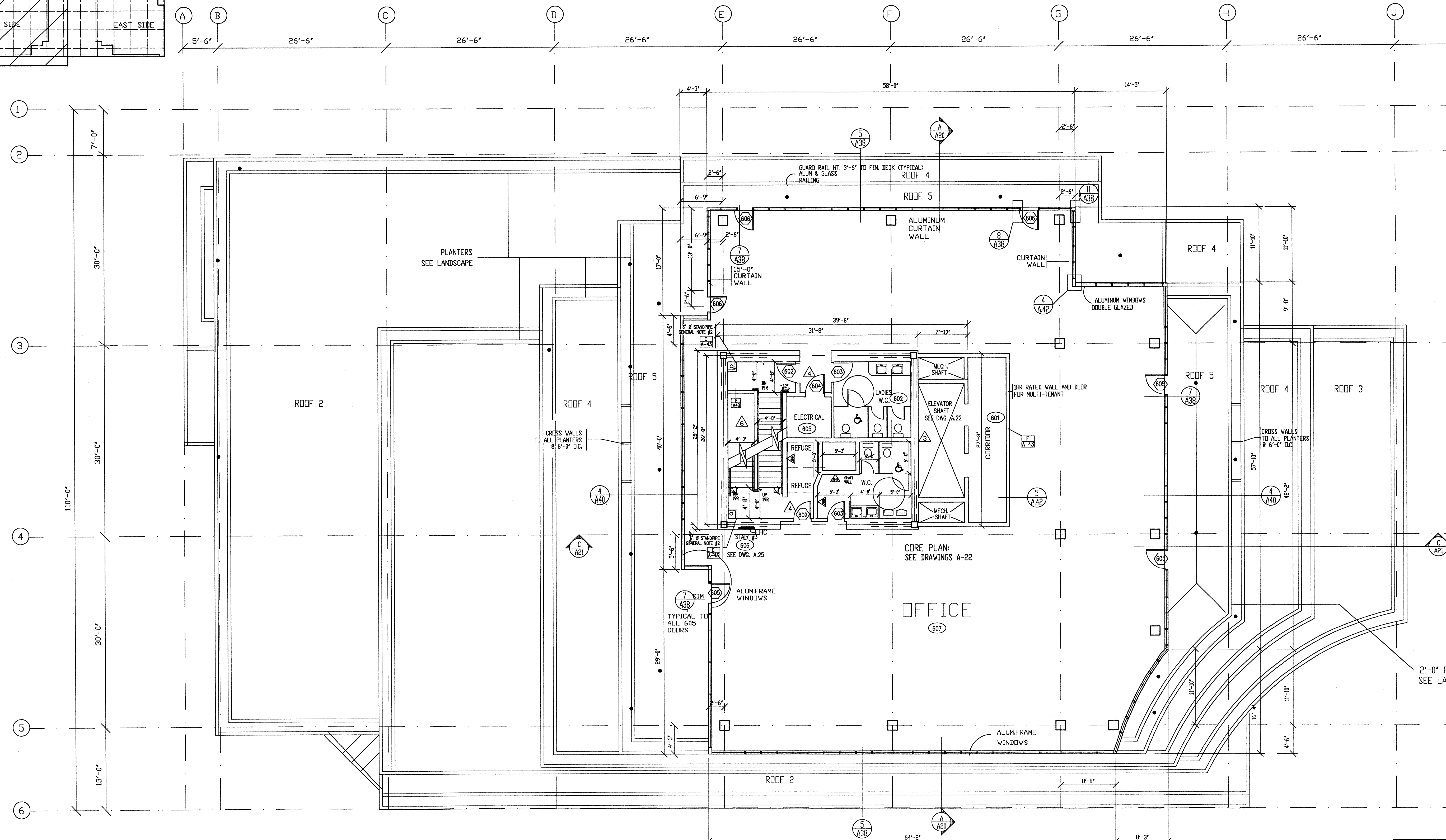
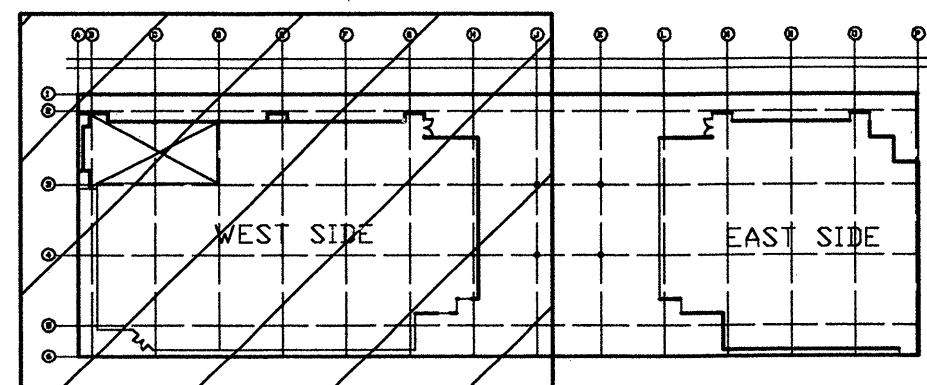
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**FIFTH LEVEL WEST SIDE**

SCALE: 1/8" = 1'-0"  
 DATE: DEC.07,1990

REVISIONS	DATE	DRAWN	JOB NUMBER
		VESNA	9005 SWESTS

A 13



- GENERAL NOTE**
- STEEL FRAME AND GEORGIAN WIRE GLASS WINDOWS ARE TO BE PROTECTED WITH SPRINKLERS TO VESTIBULE AREAS, CORRIDORS FROM VESTIBULE TO EXIT STAIRS, AND AT STAIR #1 ENTRANCES, IN ACCORDANCE WITH VANCOUVER BUILDING BY-LAW SECTION 3.3.8.11
  - ALL FIRE STANDPIPES IN STAIR SHAFTS ARE TO BE ENCLOSED IN 2 HR. SHAFT WALL ON EXPOSED STAIRWELL SIDE, IN ACCORDANCE WITH TYPICAL A-43
  - ALL PARKING LEVELS, VANCOUVER BUILDING BY-LAW REQUIRES 2 METERS MINIMUM CLEARANCE HEIGHT TO STRUCTURE OR PILING.
  - SEE WALL SCHEDULE ON DWG. A-43 FOR ALL U.L.C. FIRE RATINGS AND WALL TYPE SPECIFICATIONS.
  - ALL MECHANICAL DUCTS TO BE ENCLOSED WITH 2 HR. FIRE RATED SHAFT WALL (TYPICAL)
  - DESIGN, DETAILS, FABRICATION AND INSTALLATION OF ALL:
    - GUARDRAILS
    - METAL STAIRS, SPANDREL WALLS
    - WINDOW GLAZING WALL
    - GLAZED CURTAIN WALL
 TO BE PREPARED, REVIEWED AND INSPECTED BY A REGISTERED B.C. STRUCTURAL ENGINEER AND TO BE REVIEWED BY REID JONES CHRISTOFFERSON FOR WIND, SEISMIC AND DEAD LOADS AS WELL AS FOR ACCURATE ANCHORING IN ACCORDANCE WITH PART 4 OF THE VANCOUVER BUILDING CODE.
  - SPANDREL WALL DESIGN, FABRICATION AND INSTALLATION TO BE UNDER THE DIRECTION OF MARCOCK HESSEY AND REVIEWED BY REID JONES CHRISTOFFERSON.
  - ALL RIGID INSULATION TO BE NON-COMBUSTIBLE TYPE. ALL EXTERIOR CHASING TO BE EXTERIOR GRADE GYPSUM BOARD.
  - ALL GUARDRAILS MIN. 3'-6" HT. ABOVE FINISH FLOOR OR DECK
  - WALL SCHEDULES AND COLUMN FIREPROOFING SEE DWG. A-43.
  - CROSS WALLS TO ALL PLANTERS @ 6'-0" o.c. TYPICAL.

AREA = 6,153.2 SQ.FT.

NUMBER	REVISION DESCRIPTION	DATE
1	GENERAL	10 DEC '91
2	STAIR FLIGHT DELETED	14 NOV '91
3	6' PERIMETRE INCREASE	NOV '91
4	STAIR FLIGHT DELETED	NOV 13 '91
5	GENERAL	25 OCT '91
6	ELEVATOR CORE WALL REDUCE, FIRE RATINGS	05 SEPT '91
7	FDR BUILDING PERMIT	29 APR '91
8	GENERAL	13 FEB '91

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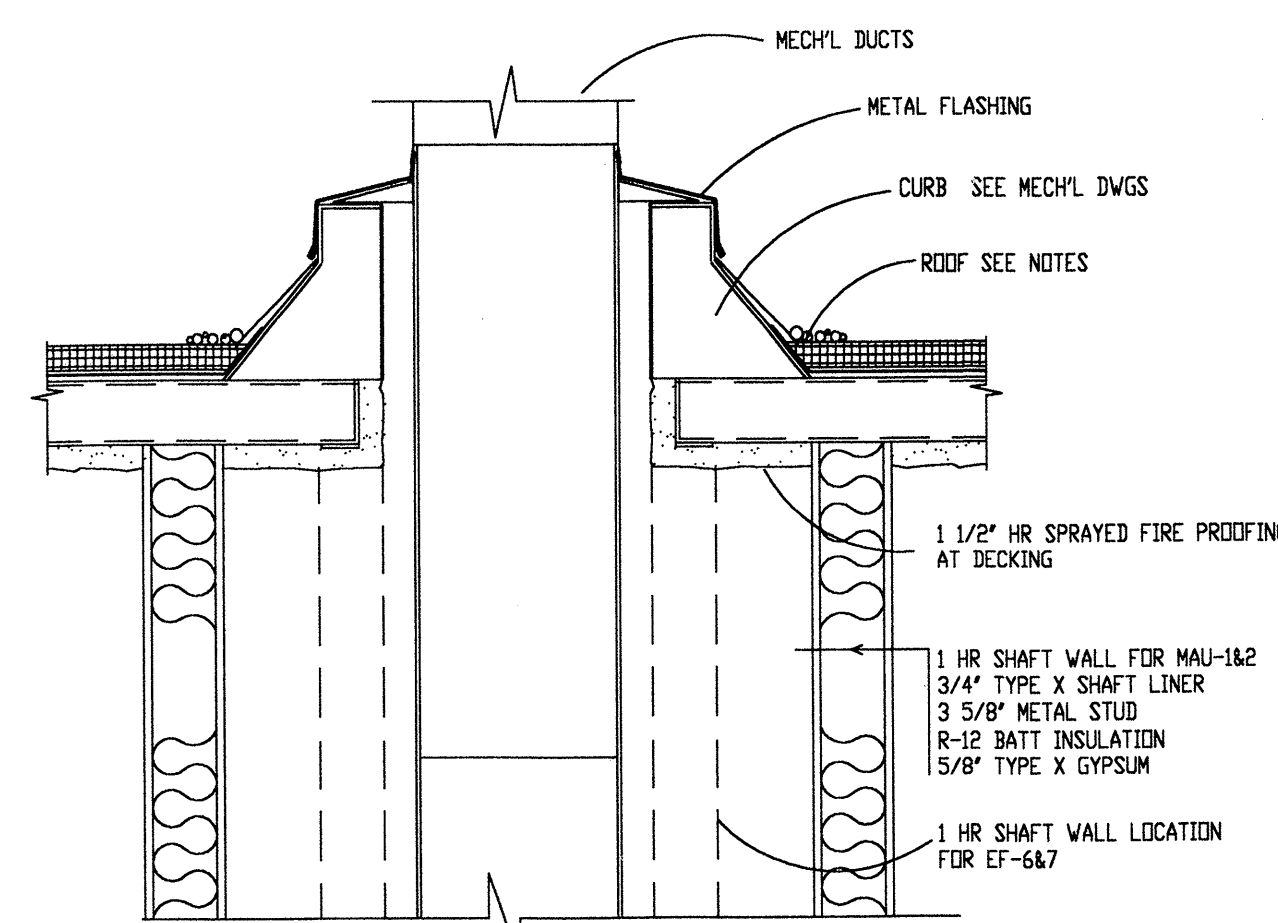
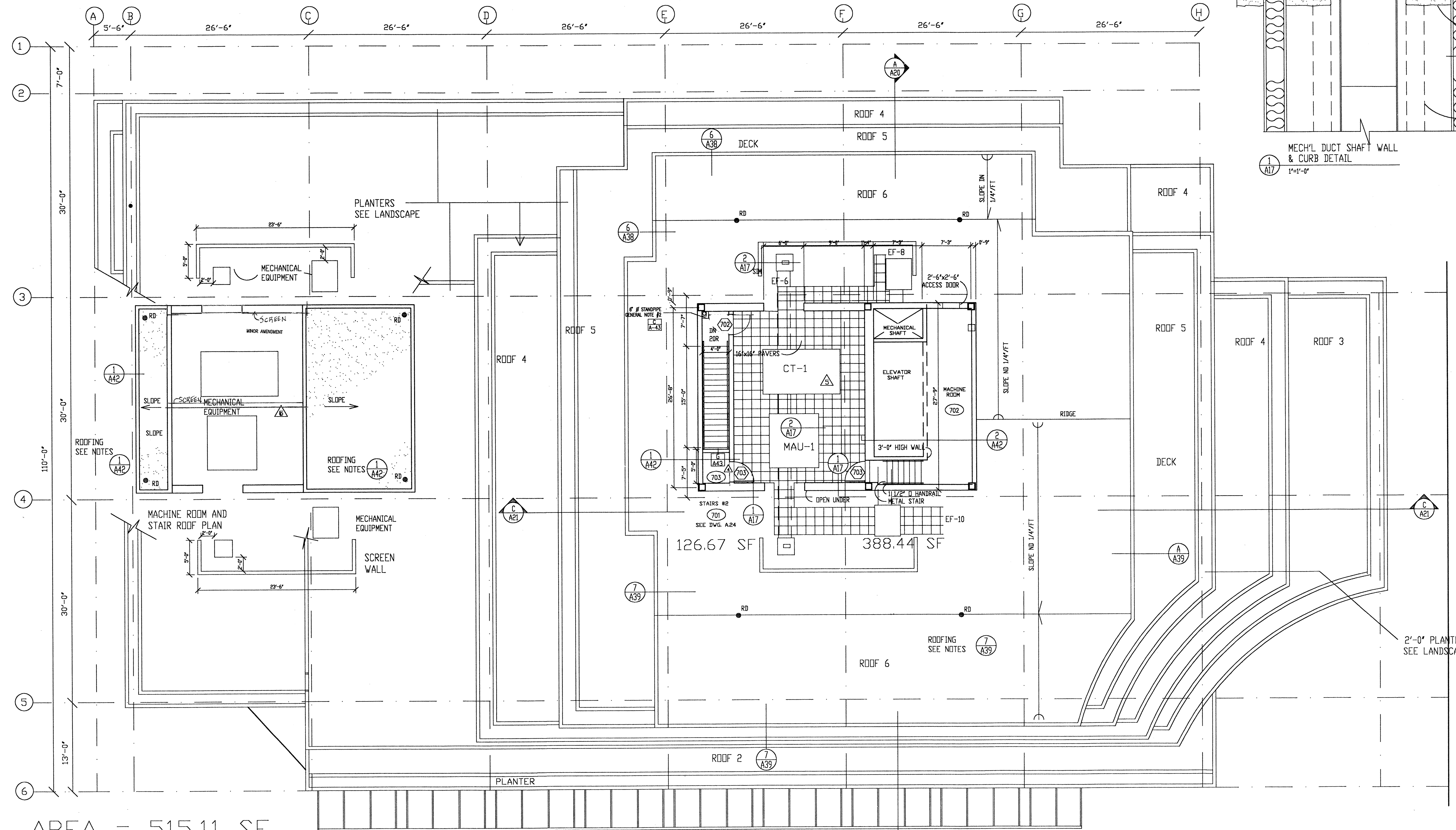
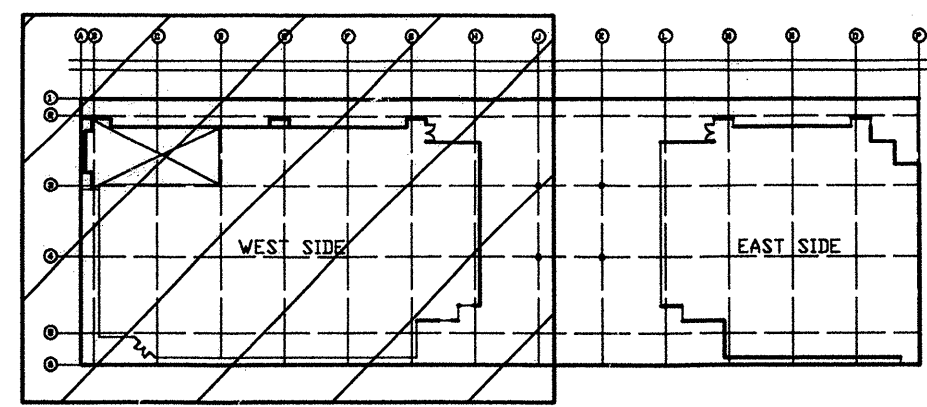
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**SIXTH LEVEL WEST SIDE**

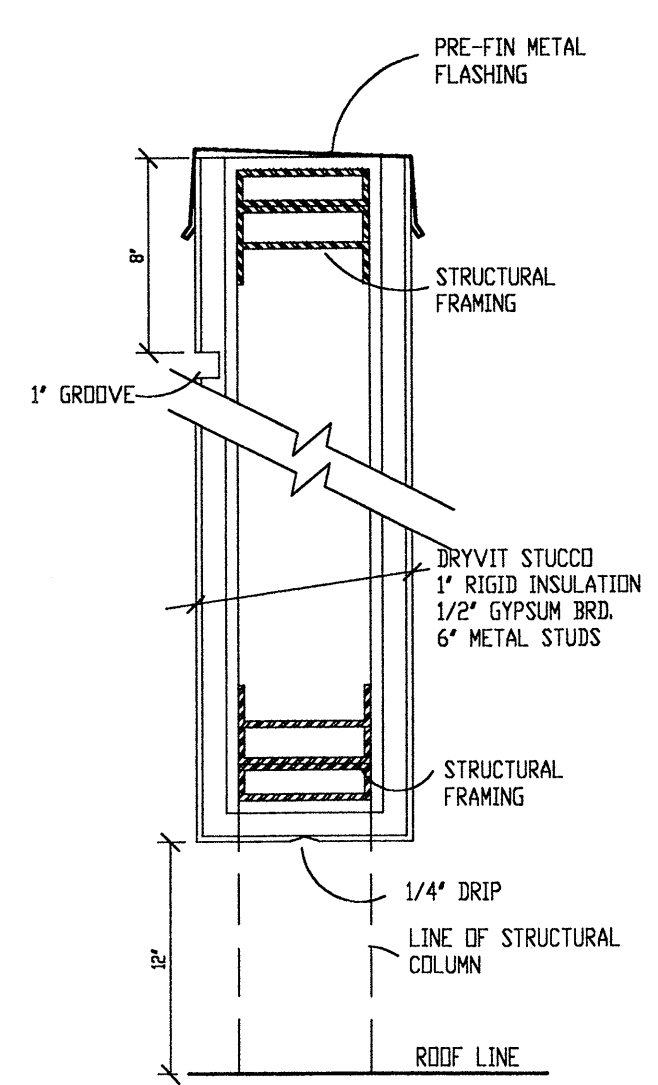
SCALE 1/8"=1'-0"	DATE DEC.07.1990	REVISIONS	DATE 20 JAN 1992	DRAWN VESNA	JOB NUMBER 9005 WEST6
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A 15





