

INVITATION TO TENDER “ITT” NO. PS20170312  
CONTRACTOR FOR MARPOLE PLACE RESTORATION

QUESTIONS AND ANSWERS NO. 2

ISSUED ON March 29, 2017

Q2.1	Please post the site walkthrough attendance sheet.
A2.1	The sign-in sheets for the site meetings held on March 14 and 21 are in the FTP.
Q2.2	I have come across this project and would like to ask for an alternate to the Tarkett Accent Heterogeneous flooring (RSF1) and the Tarkett IQ Granit Vinyl flooring (RSF2) I have attached the Data Specifications for Armstrong’s Rejuvenations Heterogeneous Flooring as the alternate for the Acczent, and Armstrong’s Colorart Homogeneous Vinyl flooring, Medintone/Medintech as the alternate for the IQ Granit. The Colorart Homogeneous flooring now features Armstrong’s new Diamond 10 Technology. Refer to attachments 1, 2 and 3.
A2.2	At this time, we will maintain the specification as per Issued for Tender. It appears that the thickness of product does not match the specified products. The Architect invites the supplier to come to the office to review the products for future projects.
Q2.3	Re: the issue of hazardous materials for the existing windows arose. Will this become part of our contract (we would need a hazmat survey for the exterior to assess this properly) or will an allowance be established or will the CoV undertake the necessary work?
A2.3	Refer to Hazardous Materials Survey dated December 2016; there are sample results of the Putty on Exterior Wood Window Frames (Non-Asbestos) and Black Mastic on Wood Framed Windows (10-30% Chrysotile Asbestos). The Asbestos-containing Black Mastic was observed on the Third Floor Windows, and the NON-Asbestos Putty is on the rest of the windows in the building.  The exterior of the building has been assessed and is included in the reports included in the ITT. The exterior plaster wall is NON-Asbestos, but all paint on the exterior wall and the window sills is Lead-based.  The general contractor will be required to engage one of the City of Vancouver pre-qualified abatement contractors and direct them to perform any work

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	involving the removal of asbestos/lead containing materials. The City of Vancouver will be responsible for hiring a hazardous materials consultant for any inspections and any air monitoring that may be required during and after work is completed.
Q2.4	Re: millwork, will they be re-used?
A2.4	<b>Please see architectural addendum (ADD 2) referring to drawings A5.9 and A5.10 for clarification.</b>
Q2.5	I didn't see a sprinkler specification. Can you please direct me to where I can find it in the tender document? Otherwise, please issue a specification.
A2.5	<b>This will be addressed in a future addendum.</b>
Q2.6	Is paint required for the exterior of the building? If hazmat is found on the exterior walls, who will be responsible for the abatement/remediation?
A2.6	<b>Please see architectural addendum (ADD 2) to follow for clarification referring to drawing A3.3. Also, see answer A2.3</b>
Q2.7	You mentioned about not including the fence as part of the scope. Please confirm.
A2.7	<b>Please price exterior improvements as noted in IFT documents as Separate Price #4.</b>
Q2.8	Does Contractor need to replace the drywall?
A2.8	<b>Please see architectural addendum (ADD 2) referring to drawing A2.2 for clarification</b>

\* Please see next page for the next question.\*

Q2.9 Please see below the comments from a specialty lift contractor:

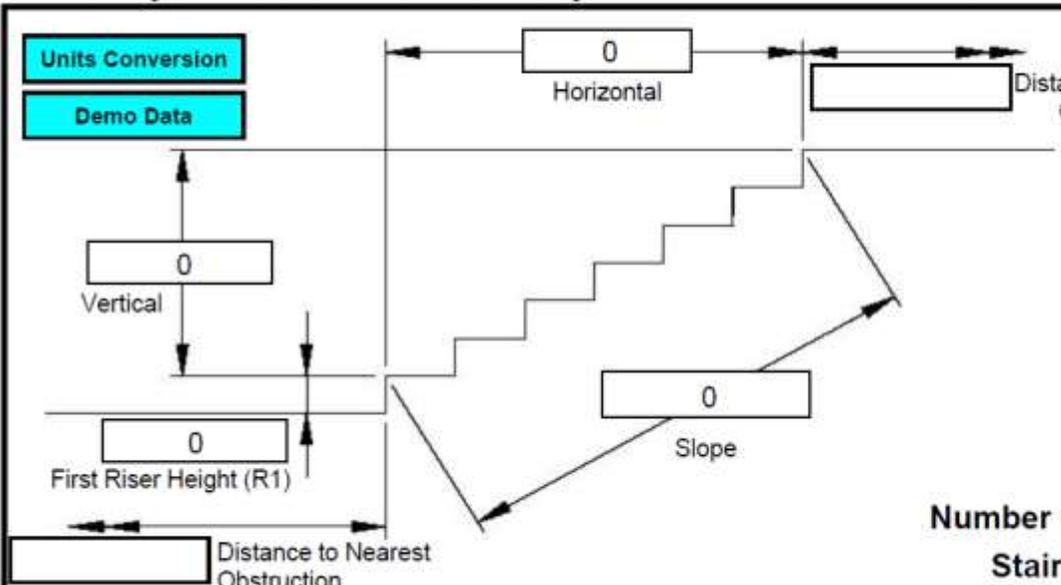
*I'll also need actual individual rise, run and slope stair dimensions. A5.8 does not provide this. A2.5 shows that the lift and the elevator share a safety zone...this is not allowed by code.*

*See below for dimensions needed to quote this lift.*

**Stairway Dimensions - in Millimeters Only.** Note - the railing must be removed on the mounting side.

**Units Conversion**

**Demo Data**



**Quick Stair Check**

**Sample Staircases**

**Check dimensions of stairs**

$$S = \sqrt{V^2 + H^2}$$

(Slope must be within +/- 10mm)

All information to be supplied in millimeters  
(1 inch = 25.4mm)

Horizontal:

Vertical:

First Riser Height (R1):

Slope:

Distance to Nearest Obstruction:

Distance to Nearest Obstruction:

Number of Risers:

Stair Width:

Include Photos/Sketches.

Special Notes: \_\_\_\_\_

*The architect will have to provide this info in order to properly quote. I have also attached the design guide for this lift.*

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<b>A2.9</b>	<p>Please see architectural addendum (ADD 2), drawing A5.8 for clarification.</p> <p>Also note, the current layout as drawn has been recognized as an encroachment and a variance agreement is in place.</p>
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