INVITATION TO TENDER "ITT" PS20170704

SUNSET PARK UPGRADE

ADDENDUM NO. 3

June 19, 2017

1. DRAWING CV-02A AND CV-02B: GRADING PLAN WEST AND GRADING PLAN EAST

Drawings CV-02A (Grading Plan West) and CV-02B (Grading Plan East) are amended as follows:

Works yard gravel parking area has been delineated. Asphalt curb and concrete curb locations have been further outlined. The charging station area has been outlined as gravel behind the curb and hydroseeded north of the fence. An asphalt apron has been added to gate entrance on northeast edge of yard.

2. DRAWING L-08: Playground Rubber Surface

Installers that are approved for rubber surface in playground

Ocean Marker Sports Surfaces Ltd, Marathon Surfaces Inc. and Softline Solutions are acceptable installers of the playground surface. Other firms may also be eligible if they are able to meet Park Board specifications.

3. DRAWING L-03A: Demolition and Tree Retention Plan

Drawings L-03A (Demolition and Tree Retention Plan) are amended as follows:

Temporary lock block storage location has been clarified. Existing parking lot removal boundary has been adjusted. All adjacent landscape and curb to be removed as well to match cut line with proposed plan.

4. DRAWING CD-04: Civil Details

Drawings CD-04 (Civil Details) are amended as follows:

Detail for the asphalt works yard curb and the gravel parking area have been provided.

All other conditions and specifications remain unchanged.

This addendum must be completed and attached to the Tenderer's Tender.

City of Vancouver
Finance, Risk and Supply Chain Management - Supply Chain Management
453 West 12th Avenue
Vancouver, British Columbia V5Y 1V4 Canada
tel: 604.873.7263 *fax:* 604.873.7057
website: vancouver.ca

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If the Tenderer has already submitted its Tender, this addendum shall be submitted to the **Supply Chain Management Office, City of Vancouver, 453 West 12th Avenue, Vancouver, British Columbia, Canada, V5Y 1V4, (courier delivery and drop off is at the drop box at the Supply Chain Management Office on the 4th Floor of the same address), prior to the Closing Time: 3:00 p.m. Vancouver Time, Thursday, June 22, 2017** in an envelope clearly marked **"Addendum No. 3 to ITT No. PS20170704: Sunset Park Upgrade."**