- GENERAL NOTE:**
- STEEL FRAME AND GEORGIAN WIRE GLASS WINDOWS ARE TO BE PROTECTED WITH SPRINGERS TO VESTIBULE AREAS, CORRIDORS FROM VESTIBULE TO EXIT STAIRS, AND AT STAIR ENTRY ENTRANCES, IN ACCORDANCE WITH VANCOUVER BUILDING BY-LAW SECTION 3.3.6.11
  - ALL FIRE STANDPIPES IN STAIR SHAFTS ARE TO BE ENCLOSED IN 2HR SHIRT WALL ON EXPOSED SPANDREL SIDE, IN ACCORDANCE WITH [C] TYPICAL [A-43]
  - ALL PARKING LEVELS: VANCOUVER BUILDING BY-LAW REQUIRES 2 METERS MINIMUM CLEARANCE HEIGHT TO STRUCTURE OR PILING
  - SEE WALL SCHEDULE ON DWG. A43 FOR ALL U.L.C. FIRE RATINGS AND WALL TYPE SPECIFICATIONS.
  - ALL MECHANICAL DUCTS TO BE ENCLOSED WITH 2 HR. FIRE RATED SHAFT WALL (TYPICAL)
  - DESIGN, DETAILS, FABRICATION AND INSTALLATION OF ALL:
    - GLAZERIES
    - METAL STUDS, SPANDREL WALLS
    - WINDOW GLAZING WALL
    - GLAZED CURTAIN WALL
 TO BE PREPARED, REVIEWED AND INSPECTED BY A REGISTERED B.C. STRUCTURAL ENGINEER AND TO BE REVIEWED BY REID JONES CHRISTOPHERSON FOR WIND, SEISMIC AND DEAD LOADS AS WELL AS FOR ADEQUATE ANCHORING IN ACCORDANCE WITH PART 4 OF THE VANCOUVER BUILDING CODE.
  - SPANDREL WALL DESIGN, FABRICATION AND INSTALLATION TO BE UNDER THE DIRECTION OF WARNOCK HERSEY AND REVIEWED BY REID JONES CHRISTOPHERSON.
  - ALL ROOF INSULATION TO BE NON-COMBUSTIBLE TYPE. ALL EXTERIOR SHEATHING TO BE EXTERIOR GRADE GYPSUM BOARD.
  - ALL GLAZERIES MIN. 3'-6" HT. ABOVE FINISH FLOOR OR DECK
  - WALL SCHEDULES AND COLUMN FIREPROOFING SEE DWG. A-43.



AREA = 515.11 SF

NUMBER	REVISION DESCRIPTION	DATE
1	MECH AMENDMENT	17 DEC '91
2	GENERAL	10 DEC '91
3	ROOM, WALL & DOOR ADDED	13 NOV '91
4	ELEVATOR CORE WALL REDUCED	05 SEPT '91
5	FOR BUILDING PERMIT	29 APR '91
6	GENERAL	13 FEB '91

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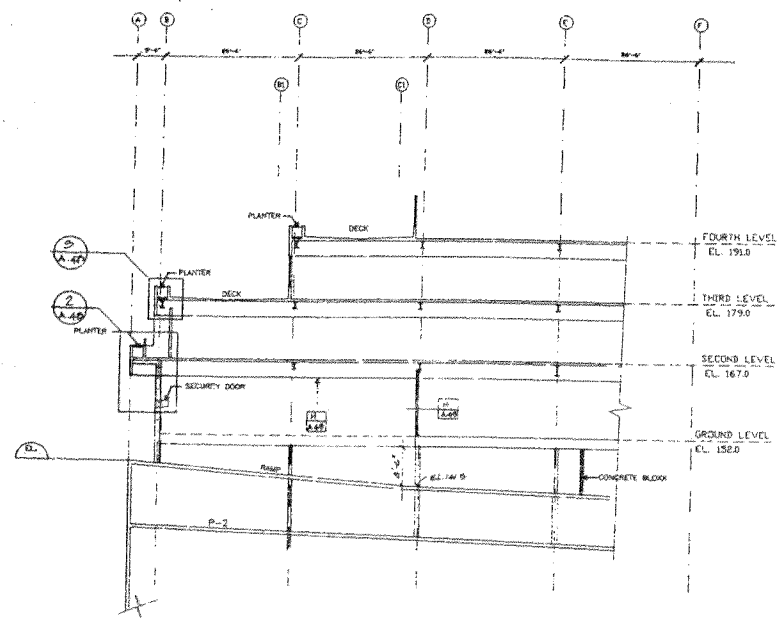
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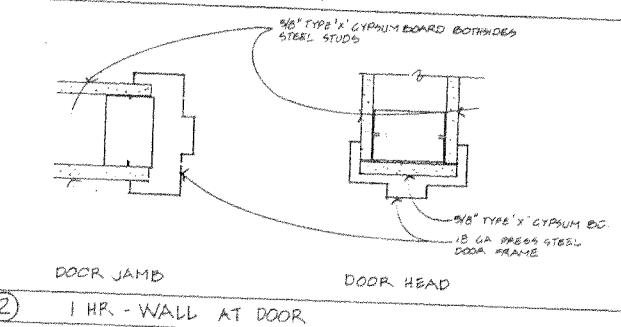
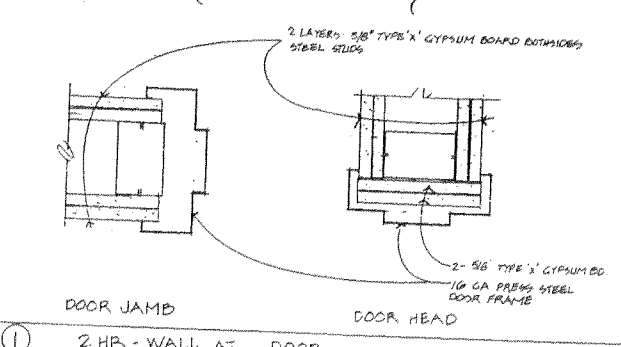
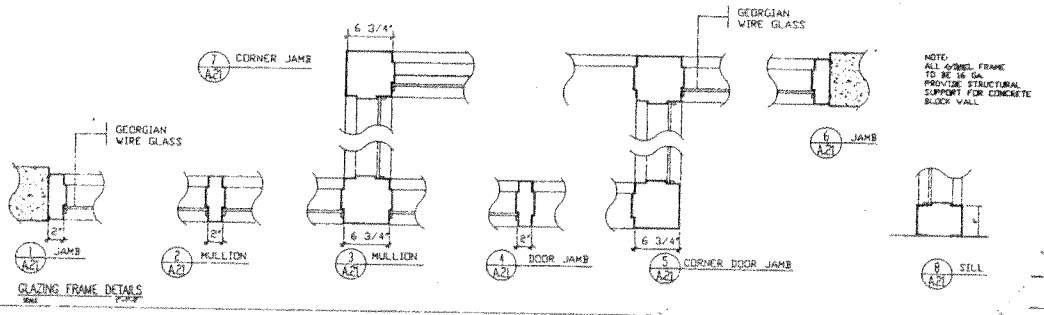
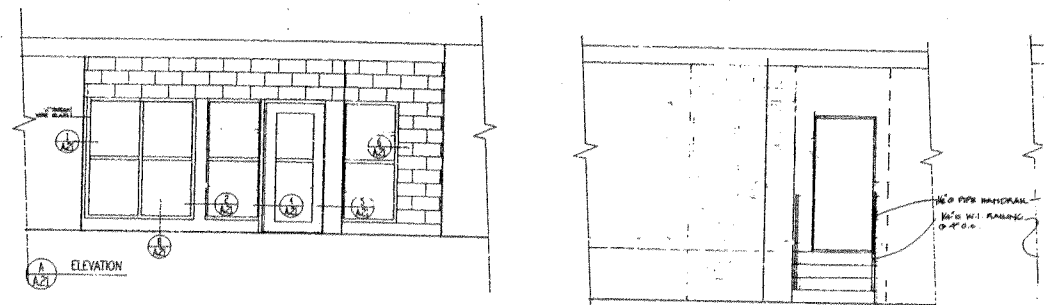
**PENTHOUSE LEVEL WEST SIDE**

SCALE	DATE	REVISIONS	DATE	DRAWN	JOB NUMBER
1/8"=1'-0"	NOV.30,1990		20 JAN 1992	VCSNA	9005, 3WESTP

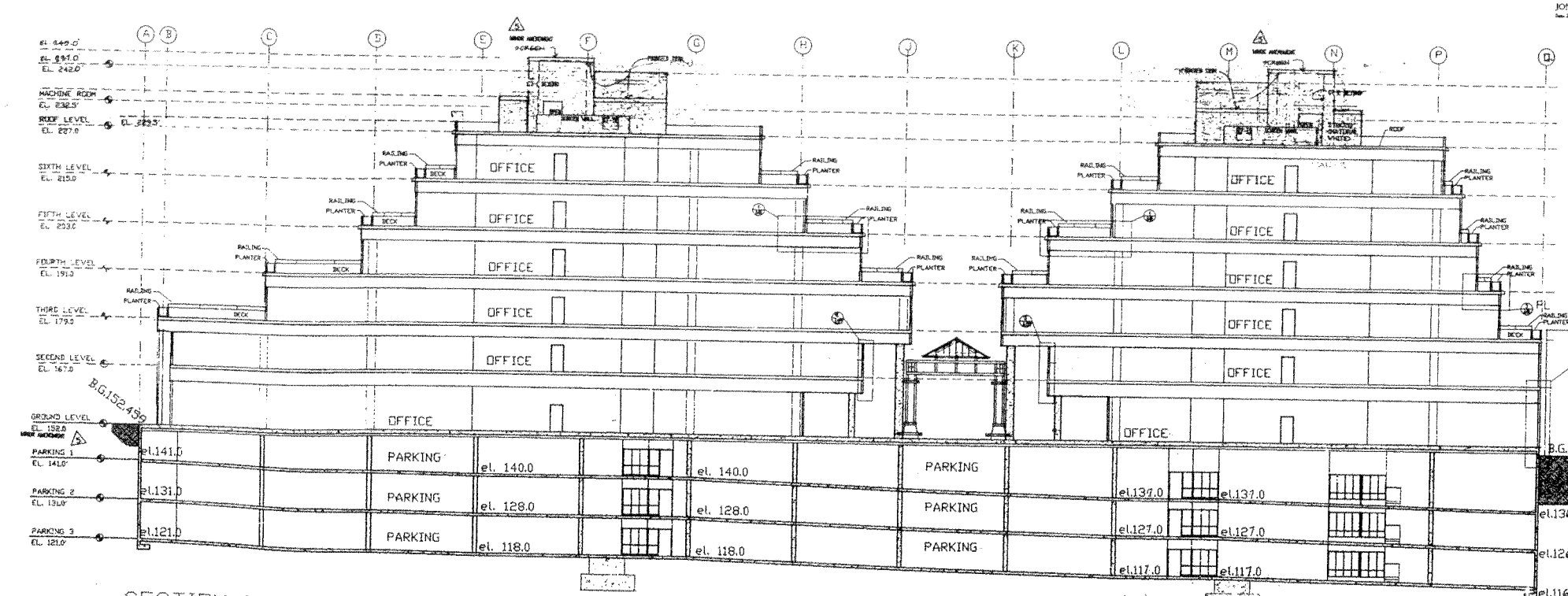
A 17



RAMP SECTION THRU D



DETAIL OF FIRE RATED WALLS AT DOORS  
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VANCOUVER, B.C.



SECTION THRU C-C

JONES DESIGN CORPORATION ARCHITECTS AND INTERIOR DESIGNERS  
201-567 Hornby Street, Vancouver, B.C. Canada V6C 2E8

SK - 5

- REVISIONS
- ALL FINISH LEVELS, UNLESS OTHERWISE NOTED, TO BE IN ACCORDANCE WITH THE 1997 NATIONAL BUILDING CODE.
  - SEE WALL SECTION ON SHEET 143 FOR ALL U.L.C. FIRE RATED WALL AND FLOOR PENETRATIONS.
  - ALL MECHANICAL, ELECTRICAL AND PLUMBING TO BE ENCLOSED WITH 2 HR FIRE RATED WALL (TYPICAL).
  - CHECK, REVISIONS AND MODIFICATIONS OF ALL:
    - CONCRETE
    - STEEL STUDS, SPANNER WALLS
    - WOOD GLAZING WALL
    - GLAZED CURTAIN WALL
 TO BE PROVIDED, REVIEWED AND APPROVED BY A REGISTERED B.C. CONSULTING ENGINEER AND TO BE MARKED BY RED JAMES CONSULTING ENGINEER FOR WALL, STAIR AND ROOF LISTS AS WELL AS FOR REVISIONS MADE IN ACCORDANCE WITH PART 4 OF THE VANCOUVER BUILDING CODE.
  - SPANNER WALL:
    - SEE WALL SECTION AND REVISIONS TO BE UNDER THE DIRECTION OF BRUNNEN RESEY AND REVISION.
    - ALL REVISIONS TO BE NON-COMBUSTIBLE TYPE, ALL EXTERIOR FINISHES TO BE EXTERIOR GRADE OR BETTER.
    - ALL CONCRETE WALL 3'-0" THICK, FINISH FLOOR OR DECK.
    - WALL PENETRATIONS AND COLUMN PENETRATIONS SEE SHEET 144.
    - STEEL WALLS TO ALL PLANNERS @ 2'-0" ON CENTER.
    - ALL CONCRETE WALL 3'-0" FROM FINISH FLOOR.

NOTE: RE DRAWINGS OF RECORD  
THESE DRAWINGS ARE AS PRESENTED TO THE BUILDER FOR CONSTRUCTION PURPOSES. THEY INCORPORATE ALL REVISIONS AND APPROVED CHANGES TO THE BEST OF JONES DESIGN CORPORATION'S INFORMATION, KNOWLEDGE, AND REVIEW. THEY DO NOT REPRESENT "AS BUILT".

DATE: *1/10/94* BY: *ALP* S.S. JONES, M.A.I.B.C.

REVISION	DESCRIPTION	DATE
1	SEE REVISION AND CORRECT WALL	10/22/93
2	GENERAL	10/22/93
3	GENERAL	10/22/93
4	FOR BUILDING PERMIT	11/18/93
5	GENERAL	11/18/93
6	REVISION	11/18/93

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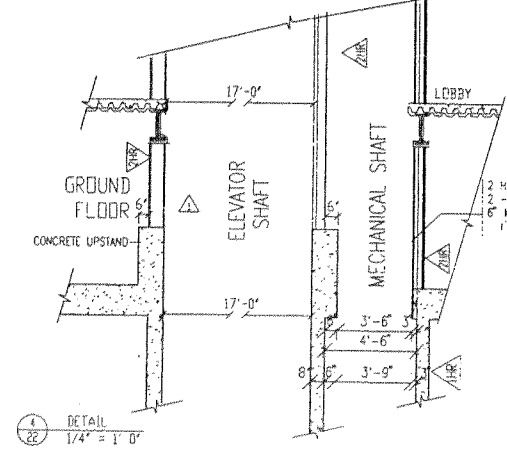
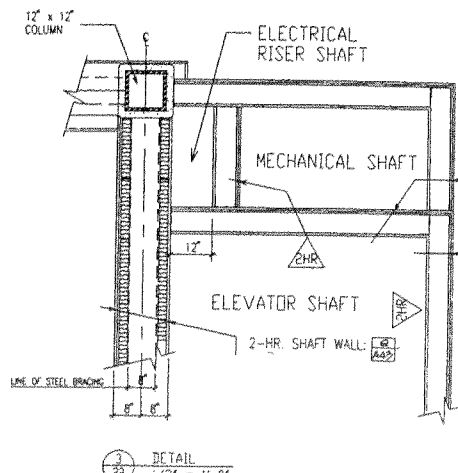
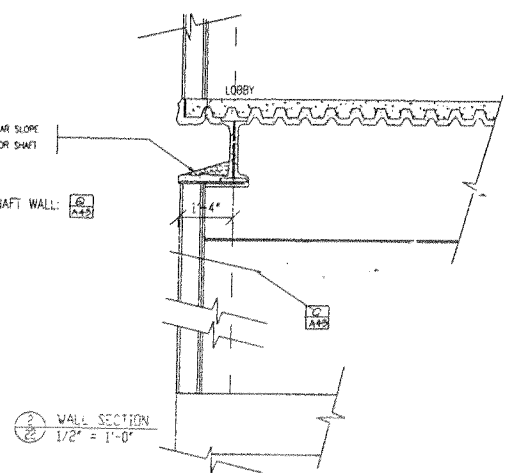
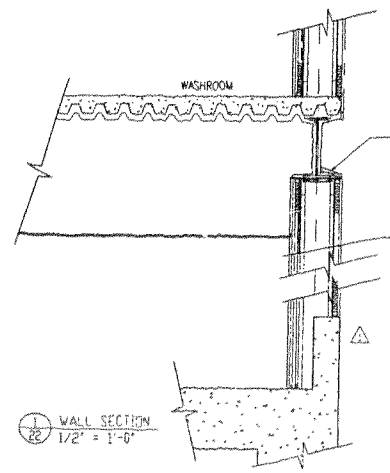
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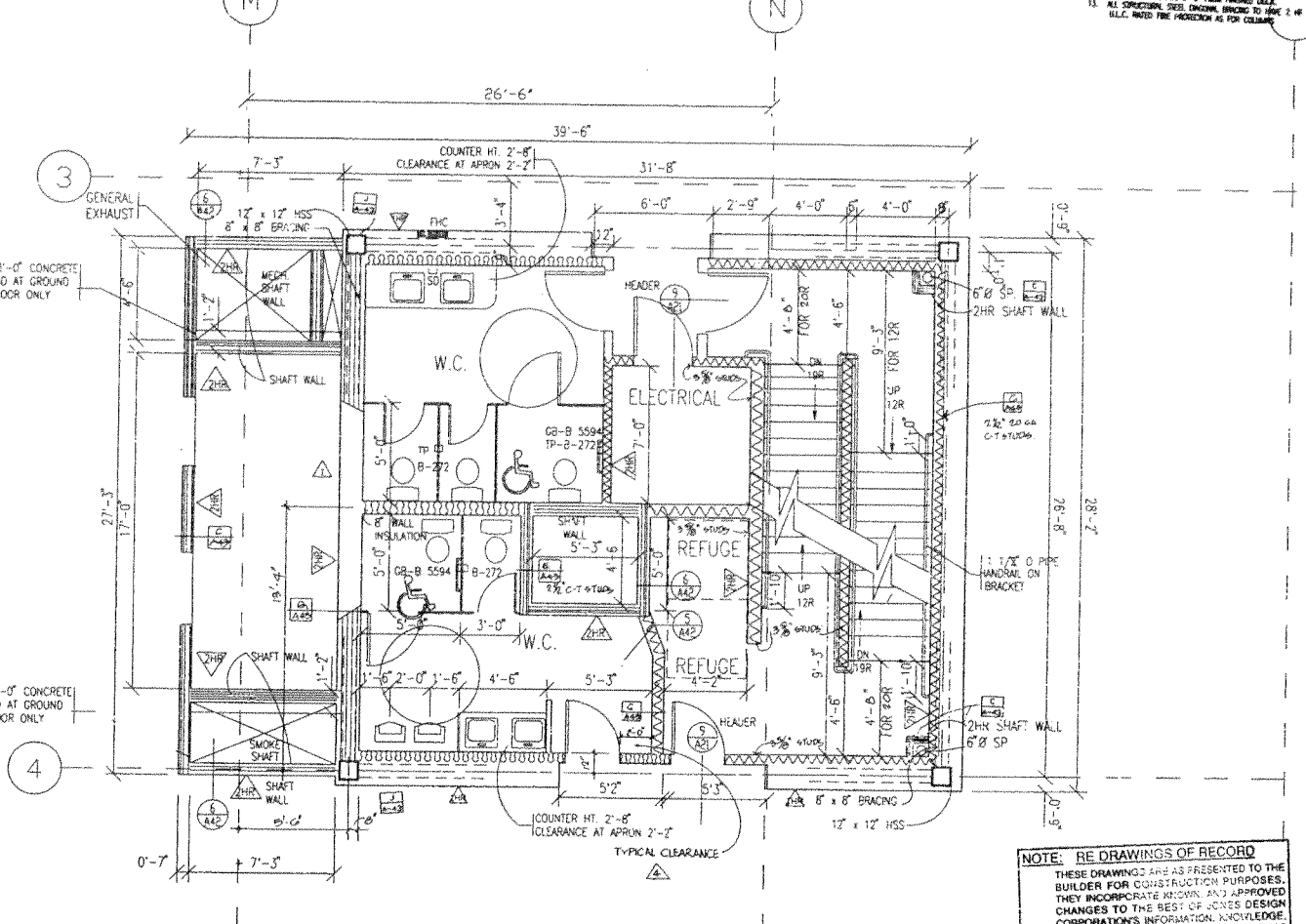
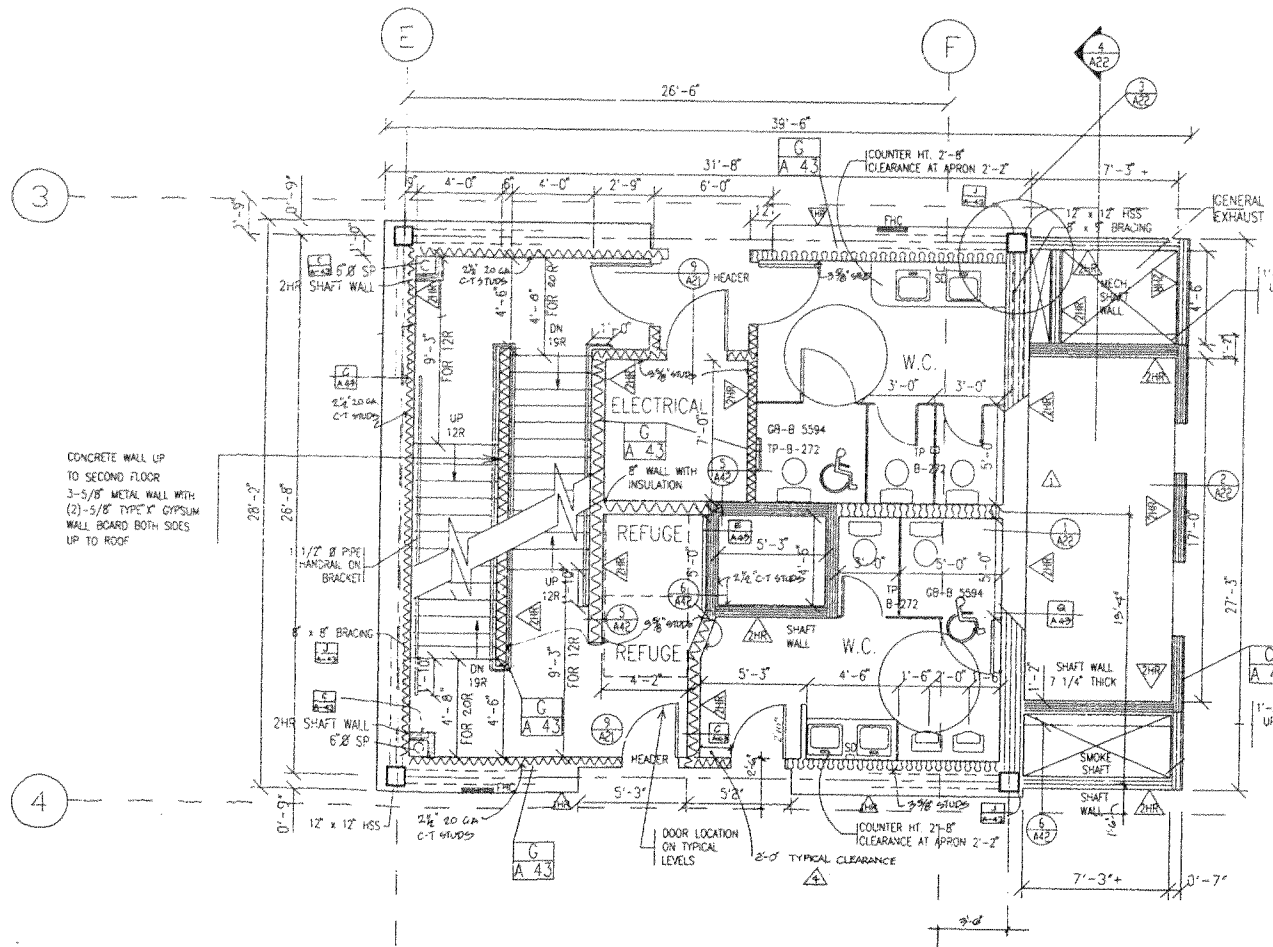
SECTION THRU C-C  
AND RAMP SECTION

A 21

SCALE	DATE	REVISIONS	DATE	DRAWN	CHECKED
1/16"=1'-0"	DEC.07.1990		20 JAN 1992	VEENA	JAMES



- GENERAL NOTE**
1. STEEL FRAME AND CONCRETE CORE SHALL BE PROTECTED WITH SPARKLESS ROOFING MATERIAL, CONFORMING WITH REQUIREMENTS OF CANADIAN AND AMERICAN STANDARDS IN ACCORDANCE WITH SECTION 3.3.1.1.1.
  2. ALL FIRE RESISTANT IN CORE SHAFTS ARE TO BE ENCLOSED IN THE SHAFT ON EXPOSED SURFACES, SEE IN ACCORDANCE WITH SECTION 3.3.1.1.1.
  3. ALL FINISH LEVELS UNLESS OTHERWISE SPECIFIED SHALL BE FINISH FLOOR FINISH.
  4. SEE WALL SECTION ON ENCL. A.4.3 FOR ALL WALL FIRE RATING AND WALL TYPE SPECIFICATIONS.
  5. ALL MECHANICAL DECKETS TO BE ENCLOSED WITH 2 HR. FIRE RATED SHAFT WALL (TYPICAL):
    - 1) GIBBSIES
    - 2) METAL STUDS, SPARKLESS WALLS
    - 3) WINDOW CLADDING WALL
    - 4) GIBBSIES
  6. TO BE PROVIDED, REVIEWED AND APPROVED BY A REGISTERED P.E.C. STRUCTURAL ENGINEER AND TO BE REACHED BY ROAD JARVIS CHECKPOINTS FOR FIRE, SEISMO AND DEAD LOADS AS WELL AS FOR ASSURANCE MONITORING IN ACCORDANCE WITH PART 4 OF THE BRITISH COLUMBIA BUILDING CODE.
  7. SPARKLESS WALL DESIGN, FABRICATION AND INSTALLATION TO BE UNDER THE SUPERVISION OF WORKMANSHIP SUPERVISOR BY THE REGISTERED P.E.C. STRUCTURAL ENGINEER AND REVISIONS BY THE REGISTERED P.E.C. STRUCTURAL ENGINEER.
  8. ALL WOOD MEMBERSHIP TO BE EXTERIOR EDGE GYPSON BOARD, EXTERIOR SEALING TO BE EXTERIOR EDGE GYPSON BOARD.
  9. ALL COUNTERS SHALL BE 3'-0" WIDE ABOVE FLOOR OR BELOW FLOOR.
  10. WALL COUNTERS AND COLUMN PROTECTORS SEE ENCL. A-4.3.
  11. ALL COUNTERS SHALL BE 3'-0" FROM FINISHED DECK.
  12. ALL COUNTERS SHALL BE 3'-0" FROM FINISHED DECK.
  13. ALL STRUCTURAL STEEL ENDS BRACING TO HAVE 2 # B.L.C. W/2" FIRE PROTECTION AS FOR COLUMN.



**NOTE: RE DRAWINGS OF RECORD**  
 THESE DRAWINGS ARE AS PRESENTED TO THE BUILDER FOR CONSTRUCTION PURPOSES. THEY INCORPORATE KNOWN AND APPROVED CHANGES TO THE BEST OF JONES DESIGN CORPORATION'S INFORMATION, KNOWLEDGE AND REVIEW. THEY DO NOT REPRESENT "AS BUILT".

DATE: *12/12/92* BY: *M. Jones* FOR: *JONES DESIGN*

NUMBER	REVISION	DESCRIPTION	DATE
1	NOTES ADDED		20 JAN 92
2	GENERAL		10 DEC 91
3	GENERAL		30 OCT 91
4	ELEVATOR SHAFT WALL REDUCED, DETAILS		05 SEPT 91

**JONES DESIGN CORPORATION**  
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TYPICAL CORE PLANS  
 A 22

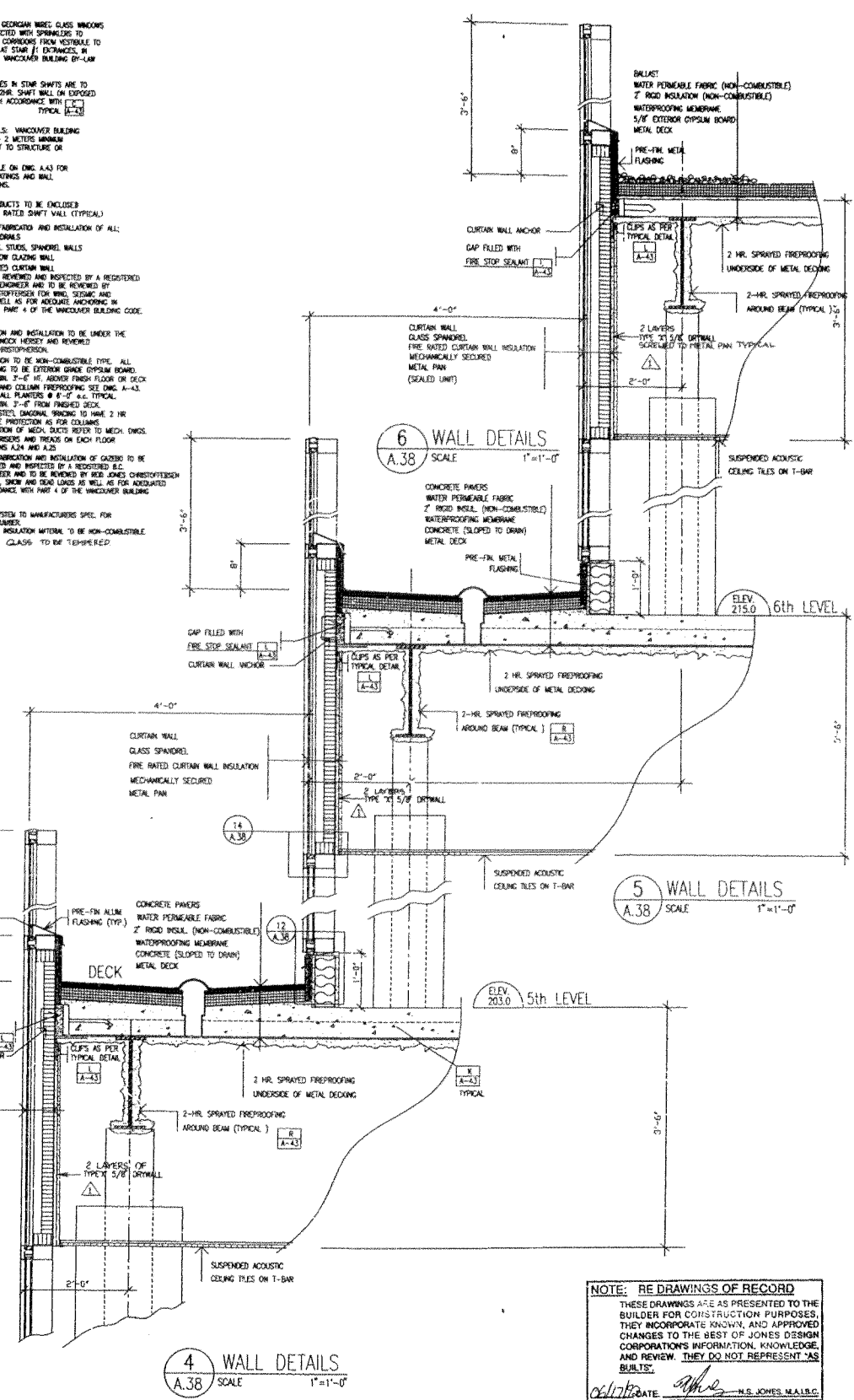
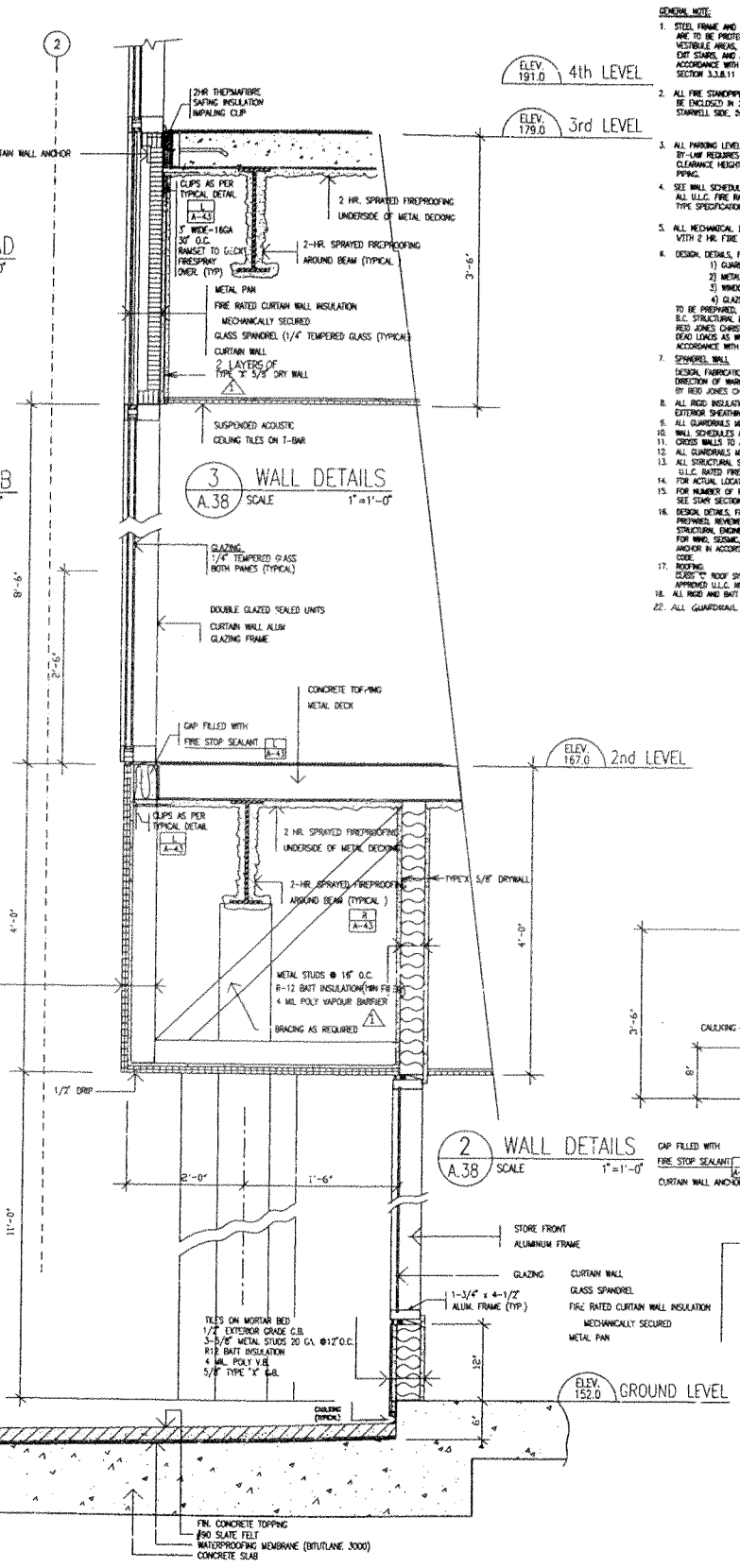
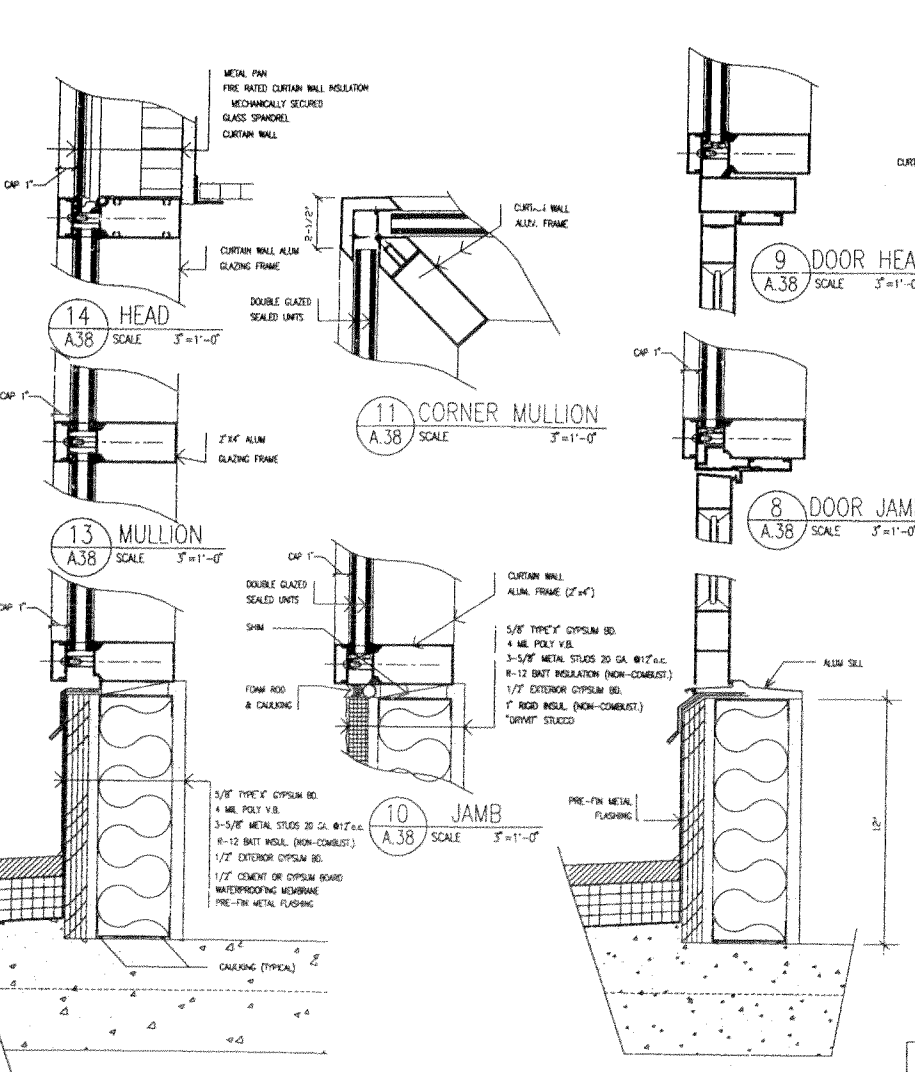
SCALE	DATE	REVISION	DATE	DRAWN	JOB NUMBER
1/4" = 1'-0"	DEC. 07, 1990		20 JAN 1992	VESNA	9005