_____

NAME OF VENDOR

_____

SIGNATURE OF AUTHORIZED SIGNATORY

_____

DATE

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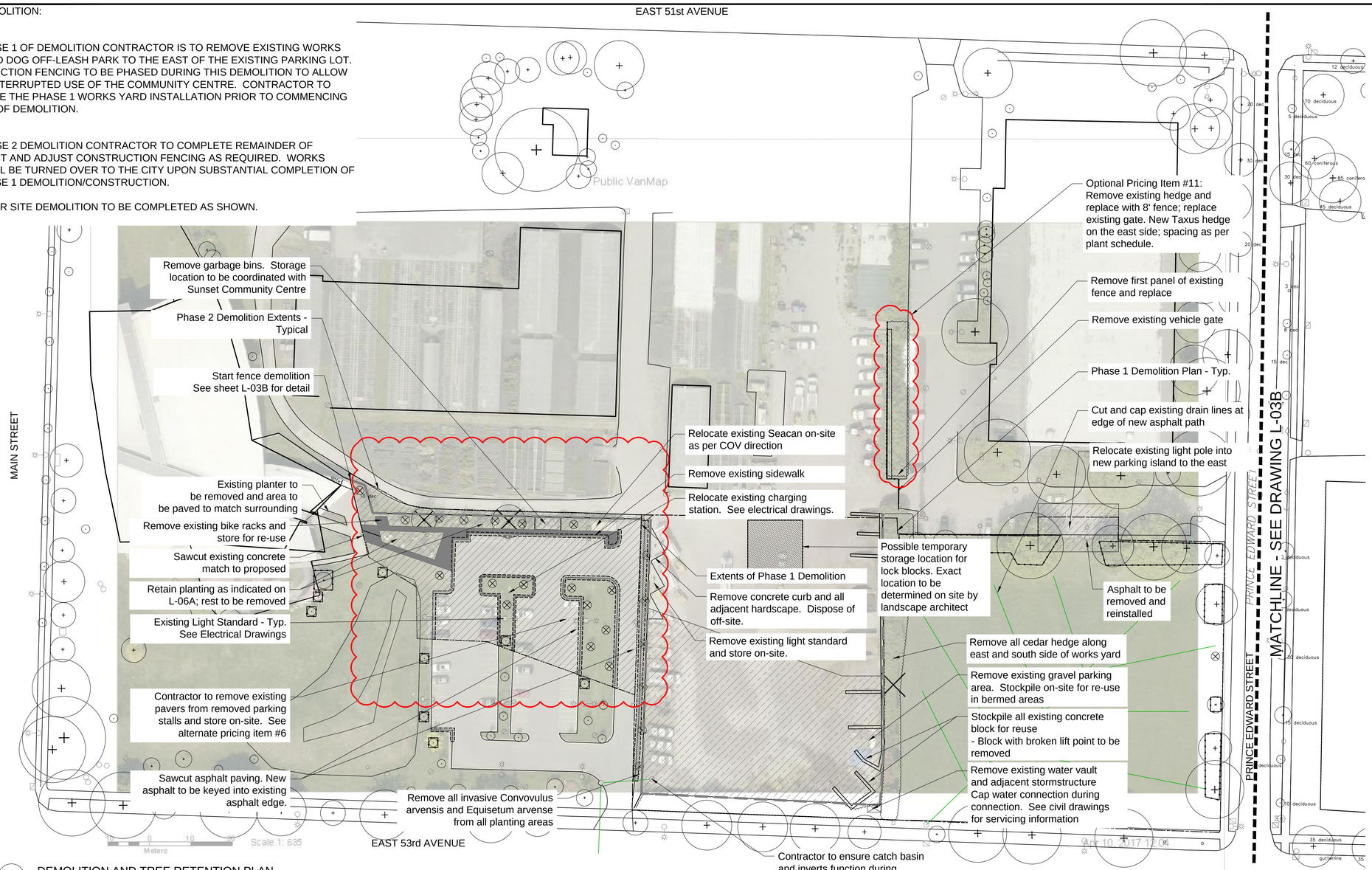
SITE DEMOLITION:

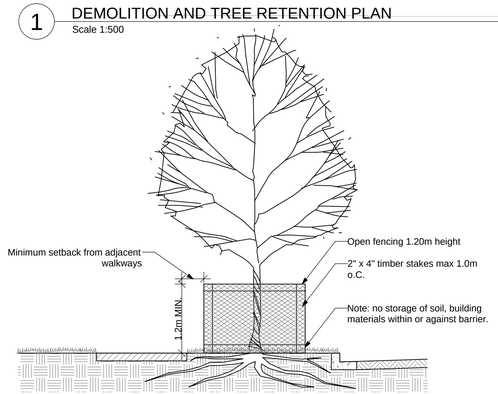
PHASE 1
FOR PHASE 1 OF DEMOLITION CONTRACTOR IS TO REMOVE EXISTING WORKS YARD AND DOG OFF-LEASH PARK TO THE EAST OF THE EXISTING PARKING LOT. CONSTRUCTION FENCING TO BE PHASED DURING THIS DEMOLITION TO ALLOW FOR UNINTERRUPTED USE OF THE COMMUNITY CENTRE. CONTRACTOR TO COMPLETE THE PHASE 1 WORKS YARD INSTALLATION PRIOR TO COMMENCING PHASE 2 OF DEMOLITION.

PHASE 2
FOR PHASE 2 DEMOLITION CONTRACTOR TO COMPLETE REMAINDER OF CONTRACT AND ADJUST CONSTRUCTION FENCING AS REQUIRED. WORKS YARD WILL BE TURNED OVER TO THE CITY UPON SUBSTANTIAL COMPLETION OF THE PHASE 1 DEMOLITION/CONSTRUCTION.

ALL OTHER SITE DEMOLITION TO BE COMPLETED AS SHOWN.



1 DEMOLITION AND TREE RETENTION PLAN
Scale 1:500



2 TREE PROTECTION FENCE
N.T.S.

SCHEDULE A - TREE PROTECTION BARRIER

TREE PROTECTION DISTANCE TABLE

TRUNK DIAMETER CM	TRUNK DIAMETER FT	MINIMUM DISTANCE FROM TRUNK (METERS)
20	0.6	1.2
25	0.8	1.5
35	1.0	2.1
40	1.2	2.4
45	1.3	2.7
50	1.5	3.0
55	1.7	3.3
60	2.0	3.6
75	2.5	4.5
90	3.0	5.0
100	3.3	6.0

Note:
Tree protection barriers must be at least 1.20m in height and constructed of either snow fencing securely fastened to 2x4 timber stakes, or metal stakes spaced no further than 1.00m apart.

TREE LEGEND

Existing Tree to Remain	Existing Tree to be Removed

1:500 0 5m 10 15 20 25 30 35 40 45 50 55 60 65 70 75

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LEGEND

KEY	DESCRIPTION
	PHASE 1 DEMOLITION EXTENTS
	PHASE 2 DEMOLITION EXTENTS
	ASPHALT TO BE REMOVED
	PAVING TO BE REMOVED
	CURB TO BE REMOVED
	FENCE TO BE REMOVED
	TREE PROTECTION FENCE
	YARD GRINDINGS / DEBRIS

No.	By:	Description	Date
7	DJ	Addendum #3	6/15/2017
6	DJ	Addendum #2	6/13/2017
5	DJ	Addendum #1	6/12/2017
4	DJ	Issued for Tender	5/19/2017
3	DJ	95% Submission	5/4/2017
2	DJ	75% Submission	4/11/2017
1	DJ	50% Submission	2/28/2017

REVISIONS TABLE FOR DRAWINGS

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Project:
Sunset Park

Location:
6810 Main Street
Vancouver, BC V5X 0A1

Drawn: PC MDYS
Checked: DJ
Approved: MVDZ
Scale: 1:500
Stamp:
Original Sheet Size: 24"x36"

CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANYDISCREPANCY TO THE CONSULTANT BEFORE PROCEEDING. ALL DRAWINGS AND SPECIFICATIONS ARE THE EXCLUSIVE PROPERTY OF THE OWNER AND MUST BE RETURNED AT THE COMPLETION OF THE WORK. ALL REZONING/DP/PPA/FHA/BP DRAWINGS MUST NOT BE PRICED FOR CONSTRUCTION UNLESS LABELED ISSUED FOR TENDER/CONSTRUCTION.

Drawing Title: DEMOLITION AND TREE RETENTION PLAN
NORTH
VDZ Project #: PR2016-11
Drawing #: L-03A