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- GENERAL NOTE:**
- STEEL FRAME AND GERMAN WIRE GLASS WINDOWS ARE TO BE PROTECTED WITH SPRINKLER TO VESTIBULE AREA, COMPARTMENT VESTIBULE TO DFP STAIRS AND AT STAIR 1/2 ENTRANCES, IN ACCORDANCE WITH VACUUMER BUILDING BY-LAW SECTION 3.3.8.11.
  - ALL FIRE STOPPERS IN STAIR SHIFTS ARE TO BE ENCLOSED IN 2HR SHIRT WALL ON EXPOSED SHIRTSIDE, SEE, IN ACCORDANCE WITH TYPICAL A-43.
  - ALL FINISH LEVELS: VACUUMER BUILDING BY-LAW REQUIRES 2 METERS MINIMUM CLEARANCE HEIGHT TO STRUCTURE OR PIPING.
  - SEE WALL SCHEDULE ON DWG. A-43 FOR ALL U.L.C. FIRE RATINGS AND WALL TYPE SPECIFICATIONS.
  - ALL MECHANICAL DUCTS TO BE ENCLOSED WITH 2 HR. FIRE RATED SHIRT WALL (TYPICAL).
  - DESIGN DETAILS, FABRICATION AND INSTALLATION OF ALL:
    - GUARDRAILS
    - METAL STUDS, SPANDREL WALLS
    - WINDOW GLAZING WALL
    - GLAZED CURTAIN WALL
 TO BE PREPARED, REVIEWED AND INSPECTED BY A REGISTERED B.C. STRUCTURAL ENGINEER AND TO BE REVIEWED BY RED JONES CHRISTOPHERSON FOR WIND, SEISMIC AND DEAD LOADS AS WELL AS FOR ANCHORAGE IN ACCORDANCE WITH PART 4 OF THE VACUUMER BUILDING CODE.
  - SPANDREL WALL FABRICATION AND INSTALLATION TO BE UNDER THE DIRECTION OF WINDWOOD HANSEN AND APPROVED BY RED JONES CHRISTOPHERSON.
  - ALL ROOF INSULATION TO BE NON-COMBUSTIBLE TYPE, ALL EXTERIOR SHEATHING TO BE EXTERIOR GRADE OPSUM BOARD.
  - ALL GUARDRAILS MIN. 2'-0" HS. ABOVE FINISH FLOOR OR DECK.
  - WALL SCHEDULES AND CURTAIN FLOORING SEE DWG. A-43.
  - CORNER WALLS TO ALL PLANNERS @ 8'-0" O.C. TYPICAL.
  - ALL GUARDRAILS MIN. 2'-0" FROM FINISHED DECK.
  - ALL STRUCTURAL STEEL DIAGONAL BRACING TO HAVE 2 HR. U.L.C. WATER FIRE PROTECTION AS FOR COLLUMS.
  - FOR ACTUAL LOCATION OF MECH. DUCTS REFER TO MECH. DWGS. FOR NUMBER OF RISERS AND RISERS ON EACH FLOOR. SEE STAIR SECTIONS A-24 AND A-25.
  - DESIGN DETAILS, FABRICATION AND INSTALLATION OF GASKETS TO BE PREPARED, REVIEWED AND INSPECTED BY A REGISTERED B.C. STRUCTURAL ENGINEER AND TO BE REVIEWED BY RED JONES CHRISTOPHERSON FOR WIND, SEISMIC, SHOCK AND DEAD LOADS AS WELL AS FOR ANCHORAGE IN ACCORDANCE WITH PART 4 OF THE VACUUMER BUILDING CODE.
  - ROOFING: CLIPS TO ROOF SYSTEM TO MANUFACTURERS SPEC. FOR APPROVED U.L.C. NUMBER.
  - ALL ROOF AND BATT INSULATION MATERIAL TO BE NON-COMBUSTIBLE.
  - ALL GUARDRAIL GLASS TO BE TEMPERED.

**NOTE: RE DRAWINGS OF RECORD**  
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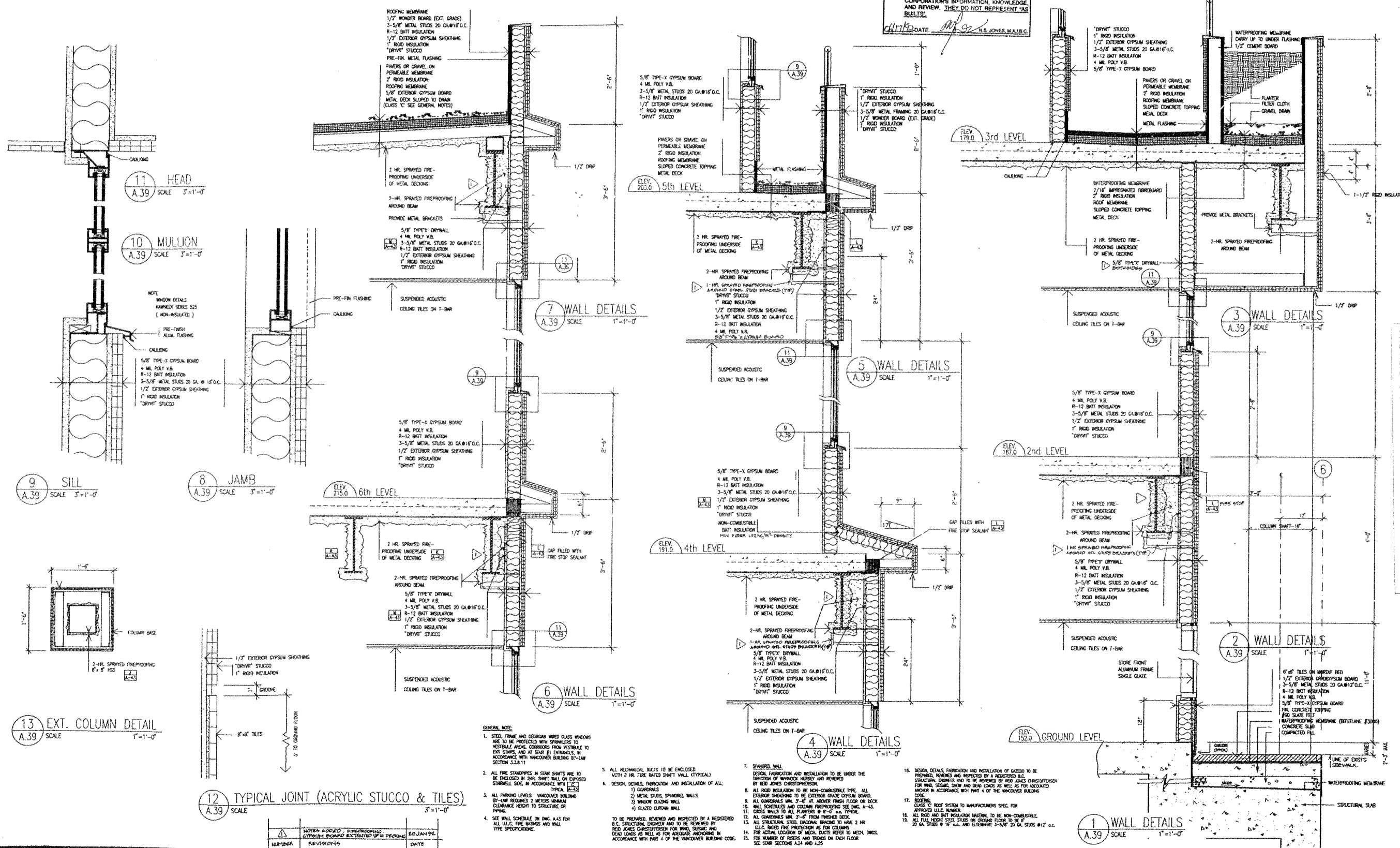
DATE: 20 JAN 1992  
DRAWN: JUN  
JOB NUMBER: 8405  
DETAILS

<b>JONES DESIGN CORPORATION</b> ARCHITECTS AND INTERIOR DESIGNERS #201-567 Hornby St. Vancouver, B.C. V6C 2E8 (604) 689-5888 FAX 689-4032		<b>OFFICE BUILDING</b> 539 WEST EIGHTH AVENUE, VANCOUVER, B.C.		COPYRIGHT MATERIAL Not to be reproduced without the written consent of the architect		<b>DETAILS</b> SCALE: AS SHOWN DATE: DEC 07, 1990 REVISIONS: DATE: 20 JAN 1992 DRAWN: JUN JOB NUMBER: 8405		<b>A 38</b> DATE: 20 JAN 1992 DRAWN: JUN JOB NUMBER: 8405	
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 CHANGES TO THE BEST OF JONES DESIGN  
 CORPORATION'S INFORMATION, KNOWLEDGE  
 AND REVIEW. THEY DO NOT REPRESENT "AS  
 BUILT".  
 DATE: 1/10/92 BY: JONES, M.A.B.E.



- GENERAL NOTE:**
- STEEL FRAME AND GEORGIN WOOD GLASS WINDOWS ARE TO BE PROTECTED WITH SPRINKLES TO VESTIBULE AREAS, CONDUITS FROM VESTIBULE TO EXT. STAIRS, AND AT STAIR #1 ENTRANCES, IN ACCORDANCE WITH VANCOUVER BUILDING BY-LAW SECTION 13.2.1.11.
  - ALL FIRE STOPPERS IN SHaft SHIFTS ARE TO BE ENCLOSED IN 2HR. SHFT WALL ON EXPOSED STAIRWELL SIDE, IN ACCORDANCE WITH [REDACTED] TYPICAL DETAIL.
  - ALL FINING LEVELS: VANCOUVER BUILDING BY-LAW REQUIRES 2 METERS UNIFORM CLEARANCE HEIGHT TO STRUCTURE OR FINING.
  - SEE WALL SCHEDULE ON DWG. A.4.3 FOR ALL U.L.C. FIRE RATINGS AND WALL TYPE SPECIFICATIONS.
  - ALL MEDICAL WELLS TO BE ENCLOSED WITH 2 HR. FIRE RATED SHFT WALL (TYPICAL).
  - DESIGN, DETAILS, FABRICATION AND INSTALLATION OF ALL:
    - COURTAINS
    - METAL STUDS, SPANDREL WALLS
    - WINDOW GLAZING WALL
    - GLAZED CURTAIN WALL
 TO BE PREPARED, REVIEWED AND INSPECTED BY A REGISTERED B.C. STRUCTURAL ENGINEER AND TO BE REVIEWED BY RED JONES CHRISTOPHERSON FOR WIND, SEISMIC AND DEAD LOADS AS WELL AS FOR ADEQUATE ANCHORING IN ACCORDANCE WITH PART 4 OF THE VANCOUVER BUILDING CODE.
  - SPANDREL WALL: DESIGN, FABRICATION AND INSTALLATION TO BE UNDER THE DIRECTION OF WINWOOD HERRICK AND REVIEWED BY RED JONES CHRISTOPHERSON.
  - ALL ROOF INSULATION TO BE NON-COMBUSTIBLE TYPE. ALL EXTERIOR SHEATHING TO BE EXTERIOR GRADE GYPSUM BOARD.
  - ALL GYPSUMS MIN. 3/4\"/>

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DETAILS

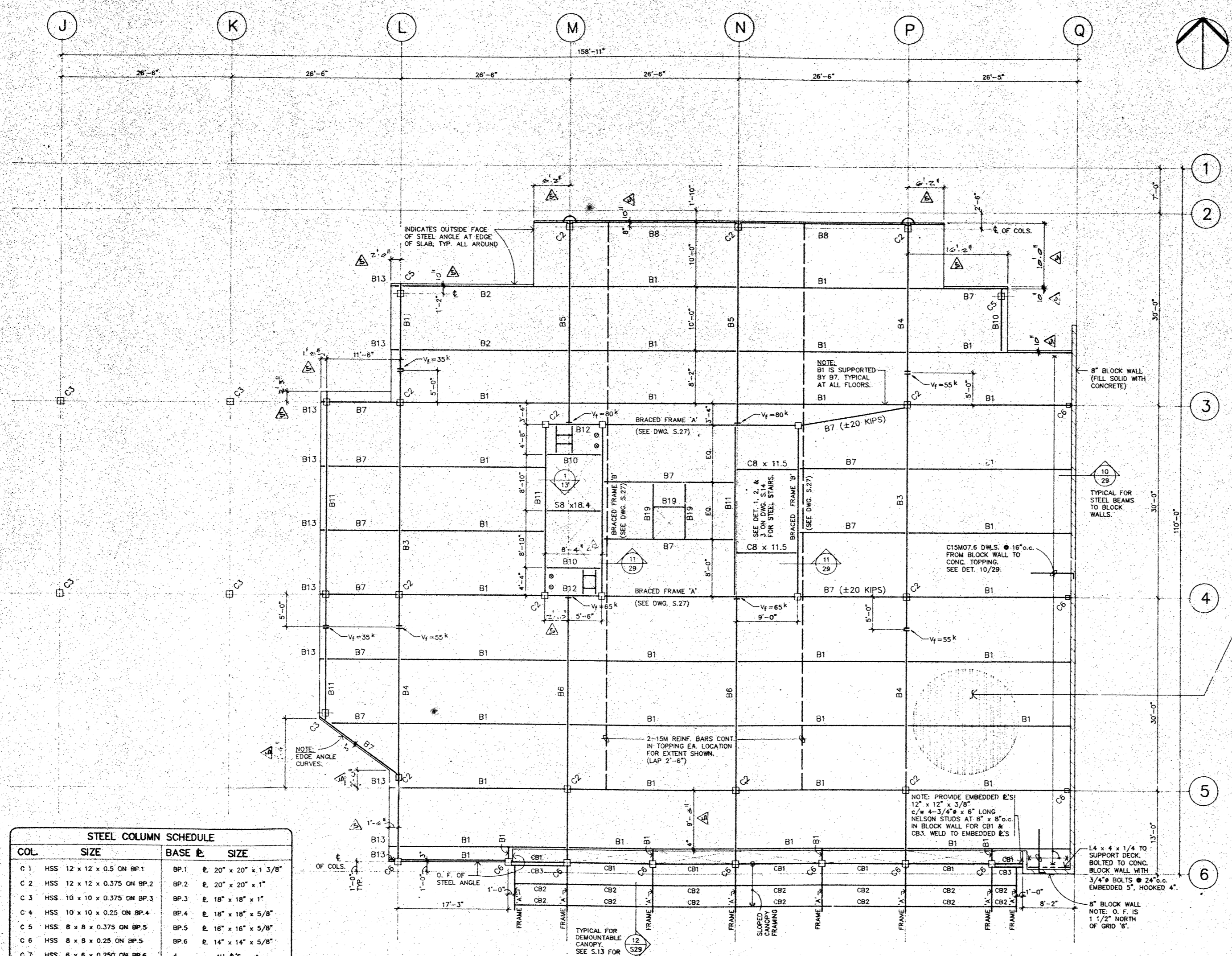
A 39

NO.	DATE	REVISIONS

SCALE	DATE	REVISIONS	DATE	DRAWN	JOB NUMBER
AS SHOWN	DEC 07, 1990		20 JAN 1992	ASH	8005 DETAIL 32



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STEEL BEAM SCHEDULE				
BEAM	SIZE (IMPERIAL)	SIZE (METRIC)	VF (KIPS) U.N.O.	COMMENTS
B 1	W16x26	W410x39	25 k	
B 2	W18x41	W460x61	40 k	
B 3	W18x50	W460x74		ORDER PASSES OVER COLUMN, SEE PLAN FOR VF AT SPLICE
B 4	W18x50	W460x74	55 k	ORDER IS TO PASS OVER COLUMN AS SHOWN ON PLAN
B 5	W24x68	W610x101	65 k	ORDER IS TO FRAME INTO SIDE OF COLUMN AT BRACED FRAME OTHERWISE RUN OVER COLUMN
B 6	W21x55	W530x82	65 k	
B 7	W14x22	W360x33	25 k	MOMENT CONNECT FOR M=110 K/FT. WHEN INDICATED ON PLAN
B 8	W16x31	W410x46	30 k	MOMENT CONNECT FOR M=178 K/FT. WHEN INDICATED ON PLAN
B 9	W16x26	W410x39	15 k	MOMENT CONNECT THRU BEAM FOR M=148 K/FT.
B10	W8x18	W200x27	15 k	
B11	W18x41	W460x61	35 k	
B12	W18x41	W460x61	70 k	
B13	W8x18	W200x27	10 k	CONNECT TO ADJACENT BEAM FOR M=15 K/FT.
B14	W21x55	W530x82	50 k	
B15	W24x76	W610x113	80 k	
B16	W24x94	W610x140	100 k	ORDER IS TO FRAME INTO SIDE OF COLUMN AT BRACED FRAME
B17	W24x84	W610x125	75 k	
B18	W24x104	W610x155	100 k	
B19	C6x8.2	C150x12	5 k	

**IMPORTANT NOTE TO CONTRACTOR:**  
 ALL DIMENSIONS TO EDGE OF FLOOR STRUCTURE ON DWGS. S.12 TO S.23 ARE TO BE CONSIDERED APPROXIMATE ONLY. CONFIRM ALL DIMENSIONS FOR EDGE OF FLOOR STRUCTURE WITH ARCHITECTURAL DRAWINGS.

- STEEL DECK AND CONC. TOPPING NOTES**
- ALL FLOOR DECK TO BE 3" 20 GA. COMPOSITE STEEL FLOOR DECK. LAY DECK WITH 3 SPAN MINIMUM. BUTT PUNCH DECK AT 12" o.c. WELD DECK TO SUPPORTS AND ALL AROUND PERIMETER AND EDGES EVERY FLUTE OR 8" o.c. MAX. WELD DECK TO ALL NORTH-SOUTH RUNNING BEAMS AT 8" o.c.
  - ROOF DECK TO BE 3" 20 GA. STEEL DECK, 3 SPAN MINIMUM. BUTT PUNCH DECK AT 8" o.c. WELD DECK TO SUPPORTS AND ALL AROUND PERIMETER AND EDGES EVERY FLUTE OR 8" o.c. MAX. WELD DECK TO ALL NORTH-SOUTH RUNNING BEAMS AT 8" o.c.
  - CONCRETE TOPPING ON 3" STEEL FLOOR DECK TO BE 2 1/2" (5 1/2" TOTAL SLAB THICKNESS). FOR OUTSIDE DECKS BUILD-UP TOPPING THICKNESS 1 1/2" MAX. FOR DRAIN SLOPES BUT PRESERVE MIN. 2 1/2" TOPPING. REINFORCE ALL TOPPING WITH W.W.M. 6x6-10/10 LAPPED 10" MINIMUM, PLUS EXTRA REINFORCING SHOWN ON PLAN.
  - MAXIMUM POUR DIMENSION FOR TOPPING ON STEEL DECK IS NOT TO EXCEED 100 FT. x 100 FT. FOR SHRINKAGE CRACKING CONTROL.
  - THE STEEL DECK AS A FORM MUST SAFELY CARRY THE WET CONCRETE, INCLUDING THE EFFECTS OF PONDING, OPENINGS, PLUS ALL CONSTRUCTION LOADS. JAWER DECK GAUGES, THAN INDICATED MAY BE REQUIRED FOR THIS.
  - NO PIPING OR ELECTRICAL CONDUIT TO BE PLACED IN CONCRETE TOPPING ON STEEL DECK UNLESS APPROVED IN WRITING BY STRUCTURAL ENGINEER.
  - FLOOR OPENINGS
    - FOR ALL OPENINGS DECK CONTRACTOR IS TO REINFORCE DECK IF REQUIRED TO CARRY WET CONCRETE AS A FORM.
    - ISOLATED OPENINGS NO GREATER THAN 6" x 6" REQUIRE NO SPECIAL REINFORCEMENT.
    - OPENINGS GREATER THAN 6" BUT LESS THAN 18" WIDTH MEASURED PERPENDICULAR TO DIRECTION OF FLOOR SPAN, TO HAVE 2-1/2" BOTTOM EXTRA EACH SIDE PROJECTING 4"-0" BEYOND OPENING. CUT DECK AFTER CONC. POURED. (BLOCKOUT TOPPING FOR OPENING)
    - OPENINGS GREATER THAN 18" WIDE TO HAVE STEEL FRAME SUPPORTS DESIGNED TO CARRY FLOOR LOADS.
    - SLEEVES AND OPENINGS FOR MECHANICAL AND ELECTRICAL SERVICES TO BE SPACED TO THAT THERE IS A MINIMUM OF 4" CLEAR BETWEEN OPENINGS, UNLESS APPROVED OTHERWISE BY STRUCTURAL ENGINEER.
    - OPENINGS LESS THAN 6" x 6" WHICH ARE SPACED SO THAT THERE IS LESS THAN 18" CLEAR BETWEEN THEM TO HAVE 2-1/2" x 5'-0" LONG BOTTOM EXTRA BETWEEN EACH PAIR OF HOLES.
    - MAXIMUM DEPTH OF PLANTER SOIL (INCLUDING DRAIN LAYER) ON EXTERIOR DECKS IS NOT TO EXCEED 18". ADD 6" EXTRA RIGID INSULATION TO BOT. OF PLANTERS.
    - FINISH OF EXTERIOR DECKS TO BE 1 1/2" CONC. PAVERS OR 2" CONC. TOPPING. BALLAST FOR ROOFING NOT TO EXCEED TO P.S.E.

STEEL COLUMN SCHEDULE			
COL.	SIZE	BASE	SIZE
C 1	HSS 12 x 12 x 0.5 ON BP.1	BP.1	20" x 20" x 1 3/8"
C 2	HSS 12 x 12 x 0.375 ON BP.2	BP.2	20" x 20" x 1"
C 3	HSS 10 x 10 x 0.375 ON BP.3	BP.3	18" x 18" x 1"
C 4	HSS 10 x 10 x 0.25 ON BP.4	BP.4	18" x 18" x 5/8"
C 5	HSS 8 x 8 x 0.375 ON BP.5	BP.5	16" x 16" x 5/8"
C 6	HSS 8 x 8 x 0.25 ON BP.6	BP.6	14" x 14" x 5/8"
C 7	HSS 6 x 6 x 0.250 ON BP.6		
C 8	HSS 6 x 6 x 0.375 ON BP.6		

NOTE: ALL E'S TO HAVE 4-7/8" ANCHOR BOLTS AT CORNERS.

**SECOND FLOOR PLAN**

NOTE: TOP OF STEEL ELEVATION = 166.54' (EXCEPT FOR CANOPY FRAMING) SEE DWG. S.13 FOR "STRUCTURAL STEEL NOTES"

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**SECOND FLOOR PLAN (EAST SIDE)**

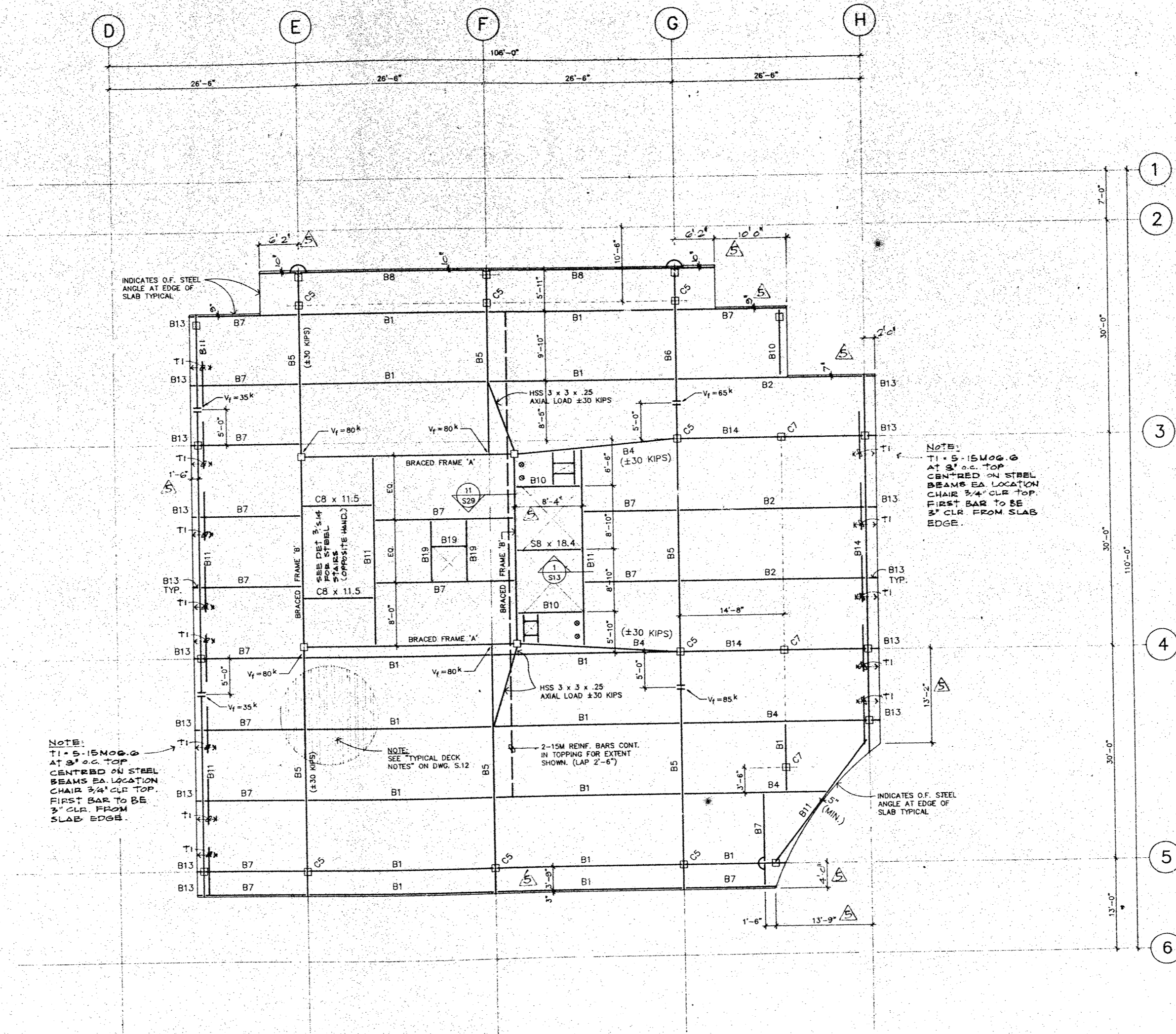
NO.	DATE	REVISION	BY	CHKD.
1	MAY 25/92	ISSUED FOR CONSTRUCTION		
2	MAR. 19/91	ISSUED FOR PRICING		
3	NOV. 22/1990	ISSUED FOR BUILDING PERMIT		

DATE: JAN. 10'94

S.12



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NOTE:  
 T1 = 5-15NOB. @  
 AT 3'-0" TOP  
 CENTERED ON STEEL  
 BEAMS EA LOCATION  
 CHAIR 3/4" CLR TOP.  
 FIRST BAR TO BE  
 3" CLR FROM  
 SLAB EDGE.

NOTE:  
 SEE TYPICAL DECK  
 NOTES ON DWG. S.12

2-15M REINF. BARS CONT.  
 IN TOPPING FOR EXTENT  
 SHOWN. (LAP 2'-6")

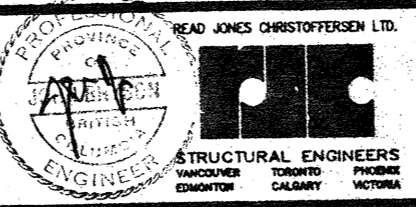
NOTE:  
 T1 = 5-15NOB. @  
 AT 3'-0" TOP  
 CENTERED ON STEEL  
 BEAMS EA LOCATION  
 CHAIR 3/4" CLR TOP.  
 FIRST BAR TO BE  
 3" CLR FROM SLAB  
 EDGE.

SIXTH FLOOR PLAN  
 NOTE: TOP OF STEEL ELEVATION = 214.54'  
 SEE BEAM AND COLUMN SCHEDULES ON  
 DWG. S.12 FOR STRUCTURAL STEEL.

7 MAY 25 90	RECORD SET
4 FEB 26 91	DIMENSIONS CHANGED
4 AUG 15 91	ISSUED FOR CONSTRUCTION
2 MAR 19 91	ISSUED FOR PRICING
1 NOV 22 1990	ISSUED FOR BUILDING PERMIT

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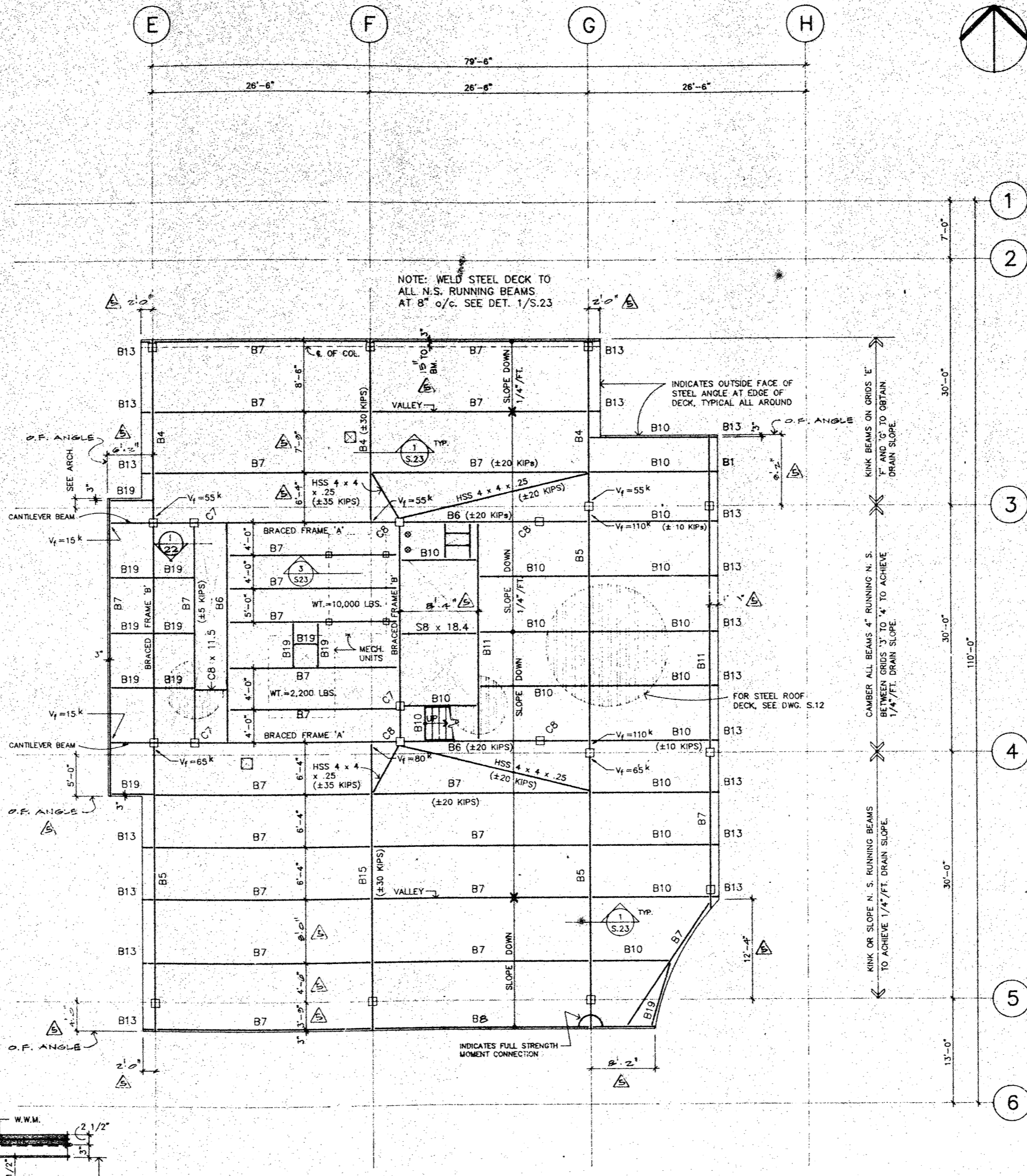
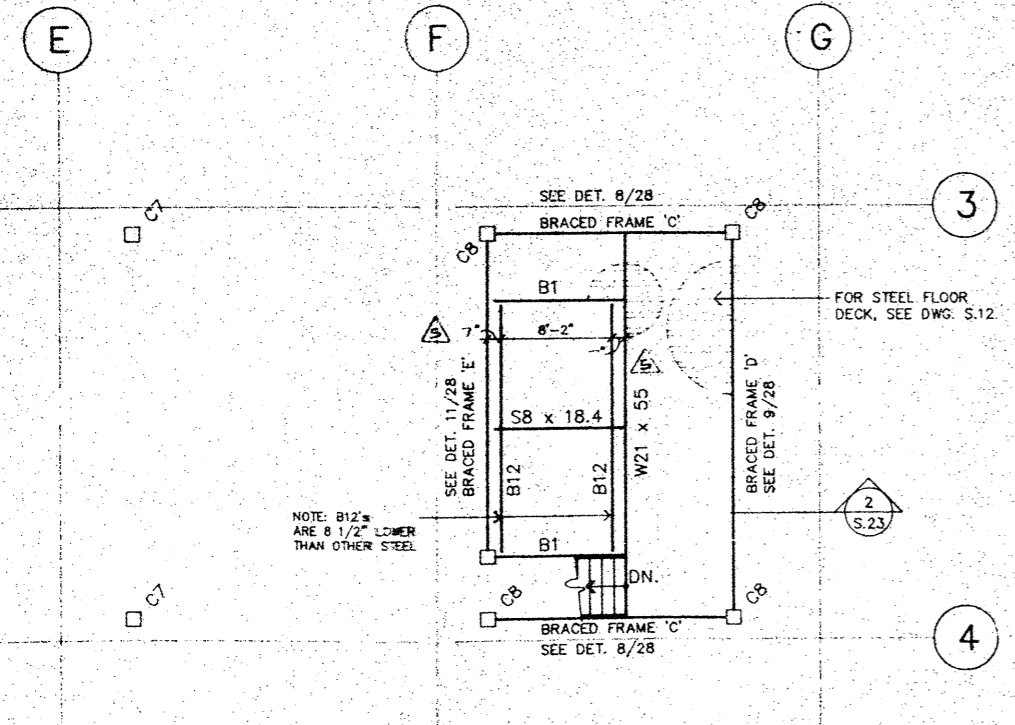
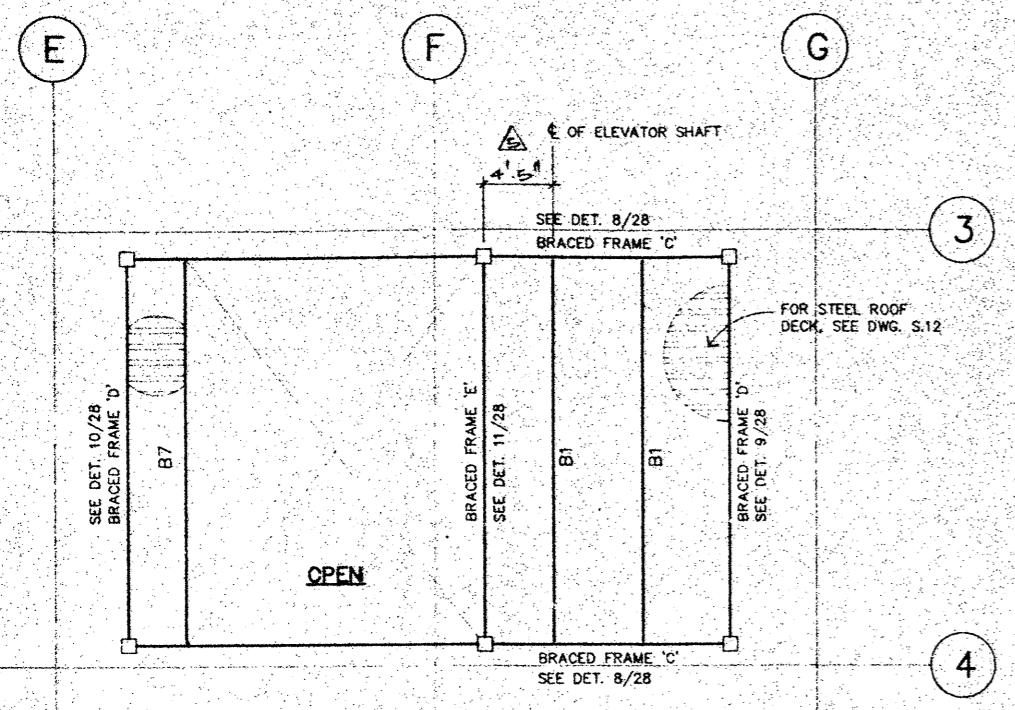
SIXTH FLOOR PLAN  
 (WEST SIDE)