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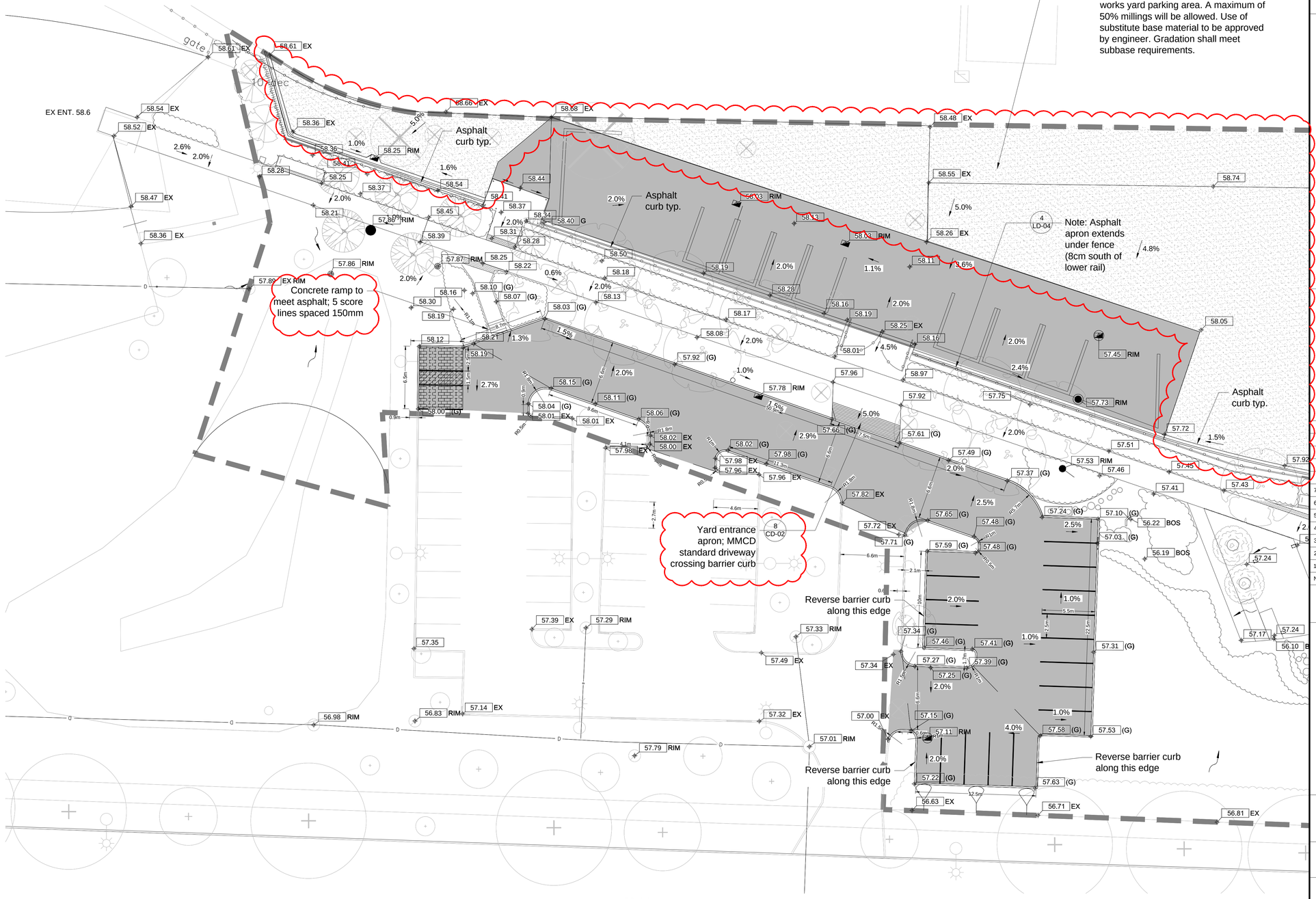
Notes:

1. All curbs in parking lot area are to be barrier curbs as per the asphalt road detail on CD-04. All curb in the works yard area are to be bituminous.
2. All elevations next to curbs are gutter elevations unless otherwise noted.



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LEGEND:

- Swale
- Steel Flared End Channel
- 1050mm Manhole
- 600mm Catch Basin
- Stormceptor
- 58.47 Design Elevation
- 58.47 RIM Rim Elevation
- 58.47 BOS Bottom of Swale
- 58.47 TOS Top of Swale
- 58.47 (G) Gutter Elevation
- 58.47 EX Existing Elevation
- Proposed Asphalt (CD-XX, detail X)

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Project:

Sunset Park

Location:
6810 Main Street
Vancouver, BC V5X 0A1

Drawn: TW	Stamp:
Checked: ATP	
Approved: ATP	Original Sheet Size: 24"x36"
Scale: 1:200	

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Drawing #: CV-02A

VDZ Project #: PR2016-11

Drawing Title: GRADING PLAN - WEST

NORTH

W:\VDZ-SERVER\PROJECTS\PARKS & RECREATION\ACTIVE\PR2016-11 SUNSET PARK\DWGS\SHEETS\CV-02A GRADING PLAN.DWG

Existing landscape to be retained

Hydroseed lawn area

Hydroseed lawn area

Concrete curb; typ.

Extent of asphalt curb

3 CD-04 Gravel Parking Area

Note: Contractor may use removed asphalt millings as a substitute base for works yard parking area. A maximum of 50% millings will be allowed. Use of substitute base material to be approved by engineer. Gradation shall meet subbase requirements.

Concrete curb typ.

Gravel

Charging station area; hydroseed

Concrete curb typ.

Concrete curb typ.

Asphalt apron

Concrete curb typ

Transition from Asphalt to Concrete curb

4 LD-04 Note: Asphalt apron extends under fence (8cm south of lower rail)

Asphalt curb typ.

Asphalt curb typ.