S.21

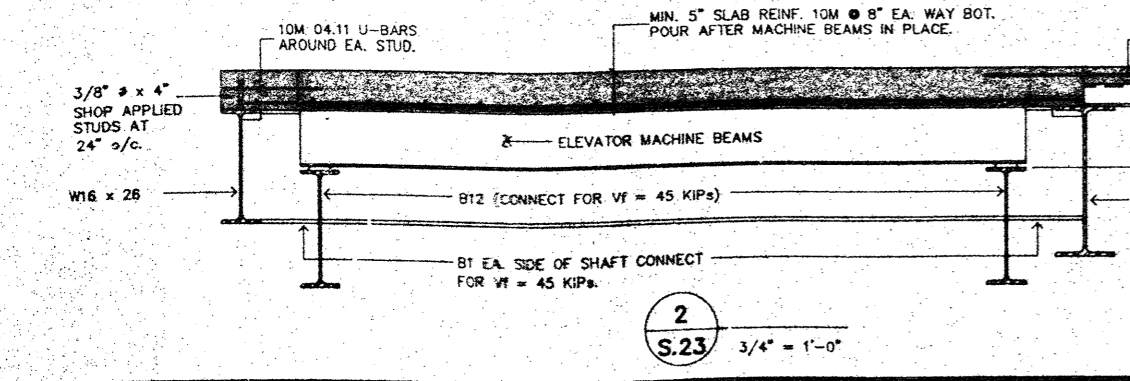
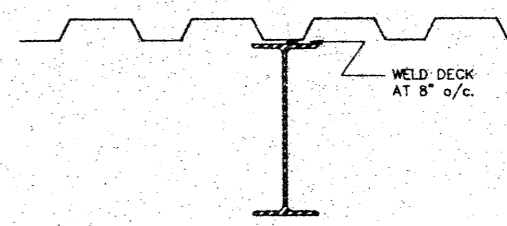
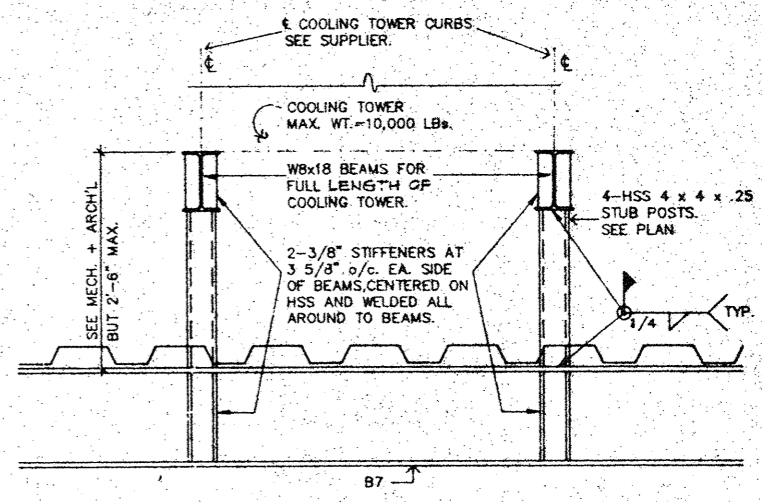
SCALE	DATE	REVISIONS	DATE	DRAWN	JOB NUMBER
1/8"=1'-0"					5882-01



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- ROOF OPENINGS AND MECH. UNIT NOTES:**
- ROOF OPENINGS LESS THAN 6" x 6" - NO REINFORCING.
  - ROOF OPENINGS GREATER THAN 6" x 6" BUT LESS THAN 18" x 18" USE L 2 x 2 x 1/8 x 4'-6" EACH SIDE WELDED TO EVERY FLUTE.
  - ROOF OPENINGS 18" x 18" OR GREATER, USE L 3 x 3 x 1/4" FRAMING AROUND OPENING AND SPANNING BETWEEN STEEL BEAMS, U.N.D.
  - MECH. UNITS NOT SHOWN TO HAVE MAX. WT. OF 300 LBS. SEE MECH. DWGS. USE 6" x 6" TREATED TIMBER SLEEPERS TO SUPPORT MECH. UNIT. SPAN SLEEPERS BETWEEN STEEL BEAMS.
  - 2,200 LBS. MECH. UNIT TO BE SUPPORTED BY 4-6 x 6 TREATED TIMBER SLEEPERS SPANNING BETWEEN STEEL BEAMS.
  - GROUT STEEL DECK VOIDS UNDER BEARING POINTS OF TIMBER SLEEPERS.
  - SEE DET. 3/S.23 FOR COOLING TOWER SUPPORT.
  - SEE MECH. DWGS. AND MECH. SUPPLIERS DWGS. FOR SEISMIC RESTRAINT OF ALL MECH. EQUIPMENT.



NO.	DATE	REVISION
7	MAY 5/91	RECORD SET
6	SEP. 26/90	DIMENSIONS CHANGED
4	AUG 15/91	ISSUED FOR CONSTRUCTION
2	MAR. 19/91	ISSUED FOR PRICING
1	NOV. 22, 1990	ISSUED FOR BUILDING PERMIT.

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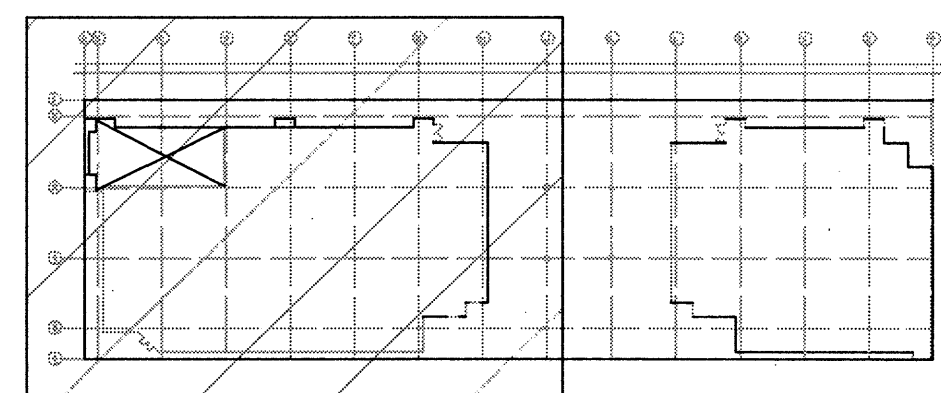
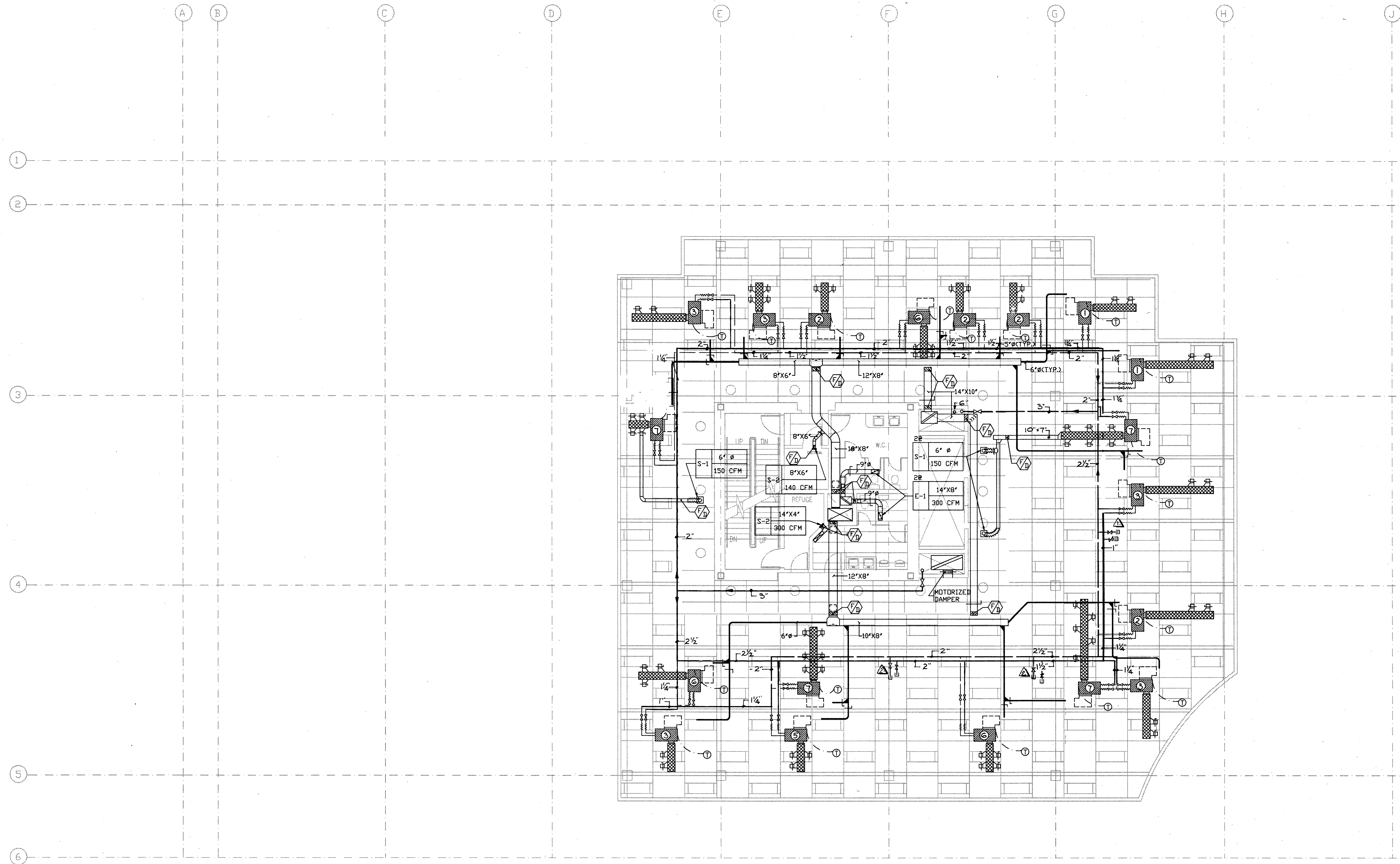
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**ROOF PLANS (WEST SIDE)**

SCALE: 1/8" = 1'-0"  
 DATE: REVISION: DATE: DRAWN: JOB NUMBER: 5682-01

**S.23**





-	-	-
-	-	-
△	RECORD DRAWINGS	JULY 29, 1998
-	ISSUED FOR TENDER	91.8.7
NUMBER	REVISION	DATE

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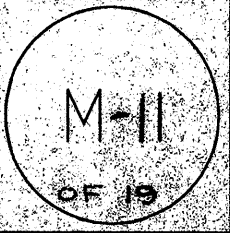


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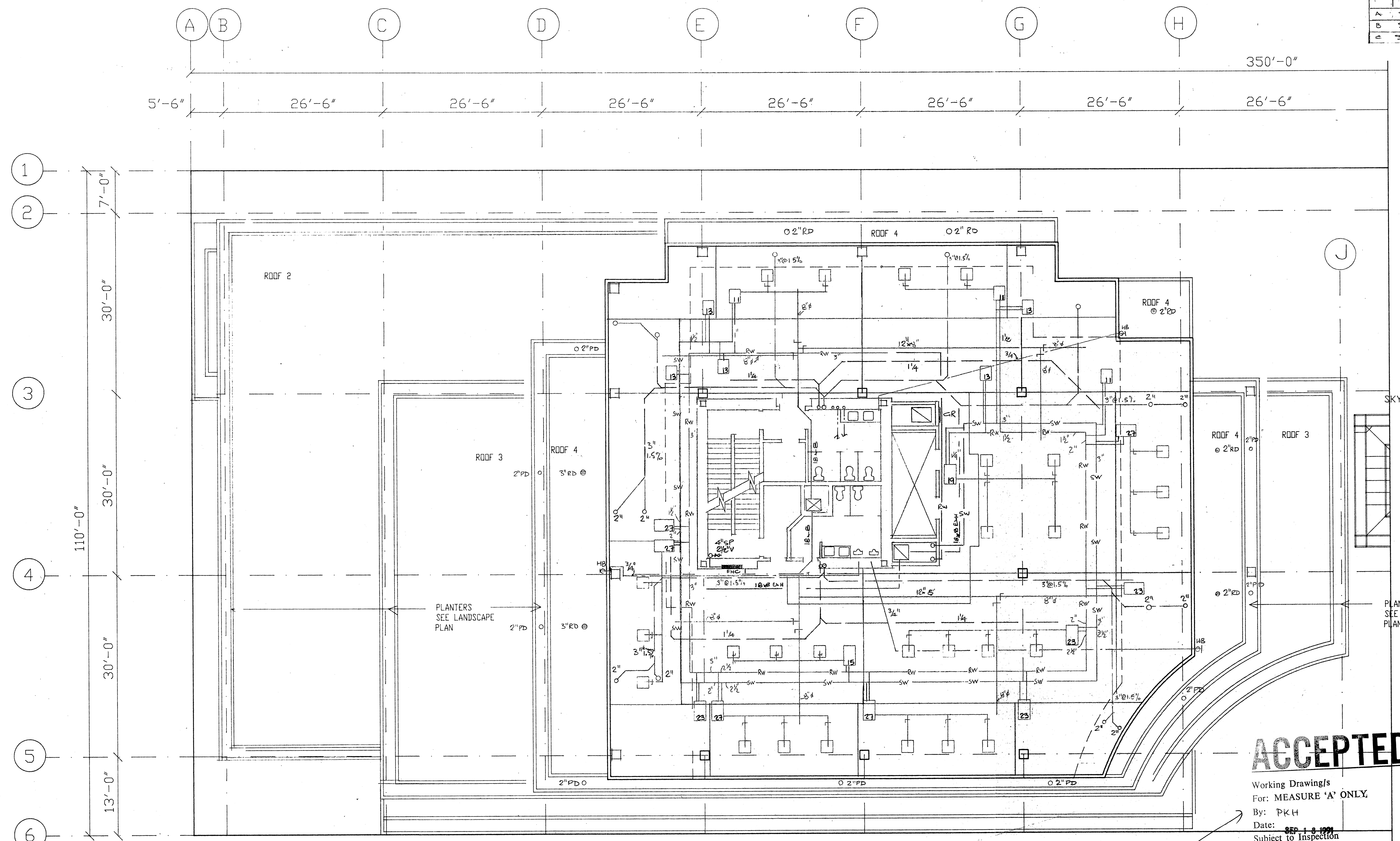
5TH FL. WEST SIDE  
HVAC

SCALE 1/8"=1'-0"	DATE July 1998	REVISIONS -	DATE -	DRAWN SCC	JOB NUMBER 91-552
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REVISIONS		
No.	Date	Details
A	31011	CORE REVISED
B	31021	GENERAL
C	31073	GENERAL

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SEP 13 1991  
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**ACCEPTED**

Working Drawing/s  
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By: PKH  
Date: SEP 13 1991  
Subject to Inspection

BA214906

FIFTH LEVEL

5TH FLOOR WROOM WATER PIPING  
1/4" HIC DIST. 1/2" HIC TO EACH  
FIXTURE AS REQ'D. PROVIDE  
SHUT-OFF VALVES EACH FIXTURE



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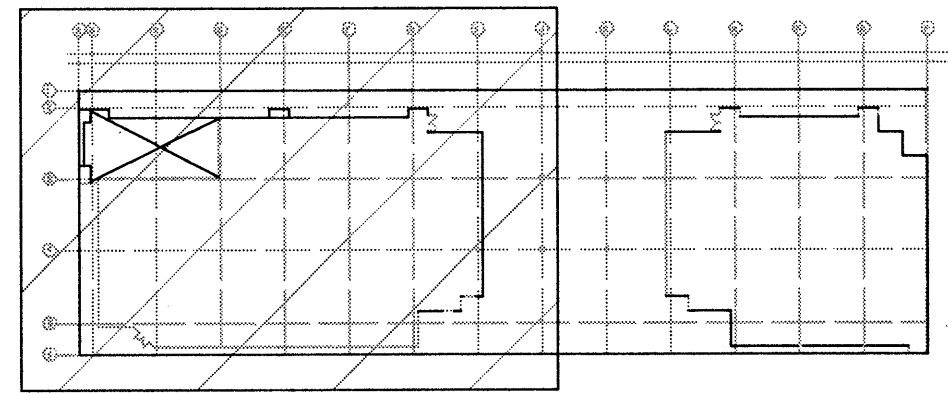
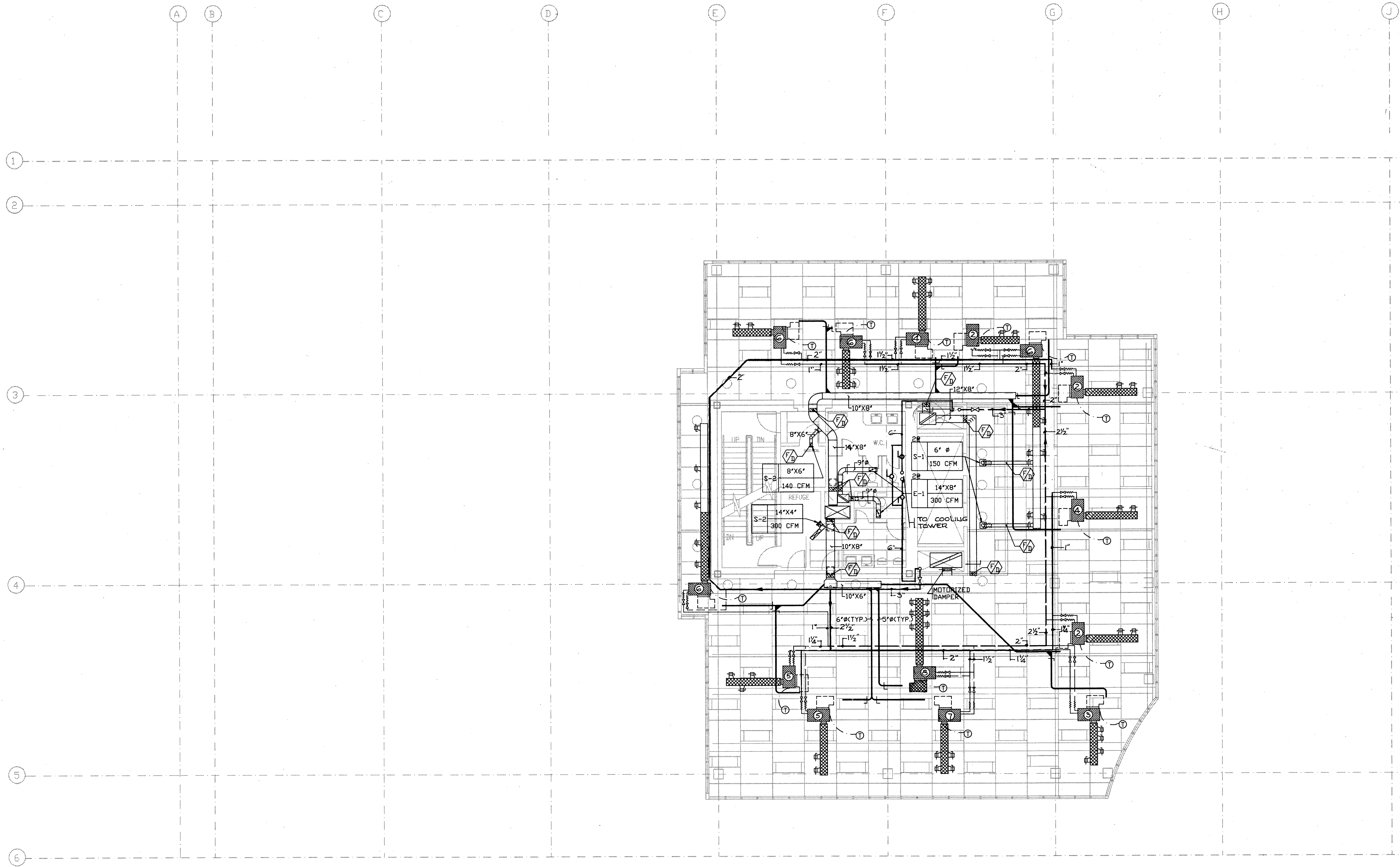
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fax(604) 522-8088

FIFTH LEVEL WEST  
MECHANICAL

DATE: 90.11.22	DWG. NO.
SCALE: 1/8" = 1'-0"	M-12
DRAWN: AL/LCB	
PROJECT NO. 653	





-	-	-
-	-	-
-	RECORD DRAWINGS	JULY 29 1991
-	ISSUED FOR TENDER	01.8.91
NUMBER	REVISION	DATE

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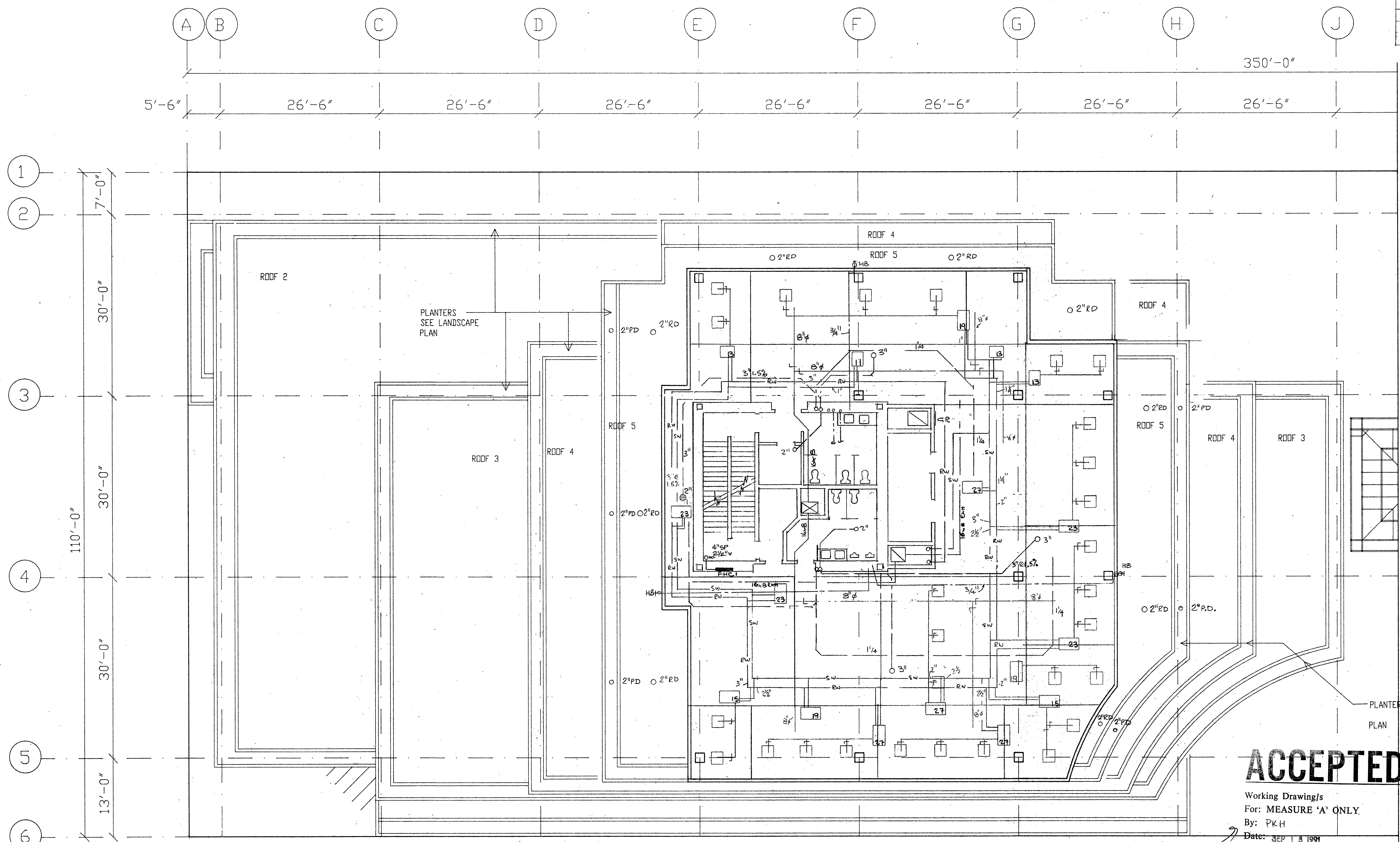
**6TH FL. WEST SIDE  
 HVAC**

SCALE	DATE	REVISIONS	DATE	DRAWN
1/8"=1'-0"	July 1991	-	-	SCC

M-12  
 OF 15  
 JOB NUMBER  
 91-588

REVISIONS		
No.	Date	Details
A	9/11/91	CORE REVISED
B	9/12/91	GENERAL
C	9/17/91	GENERAL

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SEP 13 1991  
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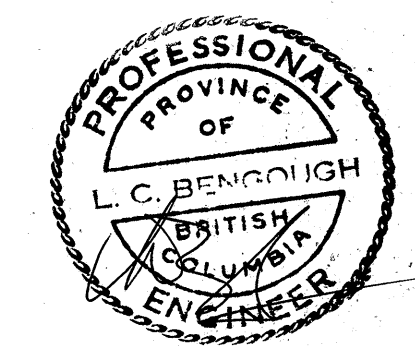
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1/2" H & C DIST. 1/2" H & C TO EACH  
FIXTURE AS REQ'D. PROVIDE  
SHUT OFF VALVES EACH FIXTURE

SIXTH LEVEL

**ACCEPTED**

Working Drawing/s  
For: MEASURE 'A' ONLY  
By: PKH  
Date: SEP 18 1991  
Subject to Inspection

BA214906



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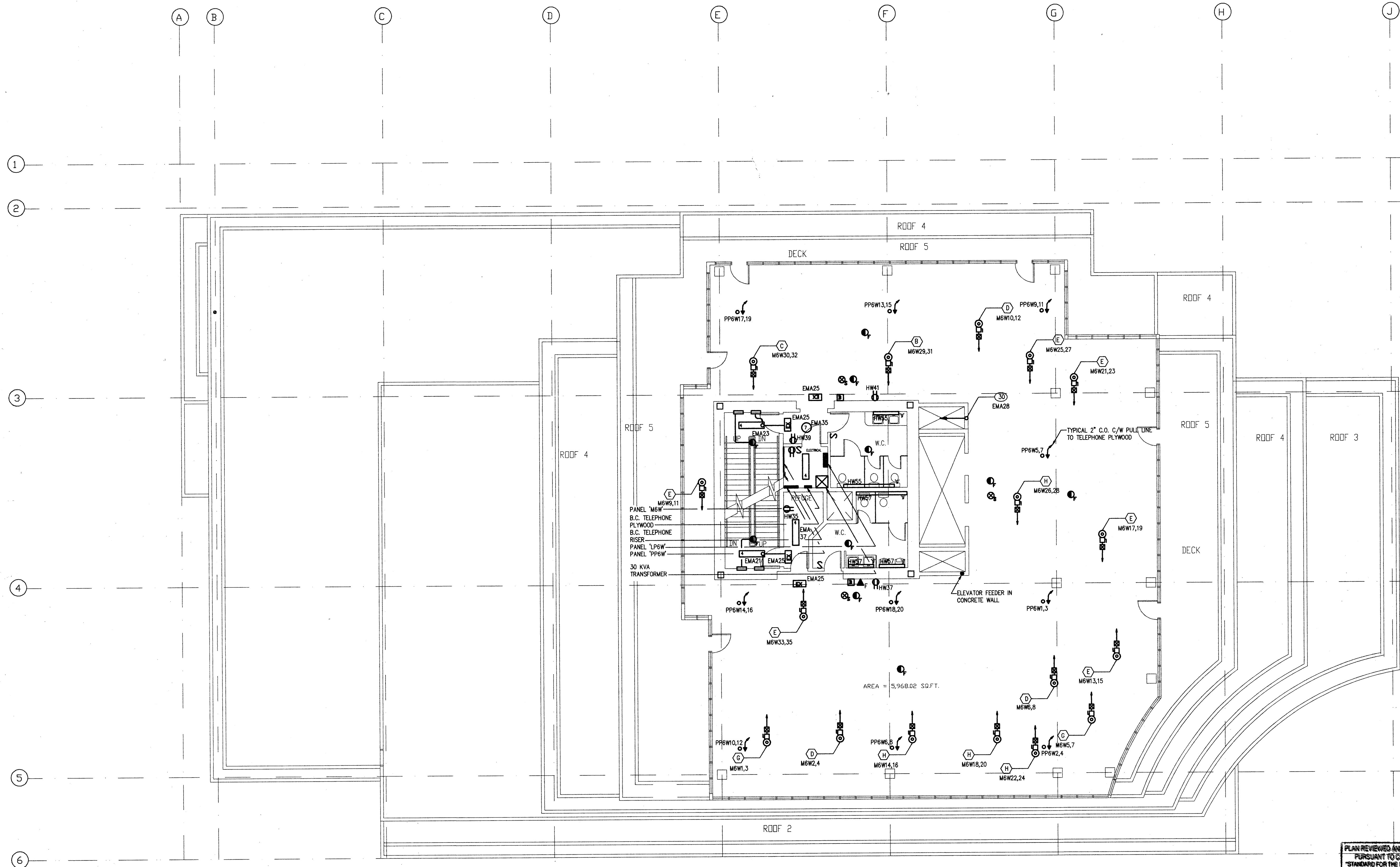
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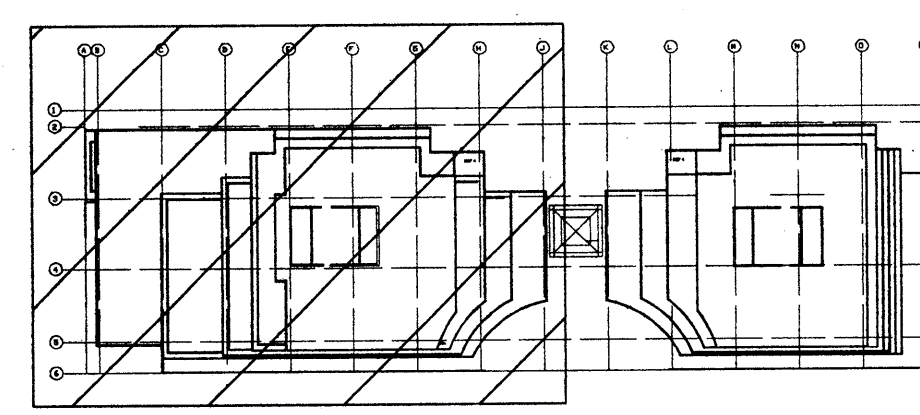
SIXTH LEVEL WEST  
MECHANICAL

DATE: 9/11/91	DWG. NO.
SCALE: 1/8" = 1'-0"	M-13
DRAWN: AL/LOB	
PROJECT NO. 653	

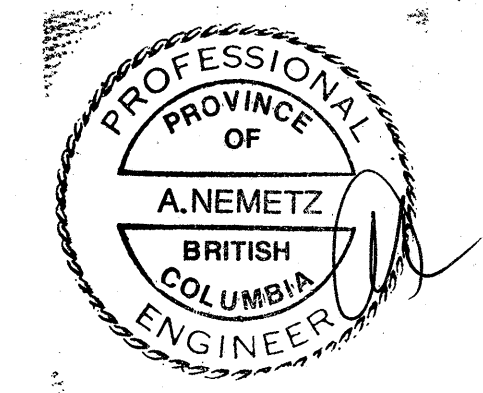




AREA = 5,968.02 SQ.FT.



PLAN REVIEWED AND ACCEPTED  
PURSUANT TO CANADIAN  
STANDARD FOR THE INSTALLATION  
OF FIRE ALARM SYSTEMS  
SEP 12 1991  
PER [Signature]  
CHIEF FIRE PREVENTION OFFICER  
THIS IS NOT A PERMIT



APR. 29 '91	ISSUED FOR BLDG. PERMIT	
MAR. 28 '91	RE-ISSUED FOR PRICING	
FEB. 21 '91	ISSUED FOR PRICING	
NOV. 22 '90	ISSUED FOR BLDG. PERMIT	
No.	DATE	DESCRIPTION

**ARNOLD NEMETZ & ASSOCIATES LTD.**  
2083 WEST 4TH AVENUE, VANCOUVER, B. C. CANADA  
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SIXTH LEVEL

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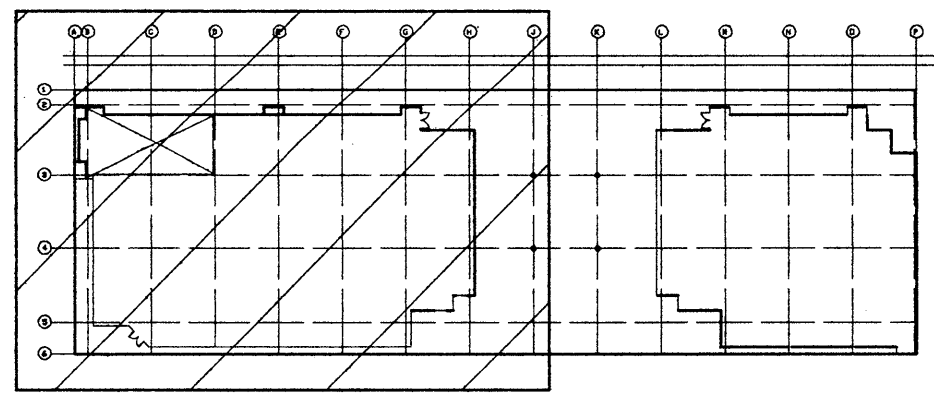
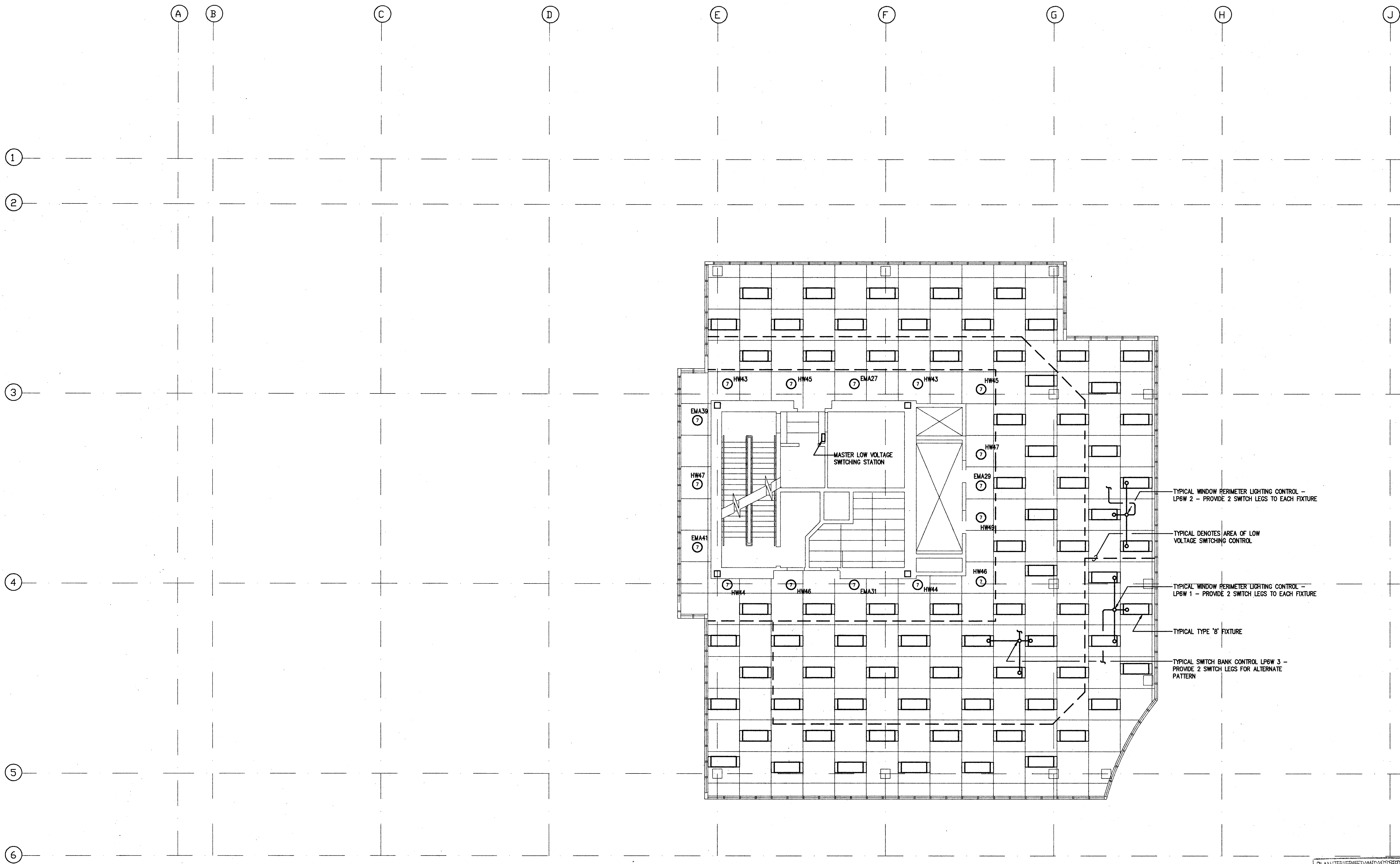
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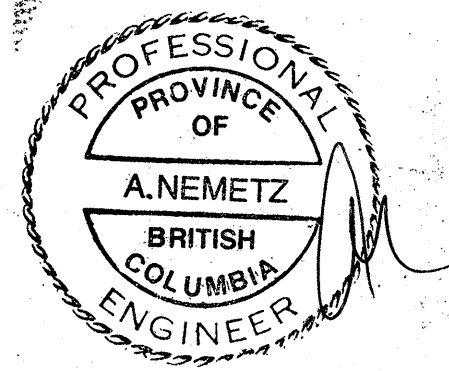
**SIXTH FLOOR PLAN  
WEST SIDE-POWER**

SCALE	DATE	REVISIONS	DATE	DRAWN	JOB NUMBER
1/8" = 1'-0"	FEB. 21, 1991			ANDY	5525 WSP

E28 OF 36



PLAN REVIEWED AND ACCEPTED  
 BY: [Signature]  
 CHIEF FIRE PREVENTION OFFICER  
 THIS IS NOT A PERMIT  
 SEP 12 1991



APR. 29 '91	ISSUED FOR BLDG. PERMIT	
MAR. 28 '91	RE-ISSUED FOR PRICING	
FEB. 21 '91	ISSUED FOR PRICING	
NOV. 22 '90	ISSUED FOR BLDG. PERMIT	
No.	DATE	DESCRIPTION

FOR SIXTH LEVEL

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**SIXTH FLOOR WEST SIDE REFLECTIVE CEILING PLAN**

SCALE	DATE	REVISIONS	DATE	DRAWN	JOB NUMBER
1/8" = 1'-0"	FEB. 21, 1991			ANDY	E29 OF 36 5525 W.L.