Prince Edward Street

53rd Ave

100mm Existing (verify)

1:200

0 2m 4 6 8 10 12 14 16 18 20 22 24 26 28 30

LEGEND:

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- Proposed Asphalt
- Proposed Gravel

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Checked: ATP

Approved: ATP

Scale: 1:200

Stamp:

Original Sheet Size: 24"x36"

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Drawing Title: GRADING PLAN - EAST

VDZ Project #: PR2016-11

Drawing #: CV-02B

NORTH

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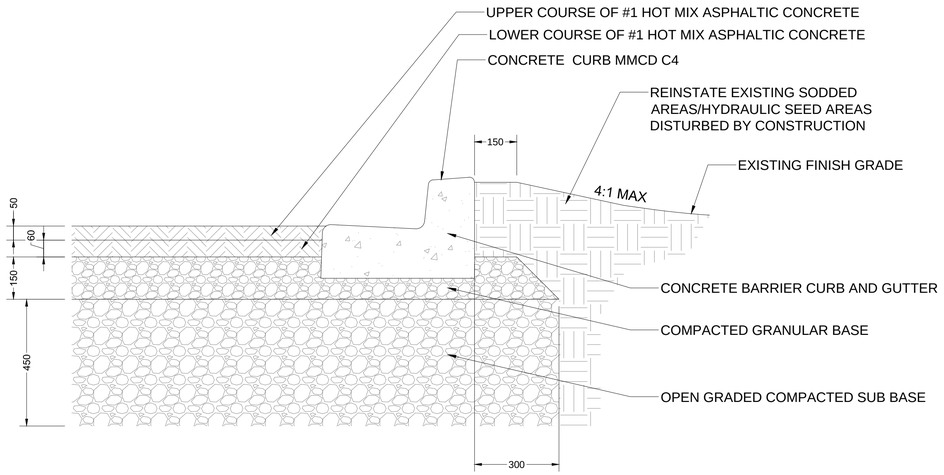
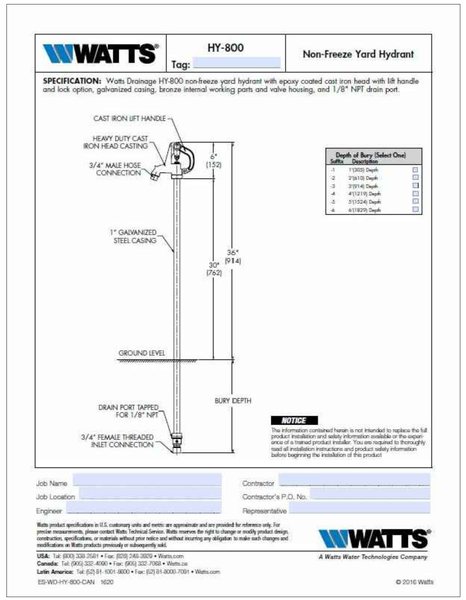
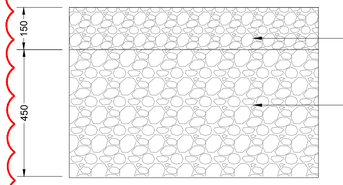


1 ASPHALT ROAD
Scale: 1:10

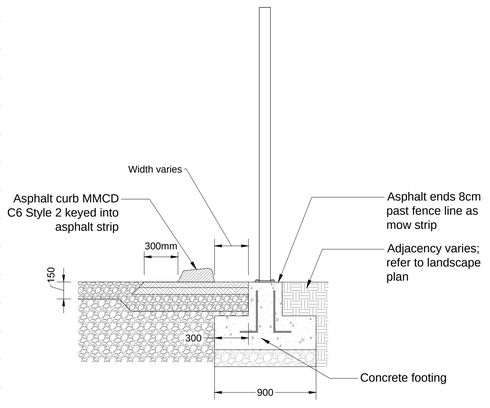


2 WATTS YARD HYDRANT
Scale: NTS



Note:
Full gravel depth to be provided for all new works yard areas. Existing works yard gravel areas to be re-graded to finished grade shown.

3 GRAVEL WORKS YARD
Scale: 1:10



4 ASPHALT MOW STRIP AND CURB
Scale: 1:25

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Drawing Title: CIVIL DETAILS

VDZ Project #: PR2016-11

Drawing #: CD-04

\\VDZ-SERVER\PROJECTS\PARKS & RECREATION\ACTIVE\PR2016-11 SUNSET PARK\DWG\XREF\CIVIL STUFF\FROM FENG\CD-04 CIVIL DETAILS.DWG