E29  
OF 36



RECEIVED  
JUN 6 1991  
PERMITS & LICENSES DEPT.

NOTES A: RE FIRE ALARM

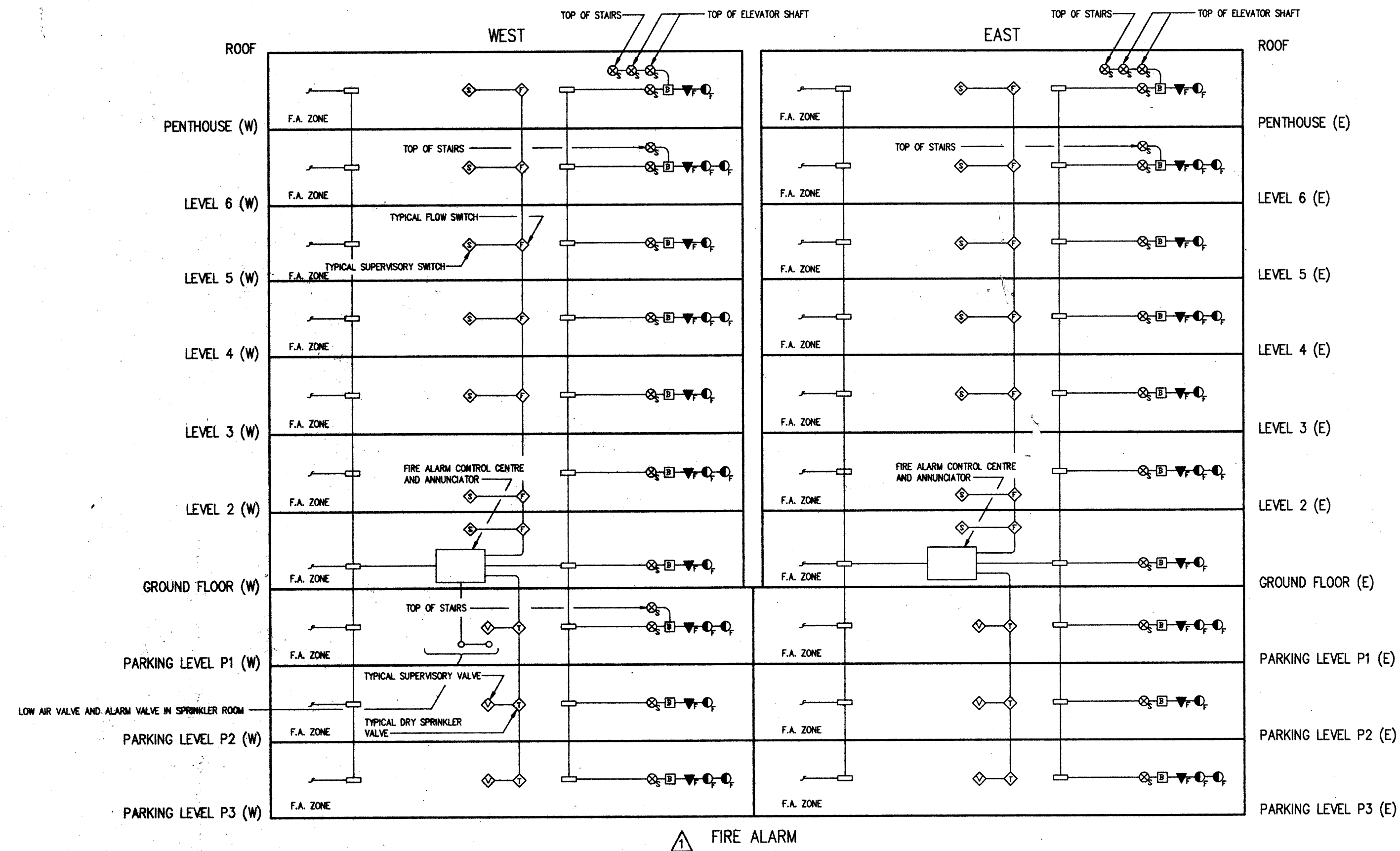
- WITHIN EACH ZONE PROVIDE SEPARATE ANNUNCIATION FOR SMOKE DETECTORS, HEAT DETECTORS, MANUAL PULL STATIONS, SMOKE DAMPERS AND SPRINKLER RISERS.
- WIRE TO ALARM SUPPLIERS SPECIFICATIONS.
- FIRE ALARM INSTALLATION TO COMPLY WITH CAN 4 - S 524, NATIONAL BUILDING TABLE 3.2.4A AND 3.2.6. ADDITIONAL REQUIREMENTS FOR HIGH BUILDINGS.
- FIRE ALARM SYSTEM TO BE ZONED AND SUPERVISED, STAIRS AND ELEVATOR TO HAVE SEPARATE ZONES AS REQUIRED.
- FIRE ALARM TO HAVE MINIMUM OF 2 BELL CIRCUITS PER FLOOR IN SEPARATE CONDUIT.
- FOR EXACT NUMBER OF DEVICES, SEE FLOOR PLANS.
- FIRE ALARM CABINET TO HAVE PROVISION FOR CONNECTING TO "OFF PREMISE" MONITORING AUTHORITY. SYSTEM SHALL BE CONNECTED TO MONITORING AUTHORITY.
- ELECTRICAL CONTRACTOR TO PROVIDE CONNECTION TO MECHANICAL EQUIPMENT AND CONTROL. ELECTRICAL CONTRACTOR TO CONFIRM MEASURE OF HIGH RISE SAFETY WITH MECHANICAL.
- ON GROUND FLOOR RECALL LEVEL.
  - THE SMOKE DETECTOR(S) OUTSIDE THE ELEVATOR TO BE ON A SEPARATE ZONE TO ACTIVATE "ELEVATOR ALTERNATE LEVEL".
  - THE BREAKGLASSES ARE NOT TO BE CONNECTED TO THE "ELEVATOR RECALL".
  - ELEVATOR ALTERNATE LEVEL - NOT REQUIRED IF ENTIRE BUILDING IS SPRINKLERED.
- SEE ELECTRICAL SPECIFICATIONS.
- ELECTRICAL CONTRACTOR TO WIRE AND CONNECT MOTORIZED DAMPER AS REQUIRED BY MECHANICAL SPECIFICATIONS. ANNUNCIATE AND CONNECT TO C.C.F. AS REQUIRED C/W OVERRIDE AND INDICATOR PILOT LIGHT.

NOTES E: RE MECHANICAL

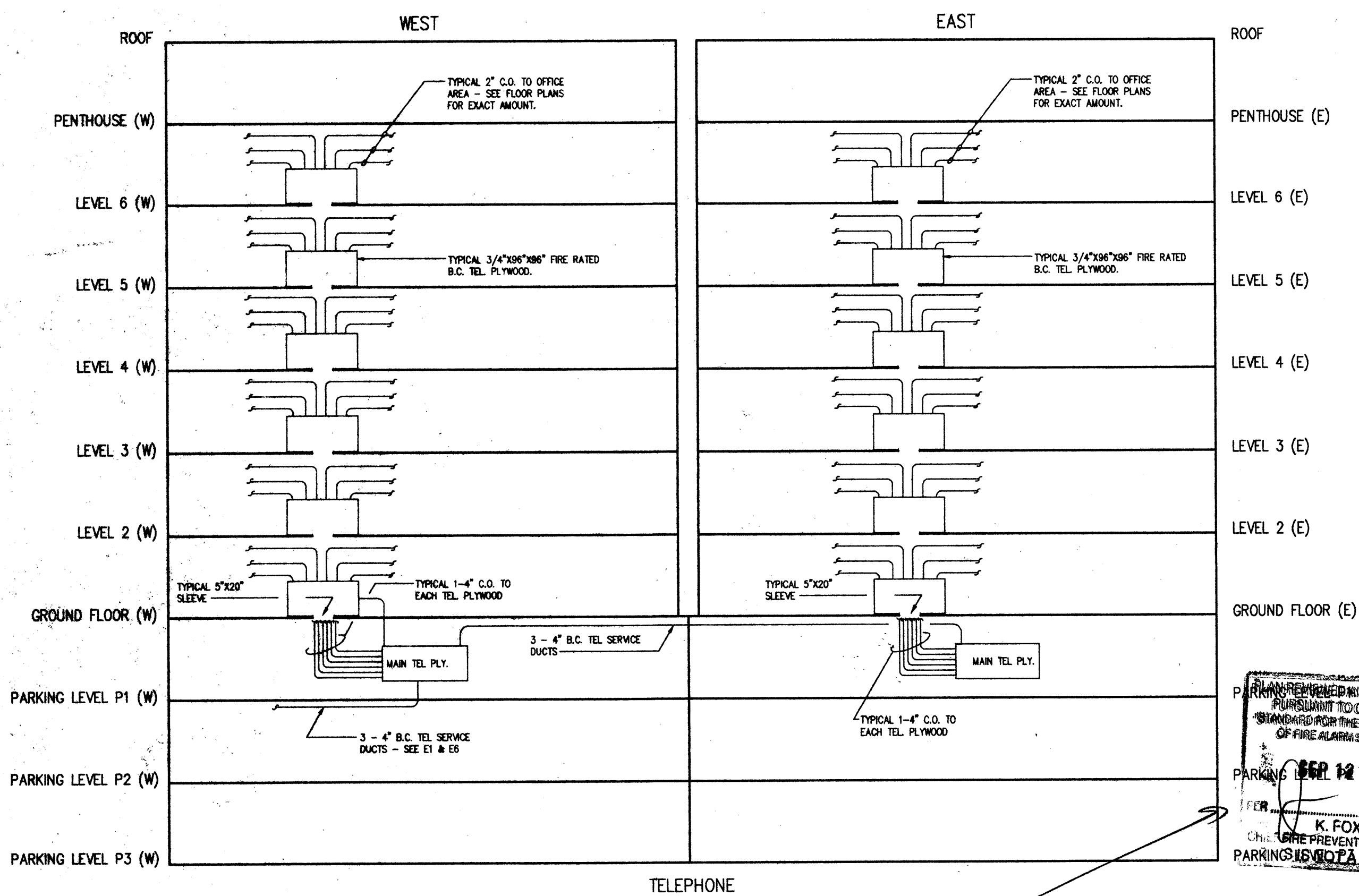
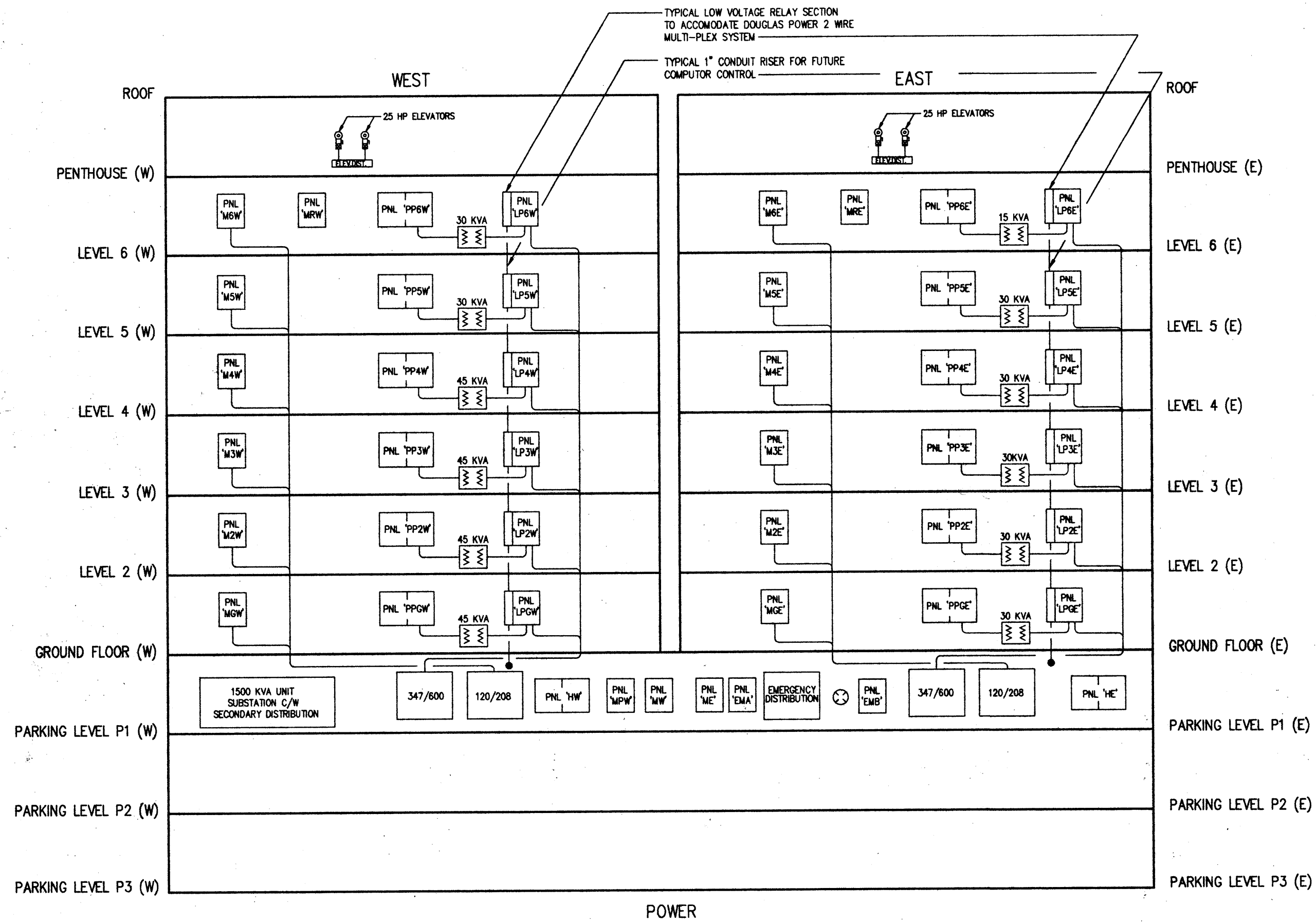
- GENERALLY THE ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE ELECTRICAL CONNECTIONS FROM STARTERS TO EQUIPMENT MOTORS, AND:
  - ALL DISCONNECT SWITCHES OR LOCK-OUT STATION AT MOTOR LOCATIONS WHERE REQUIRED BY CODE.
  - WIRING TO LINE VOLTAGE THERMOSTAT AND PRESSURE SWITCHES FOR FORCED FLOW UNIT AND UNIT HEATERS, WIRING TO PRESSURE SENSING ON FLOAT DEVICES FOR SUMP PUMPS, ETC., WIRING OF ELECTRIC HEATING ELEMENTS AND ASSOCIATED THERMOSTATS.
  - WIRING TO ALTERNATORS FOR PUMPS WHERE SPECIFIED.
  - PROVIDE 15 AMP. CIRCUIT WHERE REQUIRED FOR CONTROLS.
  - SUPPLY AND INSTALLATION OF THE PROPER SIZE OVERLOAD HEATERS IN THE MAGNETIC STARTERS AND THERMAL OVERLOAD SWITCHES.
  - WIRING AS REQUIRED FOR OPERATION OF MOTORIZED DAMPERS ON FIRE EMERGENCY CONDITIONS.

NOTE F: RE FIRE ALARM, EXIT & EMERGENCY LIGHTING SYSTEMS VERIFICATION

1. CONTRACTOR SHALL RETAIN A PROFESSIONAL ELECTRICAL ENGINEER REGISTERED IN THE PROVINCE OF BRITISH COLUMBIA, CANADA TO PROVIDE VERIFICATIONS OF THE FIRE ALARM SYSTEM AND THE INSTALLATION OF EXIT AND EMERGENCY LIGHTING SYSTEM IN ACCORDANCE WITH THE BRITISH COLUMBIA BUILDING CODE 1985. ALL COSTS ASSOCIATED WITH PERFORMANCE OF THIS ITEM SHALL BE INCLUDED.



PLAN REVIEWED AND ACCEPTED  
PURSUANT TO CAN-BSM  
STANDARD FOR THE INSTALLATION  
OF FIRE ALARM SYSTEMS  
JUN 11 1991  
PER K. FOX  
CHIEF FIRE PREVENTION OFFICER  
THIS IS NOT A PERMIT



PROFESSIONAL  
PROVINCE OF  
A. NEMETZ  
BRITISH COLUMBIA  
ENGINEER

PLAN REVIEWED AND ACCEPTED  
PURSUANT TO CAN-BSM  
STANDARD FOR THE INSTALLATION  
OF FIRE ALARM SYSTEMS  
JUN 12 1991  
PER K. FOX  
CHIEF FIRE PREVENTION OFFICER  
PARKINGS IS NOT A PERMIT

JUNE 5 '91	FIRE ALARM REVISED	
APR. 29 '91	ISSUED FOR BLDG. PERMIT	
MAR. 28 '91	RE-ISSUED FOR PRICING	
FEB. 21 '91	ISSUED FOR PRICING	
NOV. 22 '90	ISSUED FOR BLDG. PERMIT	
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RISER DIAGRAM

SCALE	DATE	REVISIONS	DATE	DRAWN	JOB NUMBER
	FEB. 21, 1991			ANDY	5525 RISER

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OF 36